

THE CORPORATION OF THE TOWN OF COBOURG

BY-LAW NUMBER 118-91

A BY-LAW TO AMEND BY-LAW NUMBER 27-90 AND TO DESIGNATE THREE HERITAGE CONSERVATION DISTRICTS WITHIN THE TOWN OF COBOURG.

WHEREAS the Council of the Corporation of the Town of Cobourg (hereinafter referred to as "Council") passed By-law Number 27-90 on the 19th day of February, 1990, pursuant to Section 41(1) of the Ontario Heritage Act, R.S.O. 1980, Chapter 337;

AND WHEREAS the Council applied to the Ontario Municipal Board for approval of the said By-law Number 27-90 on the 28th day of February, 1990;

AND WHEREAS Notice of the Application to the Ontario Municipal Board by the Corporation of the Town of Cobourg for an Order approving By-law Number 27-90 was given on the 20th day of February, 1991, in accordance with instructions received from the Ontario Municipal Board;

AND WHEREAS objections were received with respect to By-law Number 27-90;

AND WHEREAS the Ontario Municipal Board convened a public hearing on the 18th day of April, 1991, and granted the request of the Town of Cobourg for an adjournment for the purpose of carrying out amendments to the Heritage Conservation District Study which formed part of By-law Number 27-90;

AND WHEREAS a timetable was provided to the Board setting out the process by which the Town's Heritage Conservation District Study would be amended and modified;

AND WHEREAS the proposed timetable called for the adoption by Council of a revised Heritage Conservation District Study by the end of November, 1991;

AND WHEREAS based on that timetable, the Ontario Municipal Board established January 21, 1992 as the date for the hearing of any objections to By-law Number 27-90 as amended:

AND WHEREAS the Corporation of the Town of Cobourg has now received instructions from the Ontario Municipal Board which require that a minimum of 21 days notice of the January 21, 1992 hearing be given;

BY-LAW NUMBER 118-91

AND WHEREAS the Council considers the passage of this by-law to be a matter of the utmost importance and urgency in order to comply with the directions of the Ontario Municipal Board:

AND WHEREAS Council's consideration of this amending By-law was authorized by Resolution dated April 2, 1991, wherein it was resolved to seek an adjournment of the April 18, 1991 Ontario Municipal Board hearing to allow sufficient time to prepare and complete revisions to the proposed Cobourg Heritage Conservation District Study;

AND WHEREAS the proposed amendments to the Heritage Conservation District Study have been reviewed by the members of the public through an advertised public meeting held on the 30th day of October, 1991 and have been reviewed by the Cobourg Local Architectural Conservation Advisory Committee;

AND WHEREAS the Council considers it necessary and important to enact this by-law and to proceed with the Town's application for Ontario Municipal Board approval on the 21st day of January, 1992;

NOW THEREFORE the Municipal Council of the Corporation of the Town of Cobourg enacts as follows:

1. Schedule "A" to By-law Number 27-90 is hereby repealed and replaced with Schedule "A" to this By-law.
2. Three separate Heritage Conservation Districts within the Town of Cobourg are hereby created, as shown on Schedule "A", namely:
 - (a) The Commercial Core as shown on Schedule "A".
 - (b) The Eastern Residential Section as shown on Schedule "A".
 - (c) The Western Residential Sector as shown on Schedule "A".
3. Schedule "B" to By-law Number 27-90 is hereby repealed and replaced with Schedule "B" to this By-law.
4. Schedule "A" and "B" attached hereto form part of this By-law.
5. In all other respects, By-law Number 27-90 shall continue in full force and effect as amended herein and subject to the approval of the Ontario Municipal Board.

READ a first, second and third time and finally passed in Open Council this 25th day of November, 1991.



Mayor



Municipal Clerk

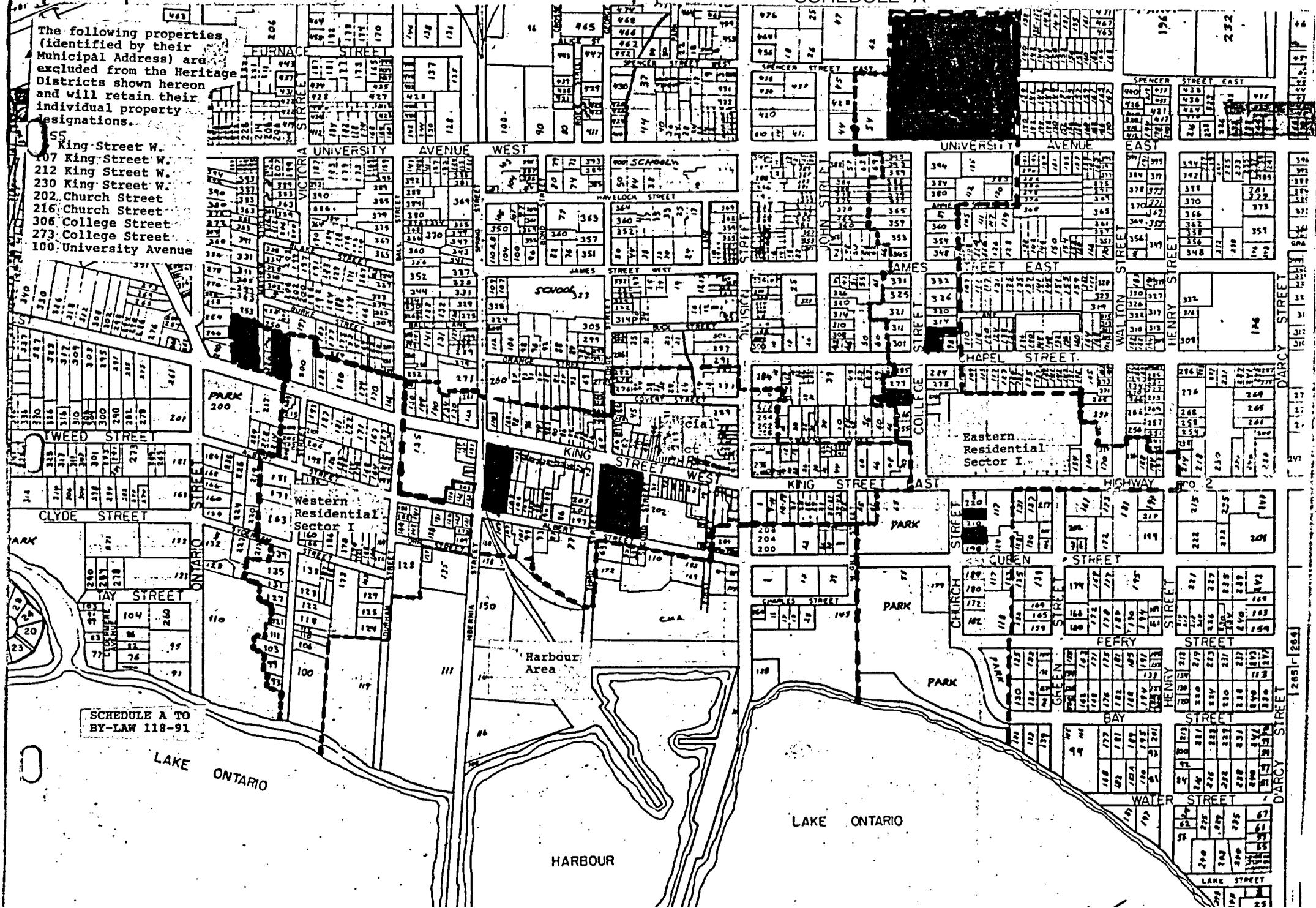
BY-LAW NUMBER 118-91

SCHEDULE "B"

Heritage Conservation District Study prepared by Robert D. Mikel
February - March 1991

The following properties (identified by their Municipal Address) are excluded from the Heritage Districts shown hereon and will retain their individual property designations.

- 55 King Street W.
- 107 King Street W.
- 212 King Street W.
- 230 King Street W.
- 202 Church Street
- 216 Church Street
- 306 College Street
- 273 College Street
- 100 University Avenue



SCHEDULE A TO BY-LAW 118-91

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DB#	91	FOLIO#	221
ORDER ISSUE DATE			
APR 14 1992			
H90-1		FOLIO#	103



M 900047

Ontario Municipal Board
 Commission des affaires municipales de l'Ontario

IN THE MATTER OF Section 41 of the Ontario Heritage Act, R.S.O. 1980, c. 337

AND IN THE MATTER OF an application by the Corporation of the Town of Cobourg for an order to approve By-law 27-90, passed on the 19th day of February, 1990, being a by-law to designate a Heritage Conservation District as per the attached Schedule "A"

AND IN THE MATTER OF an application by the Corporation of the Town of Cobourg for an order to approve By-law 118-91, passed on the 25th day of November, 1991, being a by-law to amend Heritage Conservation District By-law 27-90, as per the attached Schedule "B"

C O U N S E L :

W. Fairbrother - for Town of Cobourg

DECISION delivered by M.F.V. EGER AND ORDER OF THE BOARD

In February 1990, the Town of Cobourg passed By-law No. 27-90 to designate the Cobourg Heritage Conservation District and to adopt a Cobourg Heritage Conservation District Plan. An amending by-law, By-law No. 118-91 was passed by Cobourg Council in November 1991. Both by-laws require this Board's approval causing this hearing.

Robert Mikel, a consulting architect and Elizabeth Howson, a planning consultant for the Town for some years, outlined the background leading to the passing of the subject by-laws. Both support the designation of three identified heritage conservation districts in the Town of Cobourg. Four local residents, two of these

members of the Local Architectural' Conservation Advisory Committee (LACAC) also support these designations.

Six additional residents object to the subject designations. Three of these individuals live in homes which are located in a proposed district. A fourth resident owns several properties within a proposed district. These residents believe that the designation of their homes is a further infringement of private property rights; that the **designation** will increase individual property owner and public costs to implement; that the designation is not required as the residents are committed to maintaining the historic resources in their community without a specific heritage district designation and that there are other effective ways that LACAC in Cobourg can heighten the awareness of the Town's history (i.e. publications, tours etc.). The Board finds it significant that none of these residents argued that the areas proposed for designation were not representative of the heritage of the Town. Also the residents argued that if heritage districts were to be designated that the Harbour Area should be added as a separate district.

The following are the issues before the Board -

- .what portions of the **Town's** by-laws require approval of this Board pursuant to Section 41 of the Ontario Heritage Act, and
- .do the by-laws have merit, from both the perspective of sound rational and adequate public involvement?

By-law No. 27-90 and By-law No. **118-91** were enacted pursuant to Section **41(1)** of The Ontario Heritage Act, R.S.O. 1980, Chapter 337, as amended (The Act), which reads -

"41.- (1) Subject to subject (2), where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, the council of the municipality may by by-law designate the municipality or any defined area or areas thereof as a heritage conservation district."

The Board concludes that the only by-law requiring its approval is a by-law to designate the Town of Cobourg or any defined area or areas thereof as a heritage conservation district. It therefore follows that only Section No. 1 of By-law 27-90 as amended by Section No. 1 and Section No. 2 of By-law 118-91 require this Board's approval. The balance of said by-laws relate to the adoption of a Cobourg Heritage **Conservation** District Plan. This panel makes no determination of whether or not a municipal council may enact pursuant to Part V of the Act a by-law adopting a "Heritage Conservation District Plan". However, we conclude that such a by-law does not require the approval of this Board.

The Board relies on the requirements of the provincial guidelines entitled Ontario's Heritage Conservation District Guidelines and the Heritage Conservation policies (**Section 9**) in the Town's Official Plan to provide a context to determine the merits of the subject by-law. The provincial guidelines identify four necessary components to a successful heritage conservation district:

- : a sound examination of and rationale for district designation, particularly for the delineation of district boundaries;
- active public participation in the designation process;
- a clear and complete designation by by-law; and

- clear and well'.advertised policies for controlling development in a designated district to protect and enhance the very character which was the basis for designation.

Only the first three points relate specifically to the designation of a heritage district. The fourth is assumed to be a reference to a Heritage District Conservation Plan.

The Official Plan addresses these same issues but provides more specific criteria for district identification. The plan also requires the assistance of **LACAC** in establishing a Heritage Conservation District(s).

A Heritage Conservation District Study was compiled for the Town **by Robert Mikel**. This comprehensive study provides a general history of the Town of Cobourg. It also describes the rationale used to identify the Town's historic core area which can be further divided into sixteen sub-areas each characterized by a particular type and use of building. Other factors such as lot size and height of buildings were considered in determining within which sub-area a property belonged. Three **of these** sixteen areas were studied further and are recommended for heritage district designation, namely the Commercial Core, the Eastern Residential Sector I and the Western Residential Sector I. The Board accepts Mr. Mikel's uncontested evidence as a sound examination of and rationale for district designation. It was also both Mr. Mikel's and Ms **Howson's** evidence that the designation of these three areas conform to the Official Plan and are appropriate for the protection of the historical resources in the Town.

Mr. Mikel's submissions also confirmed that the public has been **provided** with adequate opportunities to have input into the process **followed** by. the Town leading to the designation of these three **Heritage** Conservation Districts. While the LACAC was established in

1979, the pursuit of designation did not begin in earnest until 1988 when the Town hired a consultant to produce a Heritage Conservation Study. Mr. Mikel was subsequently retained to refine and finalize this report. Public meetings and an open house were held to provide public input and review of the study and resulting municipal by-laws.

Schedule A to By-law 27-90, as amended by By-law 118-91 provides a map which clearly identifies the three areas proposed for designation with one exception. . The residence at 259 George Street was incorrectly included in the Commercial Core District. The Town requests that this property be deleted from inclusion in a designation if the Board approves the subject by-laws.

The Board now turns to the specific concerns of the residents. Several objectors consider the subject by-law as an infringement of property rights. All planning legislation can be seen as interfering with a landowner's freedom to deal with his property as he sees fit. However, the subject by-law is a control permitted by provincial legislation which was enacted for the broader benefit of the municipality rather than the individual landowner.

. Several residents were concerned that the designation would increase a property owner's costs to repair or renovate a building as well as increase municipal costs for works in such areas. The Board has no evidence to indicate that the approval of the requested heritage district designations would force an individual or the municipality to expend monies to renovate or repair buildings.

Some of the residents indicated that a district designation was not required. The Board finds that the evidence supports the municipality's decision to seek district area designations for the three named areas **rather** than relying on municipal designation of individual property under Part IV of the Act.

Finally; the Board was asked by the residents to consider the Harbour Area for designation. The Harbour Area is enclosed on the west by the Western Residential Sector I, on the north by the Commercial Core **District and** on the east by the **Eastern Residential** Sector I. All parties agree that it is a unique area. 'The commercial use of the Harbour has declined significantly since the **1950's** leaving a largely undeveloped area immediately adjacent to **Cobourg's** core area. Mr. Mikel reviewed the Harbour Area and found that none of the remaining buildings is currently designated under Part **iv** of the Act. Furthermore only the pier and one clapboard house meet the criteria to be considered for Part IV designation. Ms **Howson** was retained by the Town to study the harbour area which resulted in the Harbour Area Secondary Plan, Official Plan Amendment No. 24, which was approved in August 1990. The residents' major concern that future development in the harbour area be compatible and enhance the historical features in the three surrounding heritage districts is met by this Secondary Plan. The plan protects visual corridors and public access to the waterfront/harbour area. New development will be subject to controls on building height which will encourage building scale which is complementary to the existing surrounding historic built form.

In conclusion, the Board will approve Section 1 **to** By-law No. **118-91** and an amended Section 2.

Section 1 will read -

Schedule **"A"** to By-law Number 27-90 is hereby repealed and replaced with Schedule **"A"** to this by-law.

Section 2 as amended will read -

The following three separate Heritage Conservation Districts are designated within the Town of Cobourg, as shown on Schedule **"A"**, namely:

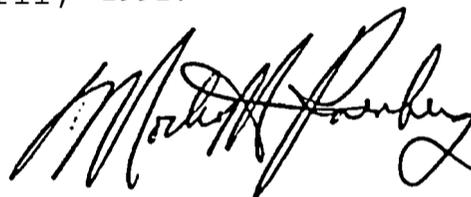
- (a) The Commercial Core, as shown on Schedule **"A"**, with the exception of 259 George Street which is not designated.

- (b) The Eastern Residential Section as shown on Schedule "A". .
- (c) The Western Residential Sector as shown on Schedule "A".

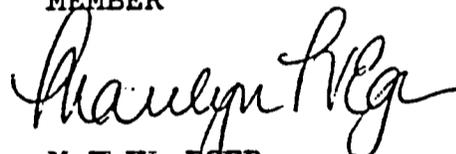
As amended by By-law 118-91, with the changes noted above, the Board will approve Section 1 of By-law 27-90

The Board so orders.

DATED at TORONTO this 14th day of April, 1992.



M.A. ROSENBERG
MEMBER



M.F.W. EGER
MEMBER

SCHEDULE "A"

M 900047

to the Decision-Order of the Board dated 14th day of April, 1992.

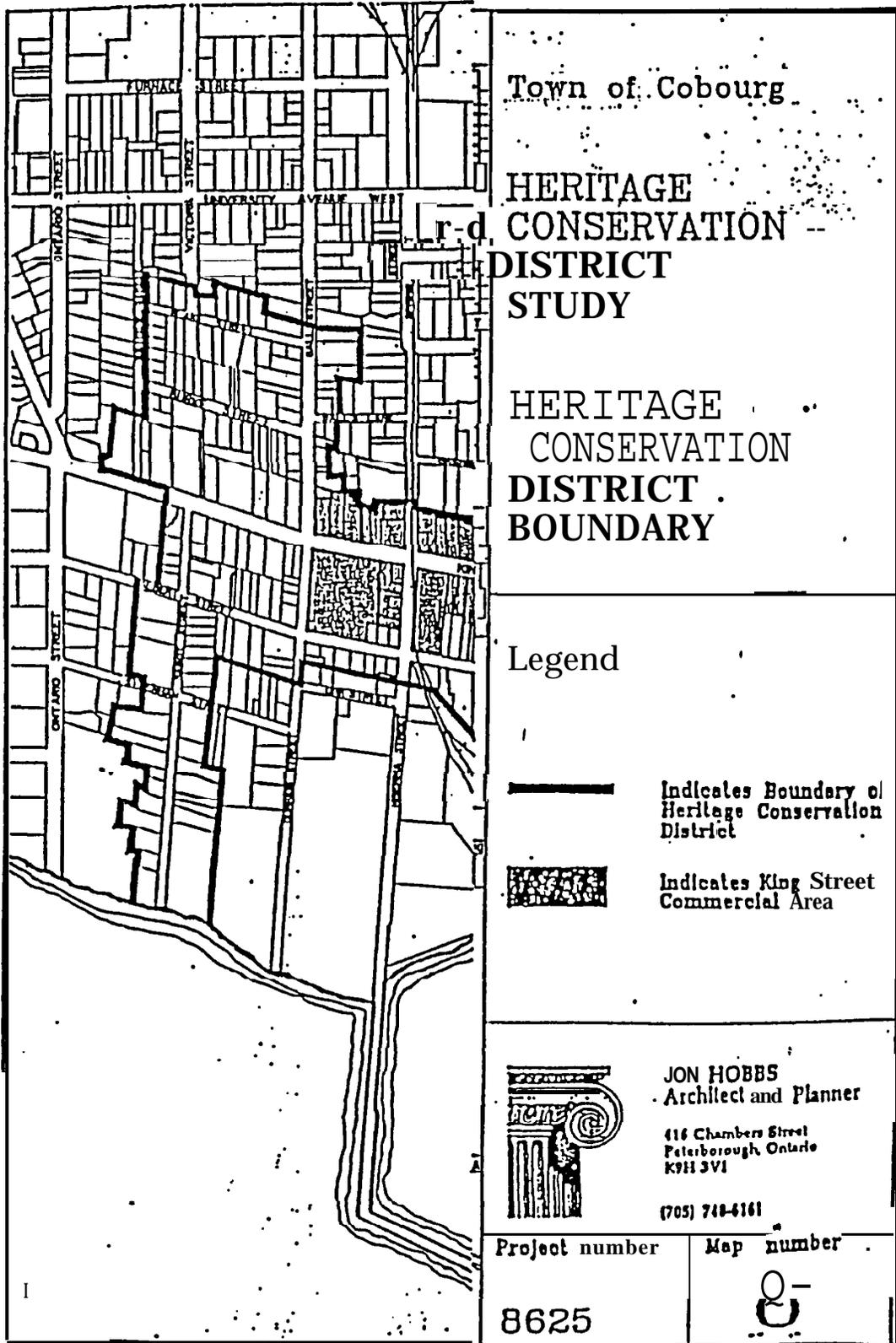


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M 900047

THE CORPORATION OF THE TOWN OF COBOURG
BY-LAW NUMBER 27-90

SCHEDULE "A"



SCHEDULE "B"



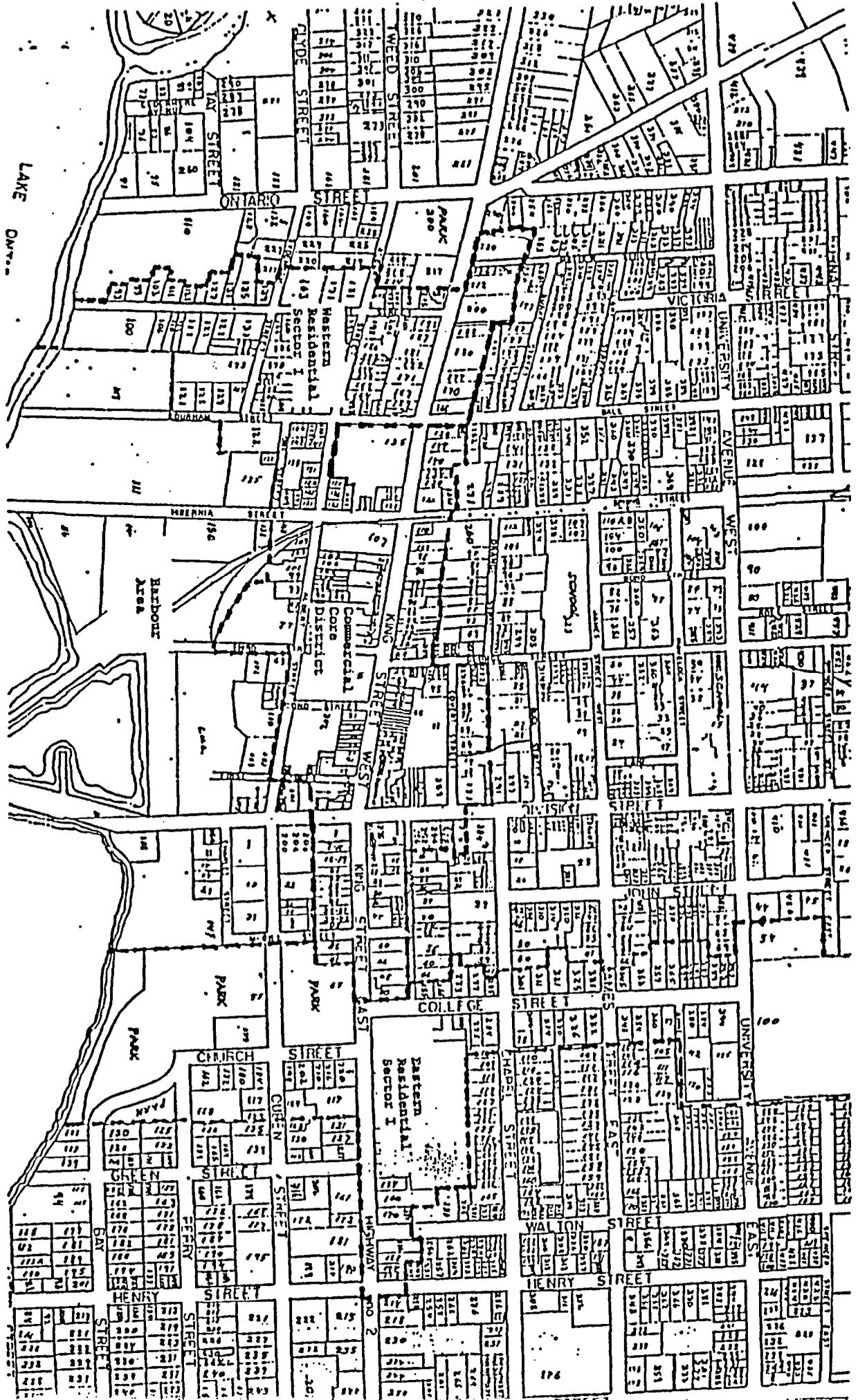
M 900047

to the Decision-Order of the
Board dated 14th day of April 1993

Ontario

Municipal Board
Commission des affaires municipales de l'Ontario

Town of Cobourg By-law 118-91 SCHEDULE "A"



BY-LAW NUMBER 118-91

SCHEDULE "B"

HERITAGE CONSERVATION DISTRICT STUDY

for the
TOWN OF COBOURG

prepared by

Robert D. Mikel
90 Walmer Road
Toronto, Ontario
M5R 2X7

with the assistance of Margaret Bailey

in conjunction with the.

Town of Cobourg

and the

Zobourg Architectural Conservation Advjsory Committee

February-March 1991

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ACKNOWLEDGEMENTS

This study would not have been possible without the help and co-operation of many people.

Special thanks go to the LACAC committee chaired by Mr. Bud Barr and to Town of Cobourg Employees, particularly Mr. Wayne DeVeau and Mr. Bob Angione.

Thanks also to Ms. Margaret Baily who assisted in the preparation and editing of the report.

Finally, I would like to acknowledge the funding and support given to this study by the Heritage Branch of the Ministry of Culture and Communications, particularly conservation officer, Margo Teasdale.

1. Executive Summary

The Cobourg Heritage District Study began as a study to determine areas for designation under part V of the Ontario Heritage Act. The first study recommended a large part of the central core containing various representative "areas of character" to be designated. The purpose of creating this large district was to protect as many, or parts of as many, "areas of character" as possible under one by-law. The rationale was that if no other districts were ever implemented that representative bits of areas in Cobourg would be protected.

While commendable, the first proposed district did not follow the intent of Part V of the Ontario Heritage Act and the Heritage Conservation guidelines of the Ministry of Culture and Communications. The purpose of district designation is to identify an area with a unique heritage character and designate it by a municipal by-law. Heritage Conservation Guidelines and preservation methods would be specific to that conservation district. It became apparent after the completion of the first Cobourg district study that administrative and organizational problems would arise if the Heritage Conservation District Study was implemented without revision.

As a result a second study was commissioned. This study was given a broader mandate to examine the whole Town to determine a general heritage preservation framework and a specific mandate to make recommendations on how the area of Town which was understudy in the first report could be best fit into a broader heritage preservation framework.

The results of both studies are now combined into the second report. From these studies, it can be seen that Cobourg is a unique community with a rich and diverse heritage. Heritage planning and preservation must be an essential part of the Town's planning process if Cobourg is to retain its unique and important character.

In the last decade support for the preservation of Cobourg's Heritage has been steadily increasing and becoming more vocal. This study is a direct result of the community's desire for stronger heritage protection.

The Town of Cobourg is the sum of its individual parts. Physically and functionally the Town works because of the relationship between its inter-related areas. Historically, the Town evolved as a whole. When designing a heritage plan it is important to remember this. Unlike many other communities, particularly larger ones, all of the Town of Cobourg retains its heritage integrity. Heritage districts are very valuable tools of preservation but designated districts should not be seen as the only heritage areas nor should other parts of the Town be left out of the heritage planning

process. The health of the whole community is inter-twined with the health of its individual parts. Thus the need for a comprehensive heritage plan.

2. **Summary** of Recommendations

2.1 Recommendations on General Heritage Planning in Cobourg

In order for heritage preservation and conservation to be successful in Cobourg, the Town has to have a well-developed, integrated heritage approach and a strong organization able to implement it. To assist the LACAC in planning for an effective heritage conservation organization it is recommended that:

1. the LACAC develop a written mandate detailing its role and objectives. This written mandate should have official support from the Town Council.
2. the LACAC develop 'written policies and procedures for implementing all its activities.
3. the LACAC be expanded to 15 members from 9 members to ensure that there is enough manpower to carry on the work of the committee.
4. the LACAC develop a sub-committee structure to report to the whole.
5. the Town hire a heritage resource person, trained in this field, who can organize public relations and advise the Town, on either a part-time or full-time basis.

2.2 Recommendations on Heritage Planning and the Official Plan

Much of the success of heritage preservation depends on planning policies and issues: In this regard **it is** recommended that:

1. The Planning Department, in co-operation with the LACAC, review the official plan to identify ways in which it can be strengthened to encourage heritage preservation and the retention of existing structures.
2. the Planning Department review specifically the areas proposed as designated Heritage Conservation Districts to develop planning measures in line with the intent of Heritage Conservation District designation.
3. the Planning Department develop its own tools that will stimulate heritage preservation and the retention of old building stock

2.3 Recommendations on specific area of study.

For the area under study it is recommended that:

1. three Heritage Conservation Districts defined in this study as the Commercial Core, Eastern Residential Sector I and Western Residential Sector I (boundaries defined on map entitled-Areas of Character within **Cobourg's** Historic Core) be created and individually designated under Part V of the Ontario Heritage Act.
2. more detailed guidelines be developed for each district.
3. special guidelines and a master plan be developed for Victoria Park.
4. further study be undertaken on individual buildings within the districts.
5. each existing individual property designated under Part IV of the Ontario Heritage Act located in a proposed district be examined carefully to ascertain the benefits of individual designation as opposed to district designation before Council repeals the existing designation by-laws. Where individual properties are to remain designated under Part IV, the district boundaries will be adjusted to exclude such properties.
6. general maintenance and repair guidelines be drawn up for historic buildings as a guide for property owners.

3. INTRODUCTION

Heritage Conservation is a community concern. Our immediate environment is one of the most important influencing factors in our lives. The relationship of built structures to their surrounding open space and each other, the **colour**, texture, size and mass of buildings and the natural landscape are crucial to the economic and psychological well being of the community.

Cobourg has evolved over 150 years. Our forefathers understood the importance of harmony in city planning. Although no set planning laws existed, for the most part builders were sensitive to the overall character of the Town and Cobourg developed into one of the most beautiful communities in Ontario. Its beauty was one of the reasons it became a leading 'summer resort at the turn of the century. The builders of Cobourg followed unwritten traditions that changed little until the after the second World War. After the War an era of unchecked growth saw the demolition of many fine buildings in Cobourg, many of which were replaced with utilitarian structures which paid little heed to the traditional evolutionary patterns of the Town. Also most of the boulevard trees were removed during this time and a Town that was noted for its beautiful trees was conspicuously denuded of them.

Today we know how important the character of the Town is. It is important for the residents' sense **of security** and well being. It is important because it attracts tourists and industry to the area and it is important because the character defined through its buildings and spaces represents the visual sense of continuity with our the past.

Preservation and conservation measures ensure that the best of the old will survive and-that new development will be of the same quality and in harmony with the existing built **form, enabling** the Town to grow without losing the character that defines it.

Heritage Conservation Districts are important components to any overall community heritage plan. They should be used as a tool, in conjunction with individual designations, public awareness **programmes** and progressive zoning, to ensure that the best of the old is preserved and that new construction is in harmony with the existing Town structure and character.

Conservation Districts should:

- promote and enhance distinct historic areas
- ensure through guidelines increased cohesion and compatibility with existing built form
- provide a comprehensive administration programme which is simple and efficient.

It should be stressed that District Designation is not meant to freeze development but to ensure that new development does not destroy rather than enhance the character and ambience of the Town.

District Designation can only be successful if it is administered **properly**, and in conjunction with the Town's official plan.

4. HERITAGE CONSERVATION DISTRICTS - EVALUATION OF WORK TO BE DONE IN SECOND REPORT

As stated in the MCC provincial guidelines on Heritage Conservation District and in part I of the first Cobourg Heritage District Study the following "key ingredients" are necessary for the establishment of a successful heritage district:

- a sound examination and rationale for district designation, especially for the delineation of district boundaries;
- active public participation in the designation process;
- a clear and complete designation by-law;
- clear and well publicized policies for controlling development in a district to protect and enhance its unique character.

After evaluation of the first study, the following specific areas were identified for further elaboration:

- review of the buildings listed as having contextual and individual importance;
- the historical context and **Cobourg's** importance in relation to the development of the province and the nation, needs to be described and identified along with the significance of the Town's historic features;
- more detailed information of the Town's planning policies and how these planning policies effect heritage conservation;
- re-evaluation of the study area, particularly discussing the boundaries and how the area conservation district relates to the whole of the Town;
- more detailed information on the guidelines and **infill** guidelines, making them less general and more specific to the particular areas proposed for designation and conservation.

The following areas were identified for inclusion in the study:

- a short discussion on individual designation and district designation so that the implications of the study can be more fully understood;
- an inventory of all buildings contained within the district

These revisions and additions should make the study a strong tool for preserving the district. For easy reference the categories in the second study have been made to correspond to those in the first one.

5. RESEARCH AND ANALYSIS

5.1 Historical Significance of the Town of Cobourg

The, Town of Cobourg was an important community during the early history of Upper Canada. It was a social, political, economic, religious and educational centre. Its harbour was a major export and import point as well as an important landing for settlers. The Town was involved and experienced all the major upheavals affecting the emerging Canadian nation. Because it experienced economic problems late in the 19th century and did not grow much until after **WWII**, the physical evidence of its 19th century past has been largely preserved and provides an important visual record of our early history. Added to Cobourg's early history is its unique historical era as one of North America's most famous **turn-of-the-century** summer resorts. Together they have created a unique and **colourful** history for the Town which is recorded in the many handsome buildings that survive.

5.1.1 Historical Background

Cobourg was founded in 1798 by United Empire Loyalists who carved a settlement out of cedar swamp. Soon the Town attracted other settlers, many with means and influence. Grist and saw mills, stores and residences followed in quick succession. By the 1820s Cobourg had evolved out of its pioneer state into a bustling young community. It was the capital of the Newcastle District with a court house and gaol, a post office, the largest grist mill in the province, an Anglican Church and Methodist chapel and several thriving stores, taverns and many well built residences. It also had a large number of wealthy citizens -government officials, half pay officers, merchants and farmers, an upper class eager to exploit the Town's advantages. In a time when community prosperity largely depended on local initiative, the community leaders tied their own interests to the interests of the growing Town.

Beginning in the late 1820's joint stock companies were established to build not only the requisite services but the best and most modern of everything available. By the **1840s**, a fine harbour brought in goods and exported raw materials brought **to Cobourg** by efficient roads that stretched out in all directions. In 1834, one of Cobourg's most ambitious schemes began when the Town received a charter for the construction of a railway to tap the resources of the northern hinterland. This showed great business acumen considering the charter was applied for only a few years after the first railway in the world was built.

In the 1830s and 40s Cobourg established a firm economic and social base and boasted major educational institutions including **Victoria College, (later Victoria University)** and Reverend (later Bishop)

Bethune's theological school for Anglican priests. By the 1850s Cobourg was the fifth largest centre in the province with a population well over 5,000. It was a full-grown integrated community - a social, cultural, political and economic centre projecting a self confident self-importance.

Physically the Town was well planned and its citizens spared little expense on their public, commercial or residential properties. Victoria College, St. Peter's Anglican Church, the Wesleyan Methodist Church, and the Globe, the finest hotel between Toronto and Montreal were testaments to public spirit. Elegant villas such as The Lawn, Heathcote, Northumberland Hall and The Hill gave evidence of private wealth.

In the 1850s citizens fully believed that Cobourg could and would become the economic and political capital of the province. Construction began on the grandest of the new civic buildings, Victoria Hall. Opened by the Prince of Wales in 1860, its was designed to match the Town's anticipated greatness. In 1854, the Cobourg to Peterborough Railway opened for business. Unfortunately however, the heady spirit of prosperity was not to last. The Town was brought to the brink of economic disaster by the exorbitant cost of Victoria Hall and the failure of the railway due to the collapse of the bridge over Rice Lake;

In the sober decades that **followed**, the population dwindled from almost 7,000 to 5,000. However, with characteristic Cobourg vitality, families and industries bounced back and the economy of the Town stabilized. The 1870s were exciting times. Cobourg was caught up in the "national dream"; the vision of Canada stretching from sea to sea and the prosperity this could bring., Younger sons with a drive to make their own fortunes and some entire Cobourg families moved west to Winnipeg, Edmonton and Vancouver.

Wherever they went, Cobourg citizens took leading roles in their new communities. By the turn of the century they were making significant contributions on a national **and international** level. Some of the notables are Sidney Smith, Postmaster General; George M. Clark, Chief Solicitor of the CPR; Arthur Boswell, Mayor of Toronto; Frederick P. Rubidge, Chief Engineer and Architect of Public Works, Ottawa, Designer of the 1878 addition to Rideau Hall; John D. Armour, President of the Supreme Court of Canada; and Harry Black, Real Estate Developer and builder of the Park Plaza and Flatiron Building in New York City.

Cobourg women were not only notable society hostesses but also had significant political influence and commercial accomplishments* Kate Armour Lowry Reed was a close friend of Thomas Edison who valued her wit and intellect. She also was responsible for the decoration of the CPR hotels and the design of the Empress Hotel Gardens in Victoria. Ella **Beatty** Shoenberger Harriss through her wealth and social skills dominated Ottawa society from 1897 until her death in 1924.

All towns are proud of their successful and prominent citizens, and virtually all can claim some connection to power and glory but few can boast a greater and more stellar number than Cobourg. At a dinner party at Government House in London when Larking (whose mother was from Cobourg) was the High Commissioner, **twenty-four** people were assembled. In the course of conversation Cobourg was mentioned and everyone was astonished to learn that all present had a connection to the Town.

In 1867 several American capitalists became interested in revitalizing the ailing Cobourg to Peterborough Railway to transport iron ore from Marmora to Cobourg where it would be easy to ship to Pittsburgh. While the scheme was not a long term success it did bring a number of Americans to Cobourg. One, Colonel Chambliss, thought that Cobourg would make a wonderful summer resort for his friends. With the financial aid of his father-in-law and some Cobourg businessmen the result was the **Arlington Hotel, completed** in 1874.

Chambliss and a Cobourg doctor travelled throughout the United States advertising Cobourg air as having the second highest ozone content in the world. This capitalized on a current craze which considered ozone extremely salubrious to one's health. This successful marketing venture enticed thousands to the Town. Once here, they enjoyed the healthful atmosphere and Cobourg's **Anglo-Canadian** society. Many summer residents were veteran officers of the Civil War from both the north and south and it was said that many of the battles of the Civil War were re-fought in the saloons of Cobourg.

visitors from the U.S. And the rest of Canada, who visited year after year eventually built summer homes, many of which were on a palatial scale. By 1900 Cobourg was the most popular summer resort in Canada with its population jumping by over 2,000 in the warmer months. One publication noted that "a number of handsome residences had been erected.. . to do this hundreds of thousand of dollars have been spent so today many cities cannot boast the wealth and magnificence which Cobourg has within its limits." The summer life was a whirlwind of activity "with large hops at the Arlington, Columbian, Baltimore and Cedarmere Hotels, while teas, card parties and entertainments, small and great followed on another in rapid succession".

Cobourg's summer colony slowly declined over the 1920s and 30s. After the two World Wars, the life of towns all over Canada changed drastically. New industries moved to Cobourg bringing with them new subdivisions. Old was out, new was in and many historic buildings including Cobourg's old Post Office, its registry office and many of the palatial summer residences were lost in the wake of progress.

5.2 Evolution of the Physical Fabric of the Town of Cobourg

Cobourg possessed no early grand planners. When land was laid out in Cobourg, there were no squares or crescents, no major boulevards planned to relieve the basic grid pattern lay-out. College Street comes closest to a grand avenue with its generous boulevards and Victoria College a vista termination. At Amherst, the small settlement located at **Burnham** and William Streets, a village square in the American tradition was planned in front of the Court House, built there in **1828**. Lack of **any major** development in Amherst scuttled the community's only real 19th century attempt at urban planning. Like many centres Cobourg evolved rather than being planned. Care was taken on **the positioning** of buildings and as a result many public and private structures are situated to take advantage of a vista or natural feature. Victoria Hall is a notable example subtly placed at the bend in King Street to take the best advantage of sight lines.

The Cobourg area was first surveyed for settlement between 1791 and 1796. The land was divided into farm lots. First settlements appeared north of the Town at Amherst (**Burnham** Street and William Street) and Hull's Corners (where Division Street meets the 401). There were a few clearings near the Lake. Division Street was probably the first road in the Town beginning as a trail up from **the Harbour**. The Kingston Road, (Highway #2 or King Street) was constructed in 1817. The intersection of these two streets created the main intersection of Cobourg. As the farm, lots were subdivided, streets in the community were laid out in the typical British colonial system based on the military grid. The only deviations from this rigid form was William Street which veers north on a **diagonal** from the five corner intersection at King, Ontario and William Streets and the curious bend in King Street at Victoria Hall. The latter deviation gives Cobourg's main Street a unique character.

Harbour facilities developed **directly** south of the main commercial **centre so** that the two were closely connected and formed an important physical relationship to one another. Victoria Park, immediately east of the Harbour, fortunately remained open space as Cobourg evolved and forms a unique and impressive landscape within the Town.

Development, both residential and commercial first grew up along King and Division Streets. As the nineteenth century progressed, King Street became the commercial core containing largely three storey densely situated blocks of stores while Division Street lost its early commercial importance. It became largely residential and today retains much of the **form and** density of Cobourg's early days with many of the earliest surviving buildings in Town located along it.

Although industry was located in and around the **Town**, the major industrial section of the Town grew up around Factory Creek on the Town's west end. Much of the land surrounding the creek was subdivided for houses for workers, with a few very impressive houses built for the factory owners.

The east end became known as the "aristocratic part" **of Town**. It was here that many of the Town's gentry built villas on spacious grounds. Later summer residents constructed most of the large summer homes in the east end. Well-to-do merchants built houses up George Street and around the five corners. Major streets, King (east and west), Queen, George, Ontario and William, then tended to be characterized by larger houses on large lots. Later College Street would develop likewise. Middle - to working-class housing grew up in between these major streets.

To the east and west of the Harbour area were the two Irish communities, **Corktown** to the east below Queen Street east of Church and west of **Darcy** and Kerrytown, south of King Street West, and west of Ontario Street. These areas were largely populated by Irish fleeing the famine in Ireland during the 1840s.

In the 1850s the Grand Trunk Railway went through along the north of the Town. Later the CPR tracks ran parallel to it. The railway lines served to, until recently, inhibit development to the north so that the Town has grown in an east-west direction.

By 1910 the major form and size of the Town had been established. Little **changed until** the 1950s when post-war prosperity brought new growth to the area. New ideas on Town planning and the growing popularity of apartment buildings physically changed Cobourg. New sub-divisions like Abbott Blvd., Meadowvale and **Westwood** circled the Town. New planning sensibilities such as curving roads, often large irregular lots did not fit with the traditional grid system of the Town. Emphasis was placed on the growing suburbs while the older sections closer to the core were seen as potential areas of expansion. As a result zoning by-laws encouraged demolition in order to allow the construction of apartment buildings and other such modern institutions. The car became the important unit, replacing pedestrian access as roads were widened to allow for more vehicular transportation. King Street East suffered the most during this period losing many fine residences to five and six storey apartments. However, the effects of the last 30 years have been isolated and the Town has retained much of its traditional character and most of its important architecture. District designation is important in ensuring that further erosion of these important areas does not occur.

5.3 Evaluation of the Historic Fabric of the Town of Cobourg

5.3.1 Introduction

The first step to defining a district or potential district is to

identify the Town's historic core. In Cobourg's case there is an extensive area of old and interesting building stock. Therefore the historic core of the Town is quite large.

By examining the history, the physical evolution and the density of the Town's old building stock a definite historic core does emerge. The boundaries for this core are Lake Ontario to the south, **Burnham** Street to the west, the railway tracks to the north and Darcy Street to the east.

This historic core, of course is not one large district. Within the historic core several districts of significance and character emerge. There may be some areas within the historic core which are not worthy of district designation. Yet much of the historic core is worthy of consideration for district designation. This study should be seen as the first study to identify and determine districts and recommend a plan. Preliminary study suggests that there are potentially 16 different "**areas of character**" within the historic core boundary.

They are briefly defined as:

- 1 - The Commercial Core, The central business district comprising the area bounded by the harbour lands to the south, Hibernia and Durham Street to the west, King Street and Covert Street to the north and College Street and Victoria Park to the East. The area is almost all commercial with some institutional and a residential mix.
- 2 - Harbour Area, The lands surrounding the harbour. This area is largely open land with some industrial, commercial and residential use.
- 3 - Eastern Residential Sector I. It makes up the residential area on the fringe of the commercial core and includes the old Victoria College building which is the northern limit and Victoria Park to the south and King Street to Henry Street. The area is made of fairly large lots, several institutional buildings and a number of large houses and important streetscapes and vista terminations.
- 4 - Eastern Residential Sector II, Bounded roughly by Queen Street to the south, Church Street to the west, King to North and Darcy to the east, it is a continuation of the King Street East residential street character of ERS I but is characterized by generally much larger lots, larger houses and more modern **infill** development. Stabilizing unsympathetic development in this area is crucial to the preservation of the character of King Street East and the eastern part of Town. Still the character of this area remains and can be enhanced by proper planning controls.

- 5 - Eastern Residential Sector III. A largely uniform residential area of comfortable houses. Pleasant streets though not as grandly developed as College or King Streets. The area contains only one large institution (Cobourg Hospital), little commercial use and several large houses.
- 6 - Eastern Residential District IV, Historically known as Corktown, the area was largely settled by Irish immigrants escaping the famines in Ireland. The area bounded by Lake Ontario to the south, Victoria Park to the West, Queen Street to the north, and **Darcy** Street to the east is characterized by smaller one to one and half storey houses, largely frame with some brick, set often on fairly large properties. It is all residential and any **infill** which has occurred has been in keeping with the character of the area. Potential threat to the character of this area would be the demolition of smaller historic structures to build "monster" homes similar to what was occurring in other communities where smaller houses exist on large prime lots.
- 7 - North Residential Sector I, a residential area bounded by Swayne Street to the south, Division Street to the west, University to the north and College to the east. The area is characterized by quite old smaller one and one and a half storey largely frame buildings set on small lots.
- a - North Residential Sector II, the area loosely defined as both sides of Division Street from Covert Street to Park has had a varied history of use. As a major thoroughfare it has been both commercial and residential. In early days when the link to the north was strong Division was an important commercial street. As the east-west axis of King became dominant the street became largely residential and institutional with a number of professional offices with residences near Buck and James Streets. Several important institutions particularly the Wesleyan Methodist Church(now the United Church) and St. Michael's Roman Catholic Church located on this street. In the last few years the street has taken on a more commercial character although there is still a strong residential component. A variety of low scale building stock largely built before the turn of the century exists on the street with some of the earliest buildings in Cobourg located between Buck and University.
- 9 - North Residential Sector III. The area loosely bounded by Covert Street to the south, George Street to the west, Park Street to the north and Division Street to the east. Like NRS I, this is a residential area sandwiched in between two street with definite characters(George Street to the west and Division Street to the east). This

residential area has **larger lots** with generally bigger houses, many of brick, than the area NRSI. It is not as densely developed as some of the inner core of the Town. This may be because of the Cobourg Creek which now runs underground through the area.

- 10 - Northern Sector IV. The area basically defined by George Street extending to include parts of **Havelock** and Roe Street and extending north to the railway tracks. The street is characterized by large houses set on large lots, many set back from the street. There is a growing commercial component near King Street with a major educational **institution**(**Central** School) located slightly north of the commercial district.
- 11 - North-west Sector I. The area bounded by King Street West, Ontario Street to the west, Furnace Street to the north and George Street to the east. It is a largely uniform residential district with similar sized lots and building stock, some of which is very early and most dates to before the turn of the century.
- 12 - Western Residential Sector I. A residential area on the western fringe of the commercial core. The area is bounded encompasses Bagot Street, King Street West from Durham to Ontario, Durham Street, Orr and Sydenham Street.
- 13 - Western Residential Sector II. Comprising all of Ontario Street South and some of Ontario Street north and William Street to University, this area is characterized by large lots with large homes and apartment **infill**.
- 14 - Western Residential Sector III. An area comprising King Street West from William Street to Factory Creek.
- 15 - Western Residential Sector IV. A residential area south of King Street West and west of Ontario Street consisting of Fourth, Tweed and Clyde Street. Largely settled by Irish settlers is has historically been known as Kerrytown.
- 16 - Western Residential Sector V. Developed by the successive owners of the **Woollen** Mills, beginning in the **1840's**, the area including Sinclair, Stuart, Tremaine and Monk Street contains some of the earliest and most interesting buildings in Town.

Part I of the study focused on the centre of the Town which, because of the pressure of growth and development, is of primary importance. It identified an area with a high concentration of old building stock and tried to bring it under one large heritage district. The also tried to bring representative samples of other areas into one large district in an attempt to see some aspects of

other neighbourhoods of character brought under part V of the Ontario Heritage Act.

The proposed large district really encompasses several areas of character within one boundary. Since the study's completion certain problems have arisen regarding its size and boundaries.

Individual properties of significance or small areas which may qualify as **districts**(Hull's Corners or Fitzhugh Lane for instance) that lie outside this core could be handled separately.

The proposed heritage district set out in Part I of the study basically comprises four "Areas of Character" identified in Part II of the study.

- 1 - The Central Commercial Core
- 2 - The Harbour Area
- 3 - Eastern residential sector 1: includes College Street, King Street East to roughly Henry Street
- 4 - Western Residential Sector 1: includes King Street West to William Street and the residential area around Bagot Street.

These "Areas of Characters" will be the primary focus of Part II of Heritage District study.

5.4 "Areas of Character" under study.

5.4.1 The Central Commercial Core - Historic Evolution

The earliest commercial activity in Cobourg probably took place in the two earliest settlements of Amherst and Hull's Corners, located north of the present central core. It wasn't until after the War of 1812 that the centre of Town began to form where it is today. There are several reasons for this. First, after the War of 1812 there was no further threat from American invasion so settlement could more comfortably exist near the shoreline.

Second, it was close to the harbour and third, the construction of the Kingston Road(Hwy 2) through the area close to the lake provided a road convenient to the lake. When the settlers first came to the area the land around the lake had been quite marshy but because the water table dropped as a result of tree clearing the land became dry enough to settle. All these factors brought settlers closer to the lake which was still the most important transportation link with the rest of the world.

With the location of the Anglican Church and the post office and later a bank along the Kingston Road the main nucleus for the settlement began. Division Street which probably started as a path from where settlers landed soon became the main northern access for the area.

The community grew up around the corner of Division and King. The main commercial area however was King East of Division., Cobourg began to grow along King Street and up Division. The heart of the village became the Albion Hotel, located on the north side of King approximately at McGill. Here the first **council meetings were** held.. As harbour facilities were developed during the 1830s and 40s commercial area grew up around it and the two were soon tied together.

In the 1820s Cobourg was a string of clapboard buildings one to two storeys in height, haphazardly arranged along King Street and Division with very little uniformity. Much of the character and architectural style of the village was American as a large proportion of the population originated there. A few examples of this early period still exist in the downtown core one at 101 King Street West and at 134 King Street West. In the 1830s a few brick and stone buildings were built, 5-9 King Street West and 35 King Street East being survivors of this transition period.

However by the 1840s with an influx of settlers from the British Isles who preferred brick and a growing property, the character of Cobourg began to change. Large two but mainly three story brick terrace buildings or "blocks" began to be built.. The earliest were located at King **and** Division, "The Four Corners", and to the east to McGill Many of the buildings standing there were built prior to 1845. All the early buildings at the four corners have been replaced but the south side of King Street to McGill is largely intact.

Some early buildings were built on King Street on the north opposite the present site of Victoria Hall to be near the market and an early Inn The British which existed at the north-east corner of King and George Street since the 1830s. The 1844 block built by **D'arcy Boulton** still exists. The south side of King developed more slowly because it was still marshy and the Cobourg Creek which ran through the centre of Town and emptied into the harbour, still caused problems there. However some early buildings such as King Street East were built on the south side before mid century.

As the Town and harbour grew the centre of commerce gravitated closer **to the** harbour. By the 1850s the eastern portion of King was becoming largely residential as merchant's moved their premises to the block between Division and George. It must be remembered too, when these buildings were built, they contained residential components above them. Often the owner of the store resided above his shop. The commercial core had a much larger residential component than it does today. Much of this part of the central

portion of King Street and King Street west to Spring were built between 1850 and 1880. The construction of Victoria Hall completed in 1860 at King and Second tied the harbour, municipal offices and business district together.

Because of a few fires several buildings were replaced most notably the Smith Block at 2 King St. East which was rebuilt in 1888. By the turn of the century the main street was complete. **Its** appearance much as it is today was uniform in appearance. With the occasional break in height and materials, it was then and is today, a uniform largely 3 storey high brick streetscape with conforming window, cornice and roofs patterns. It was understood by the builders that one unified street gave a much more impressive appearance than individual buildings of various heights and designs that would compete against each other and lessen the whole effect. The construction of the Armouries and the second Cobourg Collegiate High School were the only significant additions in the first part of the 20th century. The next building of significance came in 1948 with the construction of the Park Theatre. Since then the **downtown's** historic character has somewhat deteriorated with the demolition of important buildings such as the original Bank of Montreal building at King and Division, the Registry office and a few commercial buildings and their replacement with buildings whose design offers little to the street. However, the street remains largely intact and represents one of the finest downtowns in Ontario.

5.4.2 The Eastern Residential Sector - including King Street, College Street and Victoria Park - Historic Evolution

In the early years of the history of Cobourg residential and commercial areas were very much mixed. The building forms for each were very similar and often interchangeable. As the 19th century advanced the difference between residential and commercial building form increased and became more segregated. Even the three storey terrace blocks built around King and McGill could be easily converted to strictly residential uses when the commercial centre moved westward because they were based on a Georgian plan that conformed to both residential and commercial use. However the three storey terrace blocks built between Division and George while having residential components were by their details more obviously intended to be commercial buildings and would have been more difficult to convert to a strictly residential use.

A clear indication of the demarcation of residential and commercial form and function is the building at 15-23 King Street East where the most westerly units are two storey shed roofed structures with commercial facades. The two most easterly units of this building are quite different being two and half storeys in height with fretworked gables projecting to the street and front porches and traditionally residential doors. This design makes the transition from the commercial part of King Street to the residential.

As the Town grew the centre developed a higher density while the residential started to string along the fringes of the Town with decreasing regularity. The Anglican church was established in Cobourg on its present site on King Street East in 1818 causing residential growth around it. Well-to-do settlers who were Anglican particularly favoured being near their church. **Others** of similar means bought land and farms in the east end of Town which soon began to be considered the more "aristocratic section".. By the 1840s King Street East was developing a distinctive character being lined with "villas" set in picturesque large lots. The north side of King Street to Henry was more densely built than **the south** and some small lots existed. As King Street developed into a very fashionable address many of the lesser houses were replaced with grander ones.

The south side to Green developed less quickly and was much more suburban in character. One of the reasons for this was the fact that the Anglican church owned a large portion of the middle of the block between Church and Green Street which contained a church school. It later became the site of the first Cobourg District Collegiate built in 1875. Another reason was the gentle slope to the lake from King Street afforded the houses on the south side more picturesque settings. There was little subdivision of the "villa lots" on the south side for most of the 19th century. One exception was the subdivision of the Henry property along Church Street breaking up of the southern portion of the grounds to Queen allowing the construction of several fine residences during the latter **part** of the 19th and early 20th century. Church Street became a very handsome residential street with a beautiful view of the lake and its northern vista terminated by St. Peter's Church. Thus the character of King Street East was set a very early stage and its **infill** building up until the mid 20th century tended to reinforce its distinctive character.

Victoria Park exists on the south side of King Street **opposite** College Street and successfully separates the residential from the commercial area. However this has not been historically so. The southern portion of Victoria Park has always been open space and was known in the 1830s as Perry's Common. The north section, the Park, was not Park until recently. At its most westerly corner stands the "Cameron Cottage" and two early terrace houses that became The Chateau.

These are typical of the type of structure that existed in this block. Dr. Goldstone had a house and office in this block and J. V. Boswell built a handsome residence at the corner of King and Church in **1867**. **The** construction of the Arlington Hotel in 1874 (which led to the demolition of the Goldstone house) completed the block. Perry's Common continued to be an open public place but was managed by the Arlington Hotel. The hotel undertook to landscape what became known as the Arlington Grounds. It was not until the late 19th century that these lands became an official public park. The demolition of the Arlington paved the way for the extension of

Victoria Park to King Street and the battle to save the **Lakeview** property (the Boswell house) for parkland in the 1970s brought the park over to as far as Church Street.

The third component of this distinctive residential area is College Street which is terminated at its northern end by the very historic Victoria College building. College Street gently slopes northward to the old college ground and it one of the few planned grand boulevards in Cobourg. However it did not developed as quickly as one might have expected.

The Ontario Foundry operated by James **Crossen** which was located north of St. Peter's may have been one reason. It later relocated to George Street in 1871. The houses that were built near the foundry tend to be small, one to one and a half storeys. Farther up College several frame and brick houses were built but none, with the exception of the Payne house, tended to be as grand as those along King Street. It wasn't until the early 1900s that College Street began to be a street with pretensions. During the late 1890s and the first two decades of the twentieth century ten large homes set on spacious grounds were constructed as the result of extensive additions to existing houses. College Street came to resemble King Street East and Church Street in character and feel. **Infill** tended only to strengthen this character with an unsympathic apartment house at Ann and College Street the only marring aspect of another wise uniform street.

5.4.3 The Western Residential Sector - including King Street West to William Street and the residential district south of King to Lake Ontario and west of Durham Street - Historic Evolution

The area had been sub-divided early in the Town's history although by the **1850s**, development had occurred only along King Street West, at the foot of Bagot Street and along Durham Street. The area grew slowly during the 1860s but experienced a building boom during the 1870s when many of the houses in the neighbourhood were built. Building activity died down again until the end of the century when another construction boom occurred. The neighbourhood was largely completed during the first part of the 20th century though there have been some **infill** houses built at various times during the last 60 years.- The area is unusual because it contains housing representing a variety income levels from relatively modest to well-to-do.

It is a tightly knit and cohesive neighbourhood although there are within it a variety of house types, from small to large that vary in age and design. On the whole, however, many of the houses are similar in size and massing and have the same setbacks. The lots tend to be small, too. These characteristics give the neighbourhood its uniformity and cohesiveness. Lot sizes tend to be small and most building although there are a few that are quite large.

5.4.4 The Harbour Area - bounded by Lake Ontario to the south
Hibernia Street to the west Albert Street to the North and Division
Street to the east

Largely vacant, the harbour is one of the most historic sites in Cobourg. It was here that many of the early settlers landed to take up residence in a new land. The harbour was the centre of economic activity and the reason for **Cobourg's early success**. The southern terminus of the Cobourg to Peterborough Railway was located in the harbour while many **colourful** events in the Town's life occurred there.

While there are not many buildings which can be identified as having architectural or historic character, it should not be forgotten that the piers represent major historic structures of great **importance**. The historic links, site lines and traditional infrastructures, ie. roadways should be maintained and **any** development to occur here should reinforce the historic development patterns, be of the same scale and volume as the rest of the Town and **be** constructed of similar and sympathetic materials which harmonize with the existing structures, particularly Victoria Hall.

As mentioned in the Part One of this study, this area will not be **recommended** to become part of a heritage **district** in this study. However strict planning guidelines should be developed to ensure positive development.

5.5 Analysis of the Physical Fabric of the "Areas of Character"

Part I of the study proposed one large Heritage District. This can be seen in Map 8 contained within Part I. Part II has reduced the size of the proposed District and divided it into three "Areas of Character". These "Areas of Character" are a result of analyzing the historic core of the Town and are set within a larger framework which has identified all potential "Areas of Character". Portions of the original District have been eliminated from the original District not because they lack significance but because they belong to other Areas.

It is proposed that the three "Areas of Character Identified and which are part of this study, namely:

1. The Commercial Core
2. Eastern Residential Sector I
3. Western Residential Sector I

be designated as separate districts under Part V of the Ontario Heritage Act.

5.5.1 The Commercial Core

5.5.1.1 Significance

This area is the geographic centre of Cobourg. It contains the major commercial centre, the municipal offices and many public institutions. Mostly constructed before the turn of the century the uniform density and situation of the buildings plus their surviving period details create an appealing continuity and uniformity rarely surviving in Ontario's urban centres..

.5.1.2 Boundary

The delineation of the Commercial Core is quite definite particularly along King Street. At its most easterly edge are St. Peter's Church and Victoria Park which make a clear division between commercial and residential.

To the west similar institutions, the Cobourg District Collegiate Institute West and the Baptist Church are transitional properties that nicely separate commercial from residential.

Likewise to the north the United Church on Division marks the end of the downtown core although Division Street continues to have commercial use properties farther north. Covert Street has lost its once residential character and has become predominantly commercial and is thus the northern boundary of the Commercial District between George and Division. Albert Street separates the Commercial core from the harbour lands to the south.

.5.1.3 Character Defining Elements

The Commercial Core is characterized by largely two to three storey commercial buildings built largely between 1840 and 1890 with subsequent **infill** development that has continued in small spurts to the present day. The commercial core is quite dense with many of the buildings covering most of the lot or lots. Most of the space in the area is given over to commercial use but there are also offices, some residential and storage components. Architecturally, the district first appears to be uniform but on closer inspection one can see the great diversity that has come to the area over time as a result of active and sometimes intense commercial activity.

.5.1.4 Development Trends - Demolition

The Commercial core faces numerous pressures. The most serious are demolition and facade changes. During the late 1950s and early 1960s the Core lost a number of important buildings including the old Post Office, the Registry office and several important commercial buildings. In recent years the rate of demolition has slowed considerably. However, recently the Core has lost one significant building on Division Street and will lose a significant

building on King Street East. The latter, at 36 King Street East is a particularly unfortunate loss because it anchored the eastern part of King Street. It was a c. 1865 three storey commercial block located on the fringe of the commercial core surrounded by smaller buildings. The building at 36 King Street East was significant because its size and positioning corresponded to the concentration of such buildings in the centre of the Core, giving strength and unity to the north side of King Street East. This building's demolition would be a **significant** set back for this part of Town.

5.5.1.5 Development Trends - Facades

The most serious problem occurring in the downtown core is the change of facades. Over the last three decades most of the original storefronts have disappeared. The structural changes that have occurred to the windows and cornices **in the** upper facade of several buildings are serious. These changes detract from the original character of the street.

Covert Street, once largely residential has suffered in its conversion into a commercial district. It is here where the lack of organized planning is most evident. This street once had the potential to become the "Yorkville" of the Town.

In recent years interest in returning storefronts to their original appearance has increased. Store renovations that have occurred lately have tried to re-create a "heritage" character but often because of lack of information available, have not followed a conservation approach. However, with more information and heightened public awareness, facade changes could attempt to conserve more of the historic fabric of the buildings.

5.1.6 Development Trends - Streetscane

The creation of Heritage Canada's Mainstreet Programme brought about a renewal in interest in street rehabilitation. **Since** then Cobourg has undergone some mainstreet improvement including new lampstands, banners, new brick paving and curbs which protrude into the street. The problem with the main street improvement was it was a program developed by a centralized government agency. The solutions developed were generic and were applied to many downtowns across the country. This has created the danger that main streets of small towns while improved aesthetically are becoming less individual, more homogeneous as local traits are removed to make way for the standard mainstreet design plans.

Cobourg's mainstreet has been improved by recent changes but not to the extent that it has lost its unique character. However, future changes to the main street should come from an analysis of features which define local character, to ensure the individuality of the street is maintained.

5.1.7 Development Trends - Re-development

The continuous relatively high density of **Cobourg's** commercial core has saved it from any major large scale re-development plans. Most re-development occurred in the late 1950s and 1960s and when it occurred it has been carried out on a small scale involving one or two properties at most. New construction has largely been built where open space existed or where a building was demolished. Most development has occurred on the fringe of the core where building form and use wasn't as consistent as in the downtown. Outside the core small buildings, some of which were frame, have **been** easy targets for re-development. In the main core itself, it has been those buildings owned by major institutions that have been re-developed. Except for the recent King George Court at 68-72 King Street, West, and one or two other projects such as the building at Covert Street, re-development has often had a negative impact on the historic character of the commercial core.

5.5.1.8 Inventory of Properties in Commercial Core

The Commercial Core

King Street East, north side

2- 16 King Street East	Phoenix Block (Smith & Hitchins Bldgs.) 1881, Norman Dick, Arch. Designated
18 King Street East	Infill C. 1920
20 King Street East	Albion Hotel, 1873
26 King Street East	Vacant Lot
30 King Street East	John Fisher Res., 1876
36 King Street East	Block, c. 1866
44 King Street East	Commercial block, c. 1960
60 King Street East	Park Theatre, 1948, Herbert Duerr, Arch.
66 King Street East	Commercial block, c.1960
68 King Street East	House, c.1870, alt.c. 1926
70 King Street East	Commercial block, c.1960

King Street East, south side

1 King Street East	Woolworth Blg., c. 1960
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7 King Street East	Infill
9-11 King Street East	Ebenezer Perry Bldg., c. 1832
15-21-23 King Street East	Judge Boswell Block, 1876
25 King Street East	Caleb Mallory Bldg., c. 1859
29-31 King Street East	Semi-detached house, c.1880 Designated
35-37 King Street East	Gravelly House, c. 1837 Designated
39-41 King Street East	John Vance Boswell Terrace, 1844
41-43 King Street East	Terrace, 1844
45 King Street East	Darcy Bolton Block, 1844
53 King Street East	Terrace Houses, c.1844, later The Columbian, 1893, later Chateau by the Lake
61 King Street East	Cameron Cottage, c.1840

King Street West, north side

2 King Street West	Thos. Scott Block, 1844, alt. 1902 for Dominion Bank
4-6-8 King Street West	Commercial Block, c.1880 Designated
10-12-14 King Street West	Commercial Block c.1870 Designated
16-18 King Street West	Commercial Block, c.1870 Designated
20-22-24 King Street West	Commercial Block, c.1870
26-30 King Street West	Commercial Block, c.1875
32-34 King Street West	Commercial Block, c.1850 Designated
36-38 King Street West	Commercial Block, c.1855 Designated

40-42-44 King Street West	Commercial Block, c.1844 Designated
46-48-50 King Street West	Commercial Block, c.1844
52 King Street West	Bi-Way, c.1960
62 King Street West	Bank of Montreal, c.1970
64-66 King Street West	Thos. Battell Bldg., 1878, Wm Battell , bldr.
68-72 King Street West	King George Court, 1989
74-76 King Street West	Commercial Block, 1867
78-80 King Street West	Commercial Block, c.1855 Designated
82-84 King Street West	Commercial Block, c.1855 'Designated
90 King Street West	Commercial Block, c.1875
92 King Street West	Commercial Block, c.1875
94 King Street West	Commercial Block, c.1960
98 King Street West	Commercial Block, c.1965
100 King Street West.	Vacant Lot
110 King Street West	Commercial Block, c.1965
122 King Street West	Service Station, c.1960
130 King Street West	Commercial Block, c.1965
134-136 King Street West	
138-140 King Street West	Clench House, c.1848
142-146 King Street West	Wm. Battell House, 1874 Wm. Battell , bldr.
148-150 King Street West	Vivian House, c.1830 , rebricked c.1850

King Street West, south side

1 King Street West	Toronto-Dominion Bank. c.1950
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3 King Street West	Buck Bldg., c. 1835, refaced c.1960
5-7-9 King Street West	Building, c.1848, later Commercial Hotel, Designated
19-21 King Street West	Jeffrey Block, 1871
23-25-29 King Street West	McCallum Block, 1871 Alfred Roberts, bldr., Designated
31-33 King Street West	Dumble Block, 1873, burned rebuilt 1881.
35-37 King Street West	Shops, c.1875, designated
39-41 King Street West	Shops, c. 1875
43-45-47 King Street West	Shops, c. 1875
49 King Street West	Bank of Commerce, c.1970
55 King Street West	Victoria Hall, 1856-60, Kivas Tully , arch. Designated
73 King Street West	Horton's Hotel, 1876 (Plaza Hotel)
77 King Street West	
81 King Street West	Cherney's
83-87 King Street West	Commercial Block, c.1870 , Designated
89 King Street West	Commercial Block, c.1870
91 King Street West	Commercial Block, c.1870
93-95 King Street West	Commercial Block, c.1870
97-99 King Street West	Shop, c.1960
101 King Street West	House c.1845
107 King Street West	Cobourg Armouries, 1904, Power & Son, archs. Designated
123 King Street West	Mrs. Dooley's Store 1876 Designated
127-129 King Street West	Bradley's Furniture

135 King Street West

Second Cobourg Collegiate
1902, Power & Son, **archs.**,
adds. 1943, c. Drever,
Designated

Division Street

236-254 Division Street

Part of Phoenix Block'
(2-18 King Street E.)

256-270 Division Street

Building, **c.1970**

276 Division Street

Building, c.1935

239-247 Division Street

249-251 Division Street

253-255 Division Street

257 Division Street

259 Division Street

Albert Street, north side

86 Albert Street

House, **c.1910**

90 Albert Street

House, **c.1850** Sam
Hutchison, bldr.

94 Albert Street

House, c-1850, Sam
Hutchison, bldr.

98-100 Albert Street

House, **c.1850s**, Henry
Lindsay, bldr., alt. c.1985

102 Albert Street

House, **c.1850**

106-108 Albert Street

Chas. Titford House, 1877

Albert Street. south side

77 Albert Street

Cobourg Jail, c. 1910, Power &
Son **Archs.**

87 Albert Street

House 1871

93 Albert Street

House, c.1867, Hugh Gordon

99-101 Albert Street

House, **c.1850**

107 Albert Street

109 Albert Street

House 1880, Jas. Barber

121 Albert Street.

125 Albert Street

127-129 Albert Street

House 1850, Thos. Floyd

131 Albert Street

141 Albert Street

House 1863, Peter Duncan

Third Street

197 Third Street

House, c.1870

201-205 Third Street

House, c.1840 became Phillip's
Hotel, Designated

Hibernia Street, east side

158 Hibernia Street

House for John Delany
c.1860

168 Hibernia Street

House for John Delany
c.1860

Hibernia Street, west side

207 Hibernia Street

Commercial Block, c.1960

261 Hibernia Street

5.2 Eastern Residential Sector I

5.5.2.1 Significance

The area defined as Eastern Residential Sector I comprises one of the most important residential areas in Cobourg. Contained within its boundaries are **some of** the most important residences as well as a number of major public institutions, old Victoria College and St. Peter's Anglican Church as well as Victoria Park and the streetscape of College Street. Almost all the structures contained, in the district pre-date World War One and the whole represents a very well defined Victorian middle-to-upper-middle-class neighbourhood, still largely intact.

5.5.2.2 Boundary

The district comprises all of Victoria Park, all of College Street, the lands on the north side of University Avenue containing the old Victoria College building, the north side of King Street to Henry Street, the south side of King Street to the eastern boundary of 117 King Street east, the north side of Queen Street to the eastern boundary of the property at 124 Queen Street and Church Street.

5.5.2.3 Character Defining Elements

The district contains some very expensive properties. The area is characterized by largish two to two and a half storey houses with deep set-backs on large properties. Although a rich and diverse variety of building styles are found in this district, they are harmonized by a similarity of form and the use of traditional building materials - brick, clapboard and stucco. Trees and landscaping are important features and verandahs, porches and gardens help define the transition between private and public space.

5.5.2.4 Development Trends - Demolition

Little in the way of demolition has occurred in this district in recent years. Although demolition has occurred with frequency to the east and west this area has been largely uninterrupted by new development. Buffered by the Park and St. Peter's Church, commercial intrusion into the area has not posed any threat to the historic character of the area. Lots are not large enough to tempt apartment builders. Only one serious example of apartment **infill** exists at the south east corner of College and Ann Street where an early house was demolished and replaced with a three storey utilitarian style apartment. There has been some conversions of houses into multiple units but this has not affected the area's single family residential use.

5.5.2.5 Development Trends - Facades or Alterations

Most of the alterations which have occurred in this district have been sympathetic and most home owners respect the integrity of their houses.

5.5.2.6 Development Trends - Streetscape

One of the most important spaces in a residential streetscape is the boulevard, a strip of land separating the sidewalk from the road. Boulevard tree planting is a traditional landscape method which help enhance the visual environment of a community.

The most serious problems affecting the streets in this proposed district is the removal of mature trees on boulevards that are often not replaced. The widening of streets narrows boulevards and

affects the **spacial** relationship between the road, pedestrian, landscape and structures. On King Street the boulevard has been narrowed as a result of street widening. King Street has been replanted with trees only after public pressure demanded it. The new trees have already radically **improved** the area and in a few years King Street will once again be as beautiful as it was at the turn of the century.

5.5.2.7 Development Trends - Re-Development

There has not yet been serious redevelopment pressures in this proposed district. However, with the continual growth of the community and the proximity of the area to the downtown this could eventually change.

5.5.2.8 Inventory of Buildings in Proposed District

Eastern Residential Sector One

King Street, north side

118 King Street East	St. Peter's Rectory, 1877, John Thompson, contractor
130 King Street East	James Fletcher House, 1875-6, alt., 1923, Forsey Page & Steele
136 King Street East	Mathew Williams Cottage, c.1885 Designated
142 King Street East	Cottage, c.1850 , adds. c. 1870
144 King Street East	House, later Daly House, c.1905 Designated
154 King Street East	Roderick R. Pringle House, 1899
160 King Street East	New Hall, Sen. Clive Pringle House, 1913
170 King Street East	Joseph Townsend House. c. 1848, later res. of John Crease Boswell, Designated
214 Walton Street, at King	Tebbitt Cottage, c.1900
188 King Street East	Benjamin Small Cottage, c.1848, alts. 1850s and 1860s
194 King Street East	House c. 1960
198 King Street East	House c. 1860

King Street, south side

117 King Street East First Cobourg Collegiate
Institute, 1874-5, Geo. **Goodeve**,
(Alfred Roberts, bldr)
remodelled into double house
for Geo. **Spence**, 1902
Designated

Queen Street. north side

124 Queen Street Albert Cottage, 1887' Wm.
Beer, moved to present site 1902

Queen Street, south side

65 Queen Street Victoria Park
117 Queen Street Mallory House c. 1960
123 Queen Street House 1879, later Lizzie Weller
Teahouse

Church Street, east side

162 Church Street House c. 1955
172 Church Street House c. 1920s
180 Church Street House c. 1920s
184 Church Street Victoria Cottage, 1888
198 Church Street House c. **1940**
202 Church Street Rbt. Mulholland House, 1877
Designated
210 Church Street House c. 1910
216 Church Street Harry Wicksteed House, 1898
Designated
220 Church Street **Eluid** Nickerson House, 1815

Church Street, west side

177 Church Street Lawn Bowling **Pavillion**, 1919
Designated

Perry Street

118 Perry **Street** Sunflowers, for David Dick, 1920

Colleae Street, east side

240 College Street **St.** Peter's Church, facade & tower, Henry **Bowyer Lane**, church **proper**, 1854, Kivas **Tully**

264 College Street **Carswell** House, c. 1880

272 College Street Mary Buck House, c. 1905
Designated

278 College Street 1937, J.A. Harvey, arch.

284 College Street York Cottage c. 1850, remodel.
1870. Designated

306 College Street Lazarus Payne House, 1856-7
Designated

314 College Street Wm. Jex House, bldr. 1910

320 College Street House, c.1875

326 College Street House **c.** 1910

332 College Street Judge **Geo.** Rogers House 1902,
Power & Son arch.

348 College Street, Arthur **Macdonald** House
1862

354 College Street Henry Hough House, 1867
Designated

360 College Street Chas. Elliott House, 1853

380 College Street Cottage, 1850s

384 College Street House, c. **1950**

394 College Street Hospitaladministrator's house,
c. 1910

Colleae Street, west side

255 College Street House 1865

265 College Street	House c. 1860
273 College Street	Mathew Hobart House, 1858 Designated
277 College Street	House, 1950's infill
285 College Street	Gervas Holmes House, 1871
301 College Street	House, c.1905
311 College Street	House, c.1960
321 College Street	House, c. 1950
325 College Street	House, c. 1910
331 College Street	House, c.1905
345 College Street	House, c.1955
353 College Street	House remodelled for Celia Doheny, 1897, adds.1910
353A	" "
359 College Street	Cottage Wm. Mutton, 1850s
365 College Street	John Greenwood House, c. 1860s
377-399 College Street	Semi-detached house, 1865 Geo. Thompson
383-385 College Street	Semi-detached house, 1877 Henry Pringle, Designate
389 College Street	House, c.1905
393 College Street	House, c.1905
395 College Street	House, c.1905
<u>Ann Street, north side</u>	
112 Ann Street	Gervas Holmes, c.1868
180 Ann Street.	House, c.1850
385 Ann Street	House, c.1860

Ann Street, south side

89 Ann Street Apartment House, c.1960

University Avenue, north side

50 University Avenue Victoria College,

1 University Avenue

Swayne Street, south side

15 Swayne Street Motel Units, c.1950

19 Swayne Street Motel Units, c.1950

35 Swayne Street Motel Units, c.1950

37 Swayne Street House, c.1840

McGill Street, east side

241-243 McGill Street Semi-detached house c. 1850
Designated

5.5.3 Western Residential Sector I

5.5.3.1 Significance

This area is one of the oldest residential areas in the Town and illustrates the **evolution** of residential design in the Town from its earliest time. The character of the district remains intact with only a few modern intrusions or renovations.

5.5.3.2 Boundaries

This area is an irregular shape and encompasses King Street West from Durham to not quite William, all of Bagot Street, the portion of Albert Street from Bagot to Hibernia, Orr Street, and Sydenham Street from Bagot Street to **Hibernia** Street. The boundary lines for Western Residential Sector I are marked on the Map entitled Areas of Character within the heritage core of Cobourg.

5.5.3.4 Development Trends - Demolition

There has been very little demolition in the area. Occasionally one house is demolished to make for a new one as was the case at 93 Bagot Street. District designation is important to ensure that if a house is demolished, the design of its replacement is of the same quality or of a better quality.

5.5.3.5 Facades or Alterations

Most alterations which have occurred to buildings in this area have been minimal. No house has been completely gutted or changed in a way which destroyed its original character.

5.5.3.6 Development Trends - Streetscane

The over-all character of the streetscape again is very important in maintaining the character of the area. The width of road, the boulevard and the boulevard trees are crucial elements in the district. In this district some streets, Albert and King have suffered from widening. In all cases boulevard tree planting should occur.

5.5.3.7 Development Trends - Re-development

There has been no serious redeveopment in this area. However, large lots have been severed to create new building lots. In most cases this has not harmed the character of the district but in some instances the lot has been severed too close to the original house destroying its setting. Careful control of lot severing should occur in all districts.

5.5.3.8 Inventorv of Buildings in Proposed District

Western Residential Sector I

King Street West, south side

168 King Street West	Episcopal Methodist, c.1878 later Calvary Baptist
170 King Street West	House, c. 1910
174 King Street West	House, c.1910
180 King Street West	Chas. McCallum House c. 1862
188 King Street West	Open space
200 King Street West	St. Andrew's Presbyterian Church, 1938
212 King Street West	Mathew Williams Cottage c. 1850, Designated
226 King Street West	Dickman Cottage
230 King Street West	Strachan Cottage 1844, 2nd storey 1889, Designated

King Street West. south side

157 King Street West	Cannum House, c.1875
167 King Street West	House, c.1860
171 King Street West	House, c.1845
177 King Street West	House, c. 1845
181 King Street West	Horton Cottage, '1857 Designated
187 King Street West	House, c.1840, alt 1920
193 King Street West	House 1892, Designated
209 King Street West	Wilson House c. 1920

Albert Street. north side

122 Albert Street	
126 Albert Street	
130 Albert Street	
164 Albert Street	
168 Albert Street	House, c.1910
170 Albert Street	House, c.1950
174 Albert Street	House, c.1905
178-182 Albert Street	Semi-detached house, c.1905
186 Albert Street	c. 1950
208 Albert Street	House, c.1950

Hibernia Street. west side

169 Hibernia Street	House, c.1905
173 Hibernia Street	House, c. 1905
203 Hibernia Street	House, c.1870

207 Hibernia Street

261 Hibernia Street

Durham Street, east side

128 Durham Street

1832-5, James **Calcutt**
later Lakehurst, also
stablesc. 1812

144 Durham Street

182 Durham Street

House, **c.1940**

186 Durham Street

House, c.1865

Durham Street, west side

121 Durham Street

House, **c.1905**

125 Durham Street

House, **c.1905**

129 Durham Street

House, **c.1905**

155 Durham Street

James Mann House **c.1850**

169 Durham Street

House, **c.1970**

171-173 Durham Street

Semi-detached house, **c.1870**

183 Durham Street

House, **c.1850**

185 Durham Street

House, c.1875

197 Durham Street

House, 1875, Alfred Roberts

203-205 Durham Street

House, 1873, **Alfred Roberts**

Baot Street, east side

100 Bagot Street

Adams Cottage, alt. 1898
for Frances Eyre

106 Bagot Street

House, **c.1850**, Wm Floyd

110 Bagot Street

112 Bagot Street

118 Bagot Street

122 Bagot Street

ADDENDUM #1

WESTERN RESIDENTIAL SECTOR I

186	Sydenham	Street
178	Sydenham	Street
176	Sydenham	Street
172	Sydenham	Street
168	Sydenham	Street
166	Sydenham	Street
187	Sydenham	Street
185	Sydenham	Street
173	Sydenham	Street

,128 Bagot Street	
138 Bagot Street	Wm. McDougall House, 1875, Designated
156 Bagot Street	
160 Bagot Street	Union School,. 1871
164 Bagot Street	
168-170 Bagot Street	1870, Samuel Retellack, cont., adds. 1899
174 Bagot Street	
178 Bagot Street	
182 Bagot Street	
198 Bagot Street	House 1875, John Thompson, bldr.
206 Bagot Street	
210 Bagot Street	House, 1881, Wm. Hill
<u>Bagot Street, west side</u>	
93 Bagot Street	House, 1850 , Fred Jex
99 Bagot Street	House, c.1860 , Fred or Martin Jex
103 Bagot Street	House, c.1890 , Wm. Holmes
111 Bagot Street	
121 Bagot Street	House, c.1855
127 Bagot Street	House, c.1905
131 Bagot Street	House, c.1860
135 Bagot Street	House, c.1960
139 Bagot Street	John Lucy House, 1875
163 Bagot Street	Thos. Gilbard House, 1873
171 Bagot Street	House, 1876, Hugh Harper

181 Bagot Street	House, 1876, Hugh Harper
203 Bagot Street	House, c.1845
205 Bagot Street	Office for Drs. Gear & Mikel, 1947
209 Bagot Street	House, 1854, Rev. Wm. Stanvemeck
215 Bagot Street	House, 1848, Hugh Crossen

5.6.1 Town Planning in Cobourg - History

Town planning of the type that exists to-day was unknown in 19th century Cobourg. However, there were unwritten laws concerning development, particularly in the commercial district. Also, private individuals developed parcels of land, placing their own planning restrictions, such as size or value of house, on it.

In downtown, there was a general consensus to create a unified and harmonious district. The merchants of the 19th century believed that a cohesive downtown created a much more impressive and prosperous look that was, collectively far better than individually created stores competing against one another for the attention of the passer-by. Thus unwritten rules concerning the size, shape and arrangements were largely adhered to by the business community. In the 20th century, building permits were instituted in 1948. Later a planning Board was set up and the first official plan developed for the Town in 1966. Since then the Town has established a planning department. The Official Plan has been revised several times since and is currently under revision again.

5.6.2 The Official Plan

The Official Plan sets out the goals, objectives and policies the Town would like to implement in order to accomplish in an orderly manner, the expected growth of the Town over a period of time. An Official Plan is a complicated guide that must take into consideration the interests and concerns of many groups and balance the pros and cons of several fundamental issues concerning the quality of life for its inhabitants.

5.6.3 Heritage Planning within the Official Plan

Because of the nature of this study, the most important portions of the Official Plan are those which relate to heritage conservation. A relatively new inclusion into the Official Plan was a chapter of Heritage Conservation entitled, Heritage and Architectural Resources (part nine).

The Official Plan's general principles are as follows:

"It is the intent of this plan to recognize the Heritage Resources of the Community and, wherever feasible, to provide for the protection and conservation or preservation and restoration of buildings and structures of historical and/or architectural value. The preservation and conservation of the Community's heritage buildings or structures of historic or architectural significance to ensure a compatible and functional relationship with adjoining land uses in the area."

The policies set out in the plan allow Council to identify and designate individual **buildings** of significance and to create Heritage Conservation Districts.

The recognition of heritage planning in the Official Plan is commendable but should be strengthened. Its focus on buildings and areas is too specific. In the Official Plan's general guidelines, there should exist a strong statement regarding the importance of heritage preservation in community life. The concept of heritage planning should be expanded and included in any process affecting change in Cobourg. It should not be isolated into its own separate corner which more often than not conflicts with other planning measures but rather heritage conservation should be a part of Town planning' activities. When any application is received, the questions should always be asked, How does this affect the heritage integrity of the Town?.

Also there are several programmes in **the** Official Plan such as the designation of special improvement areas which will have significant impact on districts and heritage preservation in general. Such "improvement areas" should not be improved without a full heritage assessment first. a

Certain areas designated as commercial for instance, such as Swayne Street and Albert Street (between..Third and Durham! have a unique character and are now largely residential. By making them commercial areas without considering the retention of the general character of the streets or the historic buildings along them, it is assumed that they will be demolished and replaced by structures which may be unsympathetic to the **charccter** of the area. Covert Street is an example of this type of planning.

5.6.4 Heritage Planning Policies

Specific policies which can help retain heritage features in Cobourg that can be implemented through the Planning Department are as follows:

- built form controls and guidelines, block by block for the proposed Heritage Conservation Districts of the T o w n .

- site specific zoning by-laws to deal with appropriate uses, parking requirements, landscaping, massing and form of additions and replacement buildings.
- replacement clauses which state that when a building in a zoned heritage area is demolished it may only be replaced to the original volume, floor area, general form and massing of its predecessor building.
- Demolition control, through the Planning Act which may forbid the demolition of a designated structure until a building permit for the replacement has been approved.
- various parking and loading exemptions to encourage the retention and greater use of heritage buildings in the commercial area.

5.7 The Cobourg LACAC

As discussed in the first report, the Cobourg LACAC has been active and successful over the years promoting heritage. The committee has, until this date, concentrated on the gathering of material on individual buildings, designations and certain restoration projects. It has been involved in public awareness campaigns (walking tours and a pamphlet) and in reviewing area improvements (new street lighting on King Street).

With the foreseeable expansion of the Town's heritage conservation activities into a much wider approach of district planning, it may be appropriate for the Town to develop comprehensive over-all heritage policies, in which the LACAC as the Town's heritage voice, advises and assists the Town in developing goals and objectives and clear heritage policies, including criteria for individual designation, street and park naming and grant programmes. A written comprehensive heritage plan could be linked with the development of a public awareness campaign to educate the public and foster support for heritage conservation and preservation. In this way conservation may be placed in the context of an over-all heritage plan for the Town. If the Town has clear policies on heritage preservation and an aggressive public awareness programme, it would make the implementation and management of Heritage Conservation Districts much easier.

The Cobourg LACAC has an important role to play in many aspects of the Town's development. It should:

have input into new development to ensure it is compatible to the existing character of the Town. The LACAC should work with the planning department in development review and could be valuable in

assisting in detail which would make modern development compatible with the existing character of the Town.

- develop an inventory of Heritage Properties that identifies and categorizes buildings and structures of **significance** within the Town.
- work with the Planning department to develop 'planning measures which can be made part of the Official Plan which would help preserve existing heritage and encourage its renewal.
- develop incentives such as parking exemptions and grants.
- develop good communications between all Town departments, particularly the Planning, Parks and Building Departments. Help educate Building Inspectors to creative measures which can maintain heritage elements as well as maintaining standards.
- seek to preserve all aspects of the built environment which are **significant** to the Town's development and character. This should include not just the earliest buildings but also structures like bridges, piers and street furniture as well as district, and landscapes and good modern buildings.
- promote and encourage public awareness and pride in the Town's heritage through education. This should include developing school programmes in conjunction with the **Northumberland/Newcastle** Board of Education, creating walking tours, promotional material and plaque programmes. The LACAC should investiage Awards of Merit for outstanding preservation projects.
- advise Council on such things as tree planting, street and park naming, **signage** and other matters which may effect or promote the character of the Town.

6.0 Administration and Implementation of District Designation

The administration of the district should be made as efficient as possible, in full compliance with the Ontario Heritage Act. Unless the Town has objections to proposed changes within the district, the property owner should not have to wait longer than application procedures usually take. If the Town objects to proposed changes, then such matters should be handled as quickly as possible. The owner should not feel that he is being dragged through a complicated bureaucratic process.

6.1.1 LACAC Liaison Person

It is proposed that one member of the LACAC be made a liaison officer of specific district. This member might also be a resident of that district. It would be his responsibility to advise and discuss matters concerning heritage districts with owners and residents of the area. He could call on the expertise of various Town departments, Planning and Building for instance, if the need arose. If the Town had a heritage planner or **consultant** then the person in this position could work with the LACAC representative. In this way there would be one person and the committee who would understand and could explain situations arising within certain districts. This would help keep the committee focused.

6.1.2 District Residents Group

It would also be useful, if within a district a committee of residents was set up in order to give the residents themselves input into the development of their neighbourhood. This committee would act like and indeed could be a ratepayer's **association**. This committee could assist LACAC in establishing priorities and guidelines within the **district**, promote the importance of the district, educate residents to the importance of preserving the character of their district and carry out research on the district. This committee should not become a sub-committee of the LACAC, but should function as a support group to the LACAC and the Town in general regarding its respective district. For the commercial core the Town might look to the DBIA to assume this role. However, the other districts' residents committees could be quite informal, meeting only when necessary.

A system and criteria should be devised for appointing this Resident's group.

6.1.3 Development Review

There are two basic ways notification of developments may be served in the district. The first is through application **review** within the Town, either through the Planning or Building departments. A Town employee trained in heritage conservation should receive notification of development reviews or permit applications which affect Districts. (It would be advisable for the LACAC to receive notice of all changes within the Town requiring permits development review). This designated employee's responsibility would be to sort out which of the applications would be of concern to the LACAC and which might contravene in the District's guidelines. In most instances the LACAC will be interested in changes that affect the publicly visible portions of the house and property. In most cases, the employee may by looking at the application give the approval. Therefore changes to the back of the house would not concern the Town with the effect that residents would have greater freedom in building additions onto the backs of their houses. If the employee decides, however, that proposed alterations may be of

concern to the LACAC, then that employee would contact the LACAC Liaison Officer. Once the two had discussed the matter they would meet with the property owners in order that a solution to both parties be effected. The LACAC Liaison person could call on the residents' group (if one exists) for its comments and input. A neighbour may have more luck in discussing the matter with the owner. The Town through the LACAC or an employee trained in heritage conservation should be in the position to be able to offer positive design solutions to proposals it feels are not in keeping with the district's character. For example, if a resident wants to replace the original windows with new unsympathetic aluminum ones, the LACAC should be able to suggest several alternatives that are more appropriate and if the LACAC windows are more expensive, encourage the owner to apply for a grant. In this way, the LACAC will develop a good working relationship with the population.

If the Town employee and LACAC Liaison Officer and the property owners cannot reach an agreement over the proposed change then the matter would be taken to the next LACAC meeting. The matter would be put before the committee in a written report outlining the problem and the history of negotiation. The property owner would be able to speak to the committee. After this the committee would make its recommendation to the Council and the written report with the LACAC's recommendation would be sent to the Council's next meeting. At this meeting the final decision on the matter would be made.

Section 42 of the Ontario Heritage Act requires that:

"...no person shall, in the area defined by the bylaw, erect demolish or remove any structure, or alter the exterior portions thereof, without a permit therefore issued by the Council of the municipality..."

This imposes additional requirements to the normal building permit process. Any alteration to the exterior of a building which would not normally require a building permit outside the District such as exterior cladding repair or window replacement, would not require the Town's approval. It is recommended that fees for such permits be nominal.. It must be remembered that under the Ontario Heritage Act applications for a permit under Part V must be made to and granted by Council.

For major renovations, restorations and changes to buildings of individual importance it may be necessary to have historical documentation relevant to the proposed work. Such documentation could include:

- Historic photographs
- Research into historic paint colours or a paint analysis of the structure

- Building plans, photographs of existing building fabric
- proposed conservation or restoration methods

The Town should look into establishing a Heritage Fund to fund Conservation Districts and other heritage programmes.

There is potentially a great deal of work involved in district management. The Town and LACAC should fully understand this.

Appendix A General Improvement Guidelines

1.0 Design Structure

1.1 Purpose of the Design Guidelines

The purpose of the guidelines are to conserve existing historic structures, landscapes and streetscapes and to -encourage new development that is sympathetic to the character of the area and is of good design.

The essence of an area is created not just by the character of the individual buildings but also by their relationship to the street, the landscape and the pedestrian. In this way, while it is good to preserve the existing building stock, new buildings and alterations become crucial to the maintenance of the districts' integrity and character. **Thus, any changes** in built form have to be monitored and their height, massing and setback monitored.

1.2 General Guidelines

The following guidelines may be applied as basic principles to any District:

- In many cases where the original use is no longer viable, adaptive re-use of the buildings should be encouraged, as long as it fits into the district.
 - Districts should not be frozen in time or tried to be restored to a "Williamsburg type" creation but rather recognized as areas which are still vital, still evolving and any changes should reflect this. Development that respects the traditional development patterns of the Districts should be encouraged.
 - The size, coverage and setback of a building on its lot is an important character definer of an area. Therefore it is important that the traditional development of a street or block be continued. To this end maintain building lot patterns and encourage zoning and site development which is **sympathetic** to what exists.
 - An extensive tree planting programme should be carried out throughout the Town of Cobourg and every effort should be made to retain existing trees. Tree species should be the same on both sides of the street and along the length of the street. Trees should be determined by their practicability to the site and be hardy with a large canopy and green leaves.
 - Existing views should be maintained. A low building height (2 to 4 storeys) should be implemented.
-

- Sunlight should be preserved in pedestrian areas such as sidewalks in order to encourage pedestrian use within districts. Street trees also grow better if sunshine is maintained. Height limits on building would achieve this.
- Discourage the widening of roads in districts. This disrupts the traditional relationship between the buildings on either side of the road and the pedestrian's relationship to the street.
- Street lighting should be practical; consistent and bright enough to make people feel safe and secure. Street lights may be modern in design but reflect the heritage character of the area. Incandescent lighting is the most appropriate.
- Lighting of facades should not be excessively used so that it does not dominate the streetscape but rather adds to the mood of the street.
- Street furnishings should be consistent throughout any given district; be functional, yet reflect the character of the area.
- Heritage districts and buildings should be inspected on a regular basis, possibly twice a year, in order to determine deterioration and be able to develop a plan to maintain the building. This may require consultation with the owner and Town officials and funding arrangements.
- Original materials should be repaired or re-used wherever possible. Where original materials have to be replaced correct materials in the proper size and detail is important. Substitute materials should be avoided. The use of aluminum, vinyl or steel siding is not recommended.

Appendix B Design Guidelines

Design Guidelines for the Preservation and Restoration of Existing Historic Buildings along King Street

Design Guidelines for **Infill Development and Alterations** to Contemporary Buildings in the King Street Commercial Area

Design for Residential Preservation and Residential Addition and **Infill**

APPENDIX B - Excerpted from the Hobbs Study

6. DISTRICT PLANNING GUIDELINES

6.1 Introduction:

6.1.1 Overview:

The intent of the guidelines which follow is to preserve the special heritage character of the various areas of the Heritage Conservation District.

As these guidelines are applied to each owner-initiated alteration, addition or new construction project, a gradual, incremental improvement in the heritage character of the district will occur.

Only over a long period of time will the full results become evident, but a trend toward restoration, is established by the guidelines. This trend replaces a negative trend which included the gradual dilution of the heritage resources of Cobourg.

6.1.2 General Notes on the Applications of the Guidelines:

The guidelines are only to be applied when new construction, alterations and additions are proposed by the building owner. There is no onus on a property owner to make improvements simply because of the establishment of a Heritage Conservation District.

The guidelines are only to be applied to the portion of the building being altered.

The guidelines are only to be applied to the exterior portions of the building which are visible from the street.

The guidelines are not to be applied to interior renovations unless the interior features are designated.

Special consideration may be given to buildings which represent significant examples of later architectural styles. The following special buildings include:

- Park Theatre, King Street

Alterations of newer buildings in the residential areas are to be in keeping with the style and detail of the particular building.

The guidelines generally encourage the use of traditional materials. This does not prohibit the use of newer materials which are similar in size, proportion and design to the traditional materials.

The intent of the guidelines is to preserve the special heritage character of the district. Proposed materials should be measured against this general intent.

The boundary of the Heritage Conservation District and the King Street Commercial Area are indicated on Map 8.

6.1.3 Format of Guidelines:

The guidelines which follow are subdivided into the following three sections:

**62 DESIGN GUIDELINES
FOR THE
PRESERVATION
AND
RESTORATION
OF
EXISTING
HISTORIC BUILDINGS ON
KING STREET.**

Application:

These guidelines apply to all existing historic buildings in the King Street Commercial Area (see list of buildings in Appendix III • See boundary on Map 8).

**63 DESIGN GUIDELINES
FOR
INFILL DEVELOPMENT
AND
ALTERATIONS TO
CONTEMPORARY BUILDINGS
IN THE
KING STREET COMMERCIAL AREA.**

Application:

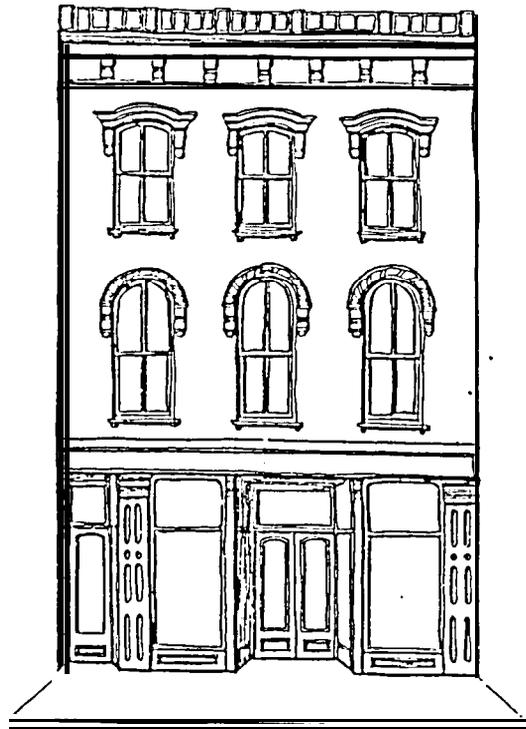
These guidelines apply to all other buildings and properties in the King Street Commercial Area. (Those not listed in Appendix III but included within the boundary on Map 8).

**6.4 DESIGN GUIDELINES
FOR
RESIDENTIAL PRESERVATION
AND
RESIDENTIAL
ADDITION AND INFILL.**

Application:

These guidelines apply to all areas of the Heritage District other than the Kings Street Commercial Area.,

6.2 DESIGN GUIDELINES
FOR THE
PRESERVATION
AND
RESTORATION
OF
EXISTING
HISTORIC BUILDINGS ON
KING STREET.



Application:

These guidelines apply to all existing historic buildings in the King Street Commercial Area. (See list of buildings in Appendix III • See boundary on Map 8).

Introduction:

Cobourg has a large stock of historic commercial buildings in a unique urban setting. Much of the original architectural detail remains but it is in need of preservation and repair.

Many buildings have been renovated over the years and often the nature of the alterations has obscured the original design or the alterations are not compatible with the original design. The philosophy of the following guidelines is to preserve the remaining historic architecture and to restore that which has been altered. This approach is a long term proposition as commercial renewal takes place gradually. As development and renewal begins the benefits to the Town and to the merchants will be obvious. It is hoped that a momentum can be generated to drive the process of preservation and restoration.

The Heritage Shopping District of Cobourg will improve as a civic asset, drawing more business and visitors to the Town from the surrounding region.

The King Street Commercial District is best preserved through restoration of the original buildings to their original design and condition. Although changes in building use will continue, the existing stock of commercial buildings adapts well to new uses.



6.2.1 Design Guideline:

1. Original building design is to be carefully researched by means of historic photographs and descriptions. Assistance in this research *may be* obtained from the Local Architectural Conservation Advisory Committee.

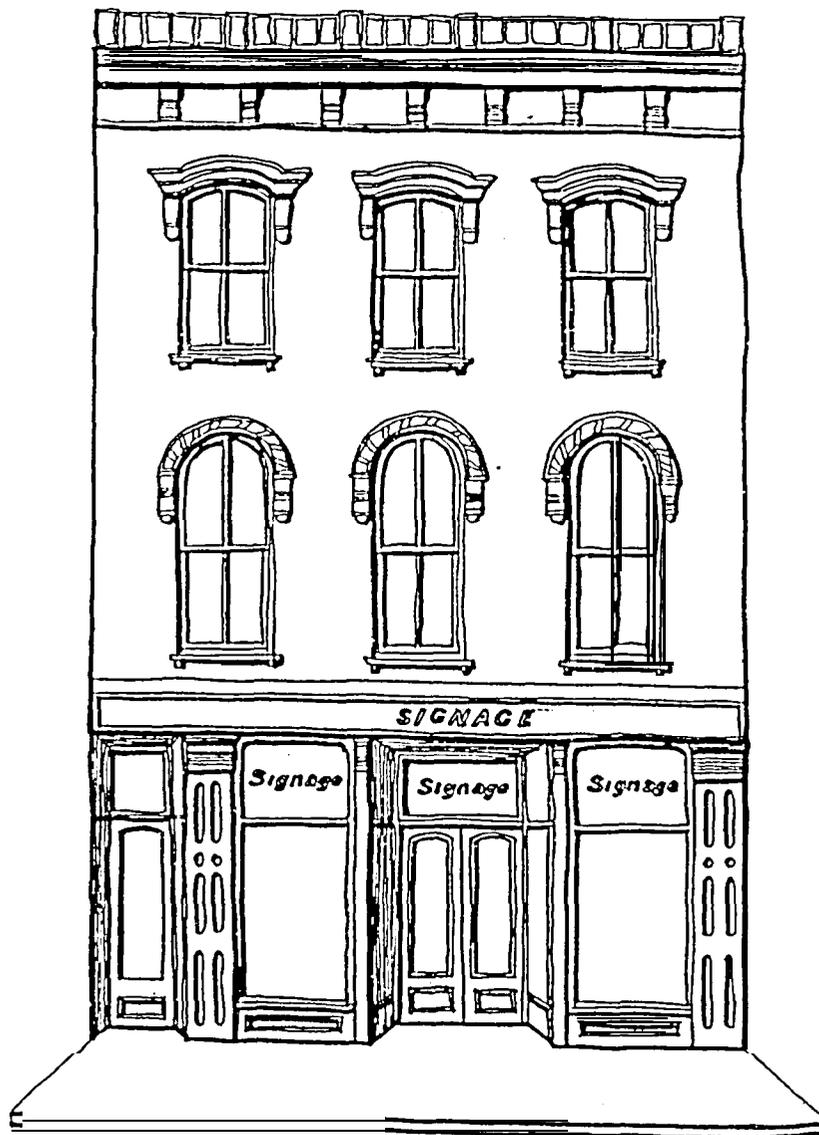


6.2.2 Design Guideline:

1. Applied facade materials which obscure the original design should be removed. Original building features covered by later additions should be uncovered and restored.

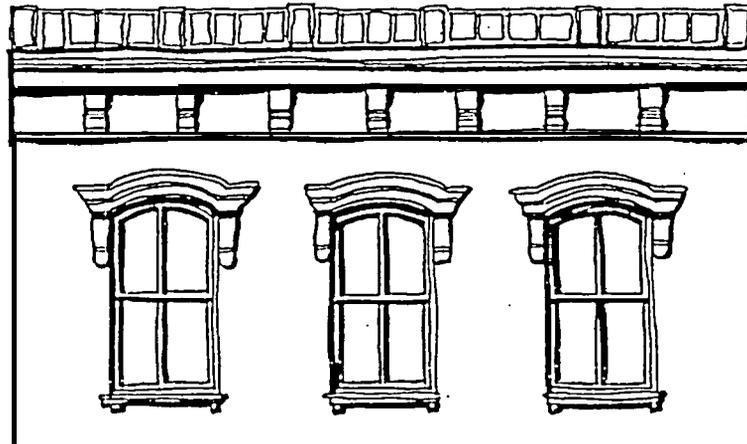
62.3 Design Guideline - Signage:

- .1 Large, projecting and illuminated signage which obscures the original design is to be removed.



- .2 New signage is to be carefully designed to suit the historic facade and be restricted to the horizontal band over the storefront and to the storefront glazing. Internally illuminated signs are to be avoided.

6.2.4 Design Guideline • Cleaning & Repair:

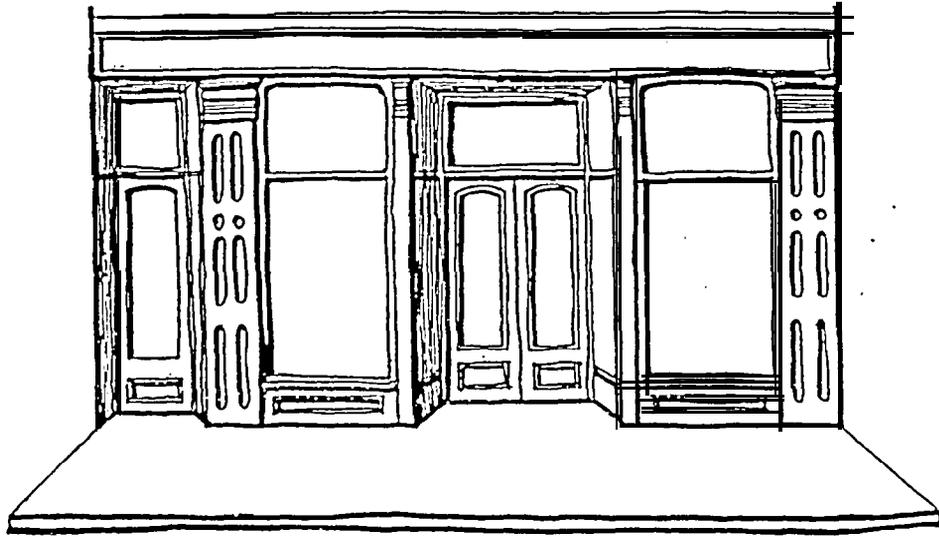


- .1 Restoration to the original materials and design is the preferred course of action when building improvements are proposed. Repair and replacement of materials and detail to the original design is to be done where the condition of the building makes it necessary. Redesign of the facade or components of it in a manner compatible with the heritage nature of the building **is to be** performed only when original features are lost or are damaged beyond repair.

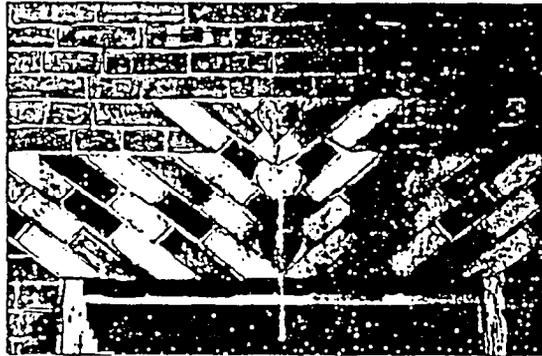


- .2 Original architectural detail and materials is to be cleaned and repaired. When replacement is necessary, new materials are to match the original in size proportion and design.

- .3 Damaged architectural details are to be repaired with materials compatible with the original design. Custom fibreglass castings of original cast iron or wood carving may be acceptable.



ANNOTATED
MASTER SPECIFICATIONS
FOR THE CLEANING
AND REPOINTING OF
HISTORIC MASONRY



*The Ontario Ministry of
Citizenship and Culture*

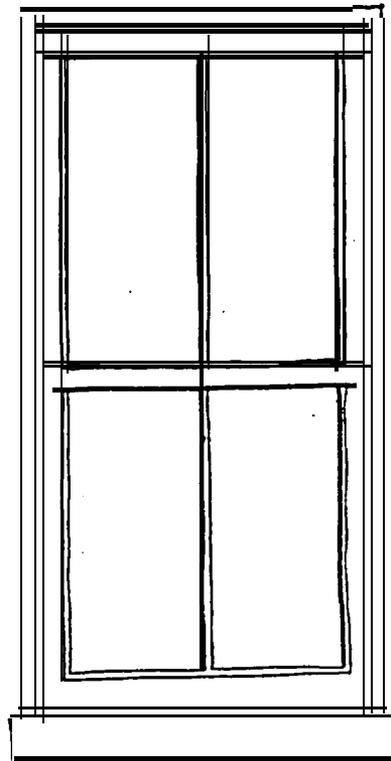
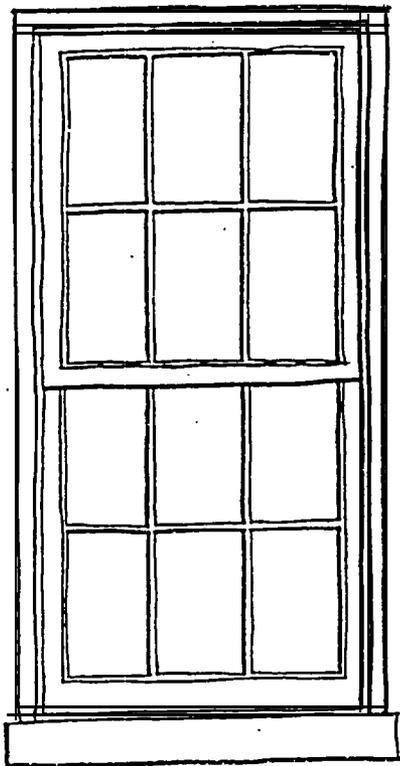
- .4 Masonry wall surfaces are to be cleaned with a non-destructive chemical process to allow the original colour and texture to shine through. Cleaning and repointing methods and materials must be approved.

6.2.5 Design Guideline • Modern Equipment:

- .1 Modern building equipment such as satellite dishes and air conditioners, electrical masts and service ducts, and meters, are to be relocated away from the King Street facade.

6.2.6 Design Guideline • Windows:

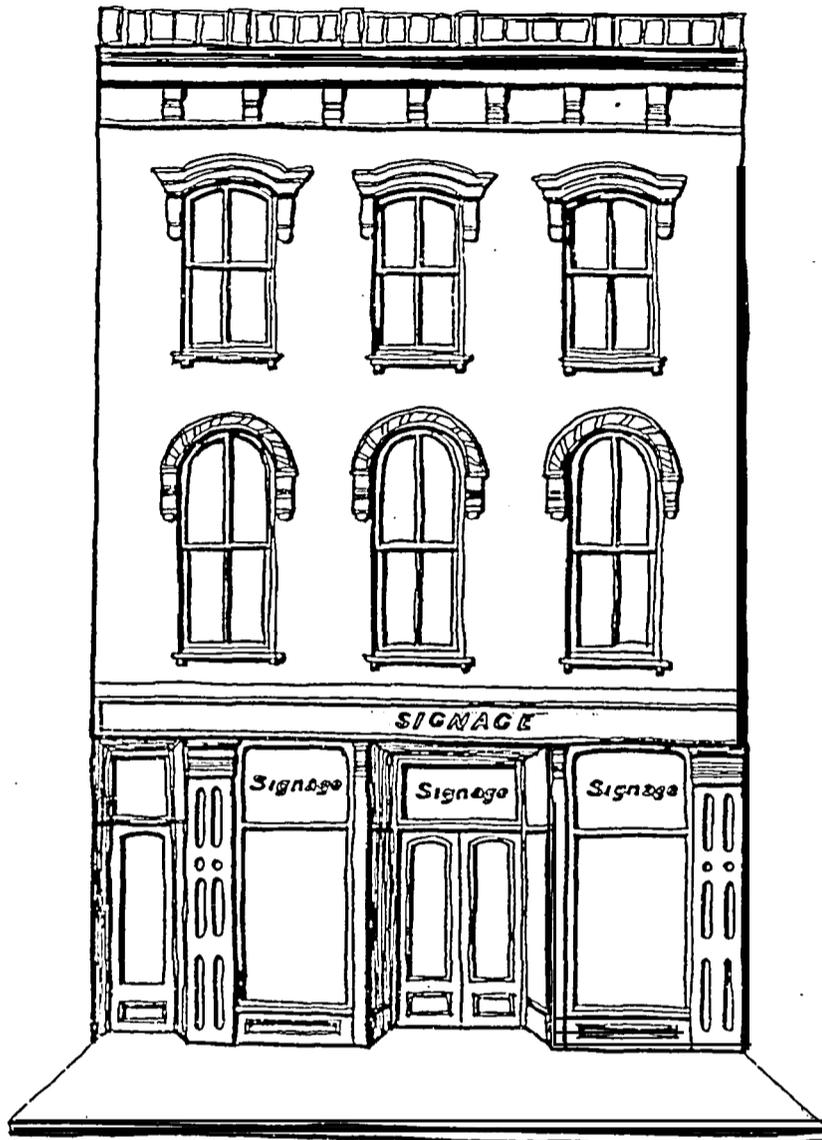
- .1 Original windows are to be repaired rather than replaced. Interior storm windows can make them more energy efficient without affecting their appearance.



- .2 . If windows are beyond repair, new windows are to match the original in size, proportion and design.

6.2.7 Design Guideline • Colours:

- .1 Historic paint colours are to be determined by sampling from building surfaces, and incorporated in renovation work. Assistance may be obtained from the building department and LACAC. Colours of other materials are to be approved. A palette of historic colours is to be developed by LACAC.



6.2.8 Design Guideline • New Storefronts:

- .1 New storefronts are to be carefully designed with the original design and character of the building in mind.
- .2 Materials used in storefronts are to be compatible with the architecture of the building.

6.3 DESIGN GUIDELINES
FOR
INFILL DEVELOPMENT
AND
ALTERATIONS TO
CONTEMPORARY BUILDINGS.
IN THE
KING STREET COMMERCIAL AREA.

Application:

These guidelines apply to all other buildings and properties in the King Street Commercial Area. (Those not listed in Appendix III but included within the boundary shown on Map 8).



Introduction:

When a new building is designed for King Street, the composition of the whole street as an urban space must take precedence over any individual building. New buildings should conform to certain urban standards and to the design principles established by the street. The design of a new building facade should carefully consider the hierarchy of elements established by the existing building stock.

From small detail, up to the overall building mass, each architectural component creates a whole, which is experienced at the public realm of the street. Design elements **such** as material choice, finish, details, proportion of solid and void, rhythm, composition, massing and siting, all contribute to the perceptions of whether a building fits its context.

The following design guidelines address the complex process of ensuring this correct fit in the framework of King Street.

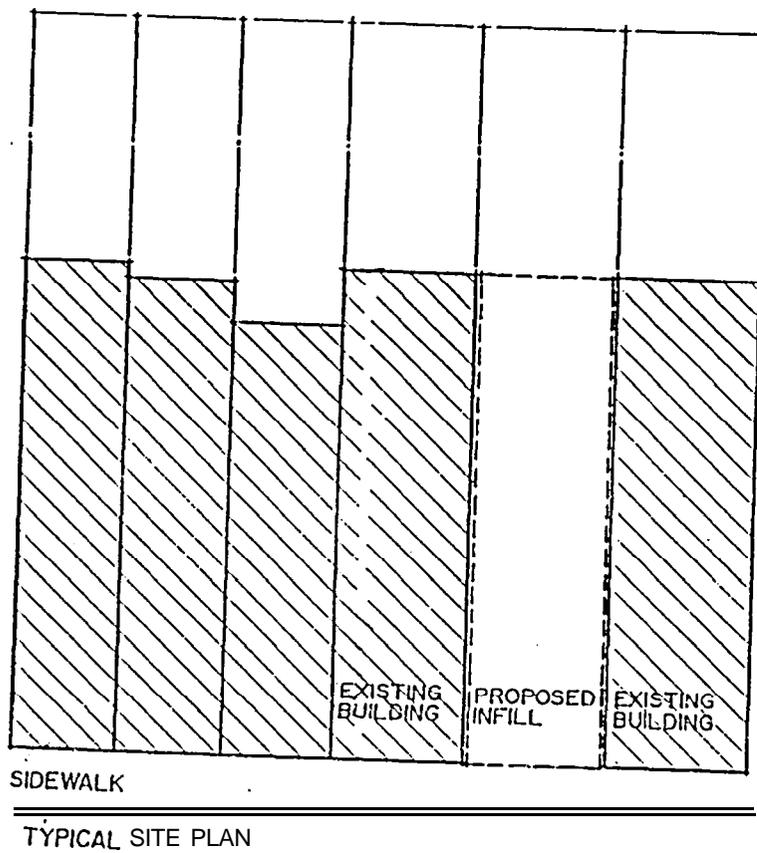
The design guidelines often refer to coordination with neighbouring buildings. If for any reason the neighbouring building is an inappropriate building or an unrepresentative building, the new building design can refer to the neighbours once removed.

6.3.1 Siting

Background

The established pattern of siting of the commercial core of Kings Street has two variations:

- Commercial buildings are built to the street line with no setback and no sideyard.
- Public buildings are given special significance with a more generous setback from the street.



Design Guidelines

New buildings are to be built to the street line. Side yards are to be avoided in order to preserve the continuity of the street. Corner buildings are to be built to both street lines:

6.3.2 Building Height

Background

The existing urban space of King Street is defined by a strong, continuous cornice height. This forms a sense of containment and organization which characterizes King Street. It is important to ensure the continuity of the cornice line.

Desien Guidelines

New buildings are to be three stories tall to the cornice line. Roofs can be flat or slope away from the street line.



6.3.3 Facade Division

Background

There is an established pattern of facade division on King Street. The proportions of the major facade components of storefront, upper facade and cornice are consistent with only minor variations for the length of the street. The effect of this consistency is continuity of storefronts, a continuous horizontal band of signage, a rhythm of openings in the upper facade and a continuous cornice line.

The vertical division between storefronts is a secondary concern but these divisions are to respect the architectural composition of individual building facades.

Desien Guidelines

New buildings should respect the established pattern of facade division by ensuring the horizontal alignment of facade elements with neighbouring buildings.

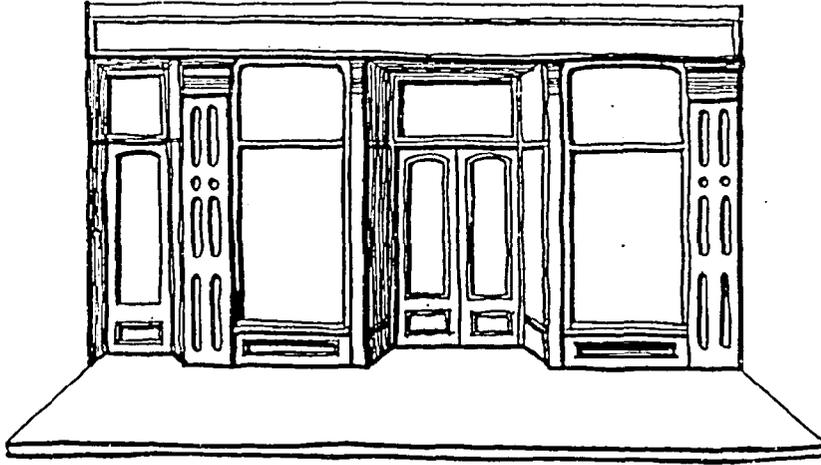
6.3.4 Display Windows

Background

The display windows offer a **colourful**, ever changing backdrop to the activity of the street. They encourage people to stop, look and converse, making the street more than a means of getting from one place to another.

Design Guidelines

All new buildings are to have continuous display windows. Building occupancies not requiring display can use other means for obtaining privacy such as curtains or blinds.



6.3.5 Building Entry

Background

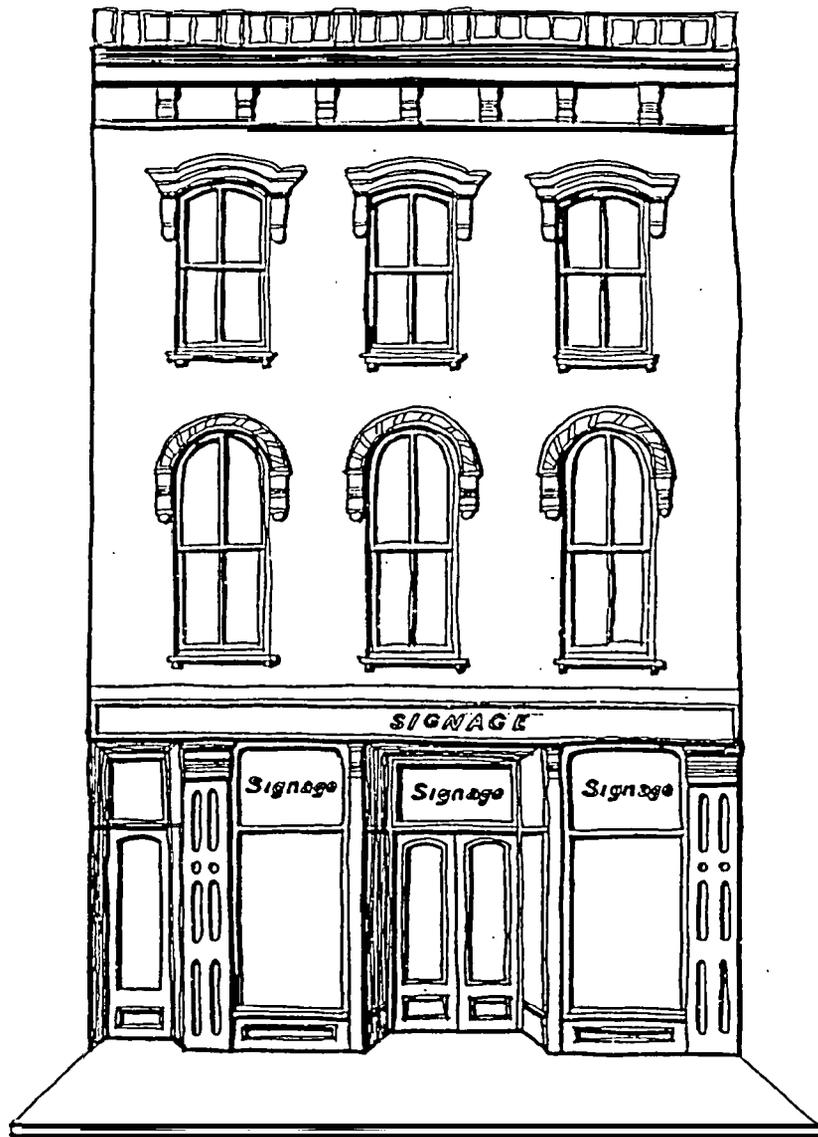
The established pattern of King Street has numerous entry points to the storefronts spaced every 20 • 30 feet along the street. This contributes to the variety and vitality of this shopping street.

Recessed entries provide for outswinging doors and for viewing display windows out of the flow of pedestrian traffic.

Doors to the shops are of prime importance whereas doors to the upper floors are of secondary importance.

Design Guidelines

New buildings should have entries at regular intervals in accordance with the established pattern. These entries are to be recessed. Store entries are to be accentuated in contrast to entries to the upper floors except in the case of building lobbies.



6.3.6 Signage

Background

Projecting signs and large illuminated signs obscure the building facades because they compete for visual dominance. On a historic shopping street such as King Street, signage is to be designed to attract pedestrians and slow moving traffic. Careful design of signage to suit its architectural context can also make an attractive contribution to the facade.

The facade and signage can work together in a complementary way to identify the business.

Design Guidelines

Signage is to be restricted to the horizontal signage band and to lettering painted on the display windows and storefront door. Internally illuminated signage is to be avoided. Signs may be located in other locations if there is a historic precedent. Overhanging signs may be permitted subject to further design guidelines.

6.3.7 Upper Facade Windows

Background

The size, proportion and placement of upper facade windows is consistent along King Street with minor variations. The windows are generally double-hung with sashes of 6 panes over 6 or 2 panes over 2.

The windows have a vertical aspect with a ratio of height/width which generally 2:1. The windows are equally spaced across the facade in a continuous horizontal and vertical alignment.

These characteristics create a rhythm of solid and void which is typical along King Street.



Design Guidelines

Windows are to be carefully selected and placed to reflect the existing pattern of King street. Windows are to be vertically aligned from floor to floor and horizontally aligned with neighbouring buildings.

6.3.8 Building Cornice

Background

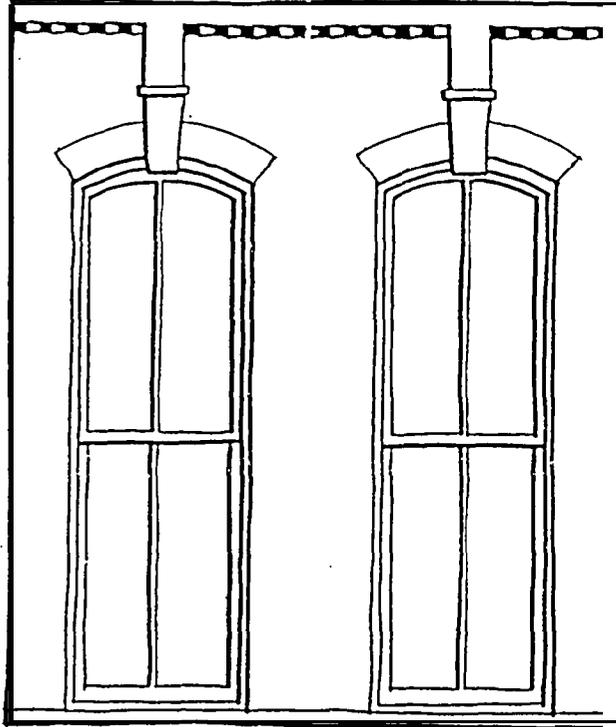
There is an established pattern of decorative cornices on the building facades of King Street.

The cornice defines the junction of wall and roof thus accentuating the sense of containment of the street.



Design Guidelines

New buildings are to include a cornice. The cornice should carefully align with neighbouring buildings and be of similar proportions.



6.3.9 Facade Materials

Background

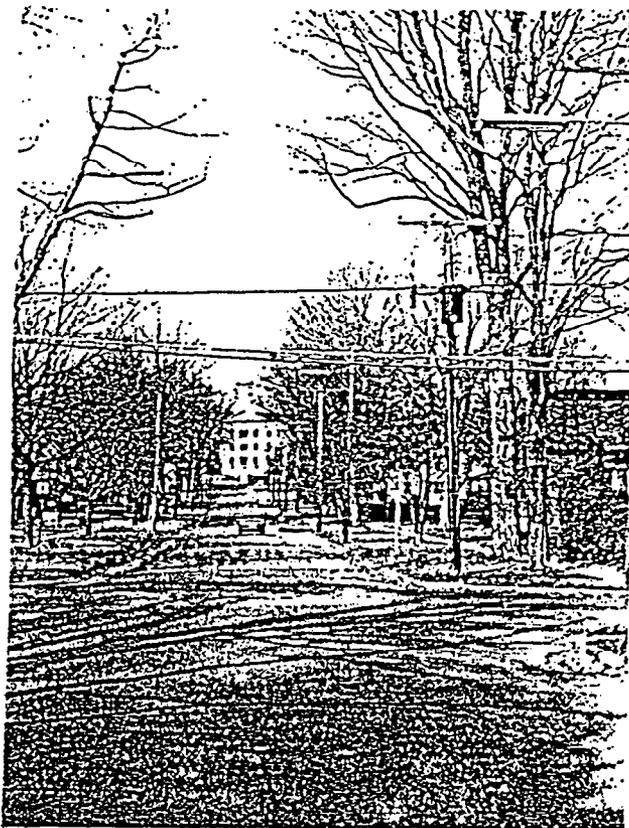
The buildings of historic King Street are primarily clay brick masonry with wood windows and detail work.

Design Guidelines

New buildings are to be of smooth clay brick masonry. A brick compatible with the historic brickwork of the street is to be selected.

Wood is no longer the material of choice for commercial storefronts. Careful detailing of anodized or baked enamel aluminum storefronts can make these materials compatible with heritage buildings.

6.4 DESIGN GUIDELINES
FOR
RESIDENTIAL PRESERVATION
AND
RESIDENTIAL ADDITION
AND INFILL.



Application:

These guidelines apply to all areas of the Heritage District other than those in the King Street Commercial-Area. (See boundry on Map 8).

Introduction

There is considerable range in the character of the residential areas in the proposed Heritage District. Each street has an established pattern of siting, landscaping, building massing, rhythm of solid and void and a style of architecture which defines its specific character.

In order to preserve the character of the streets, both renovation projects involving existing buildings and new **infill** projects must respond sympathetically to the established context.

Since the streets to be preserved are intact with few vacant sites, the pattern of each street can be determined by referring to the existing buildings. Both the immediate context of the neighbouring houses and the wider context of the street as a whole are to be considered. The consideration of the wider context of the street is to be employed when dealing with any anomalies which do not fit the established pattern.

There are, however, planning and zoning conditions now in place, especially the fostering of greater densities in the older built-up areas closer to the downtown core, which affect the site and scale of proposals for **infill** and also additions to older buildings. It is the renewal aspect which also must be responded to here.

However, good modern design, to reflect the continuum of architecture, should be encouraged in new buildings, though the vertical rectangle common to the nineteenth century should be respected, the features and details possibly inspired by traditional models, but executed as a simplified interpretation of the same. Complex, meretricious ornament should be avoided.

Background

Mature trees are an important part of the character of the Heritage District streetscape. Together with the architecture they give a sense of longevity and permanence.

Design Guideline

Mature trees are to be preserved, but artistic balance should also be considered. The Town of Cobourg's Heritage Tree Planting Program is to be implemented throughout the District. Species planted should have historic precedent in the particular street. **This** is a policy and responsibility of the Town of Cobourg. It is not the responsibility of individual home owners.

(6.4.1) Landscaping - Trees: Design Guideline

Mature trees on private property also contribute to the character and quality of streetscapes shared by all in the Heritage District. Such material should... be inventoried and preserved wherever possible and substitutions in new landscaping studied for their effect.



(6.4.2) Landscaping - Utilities

Background

Overhead utilities and modern street lighting are incompatible with the heritage streetscapes.

Design Guideline

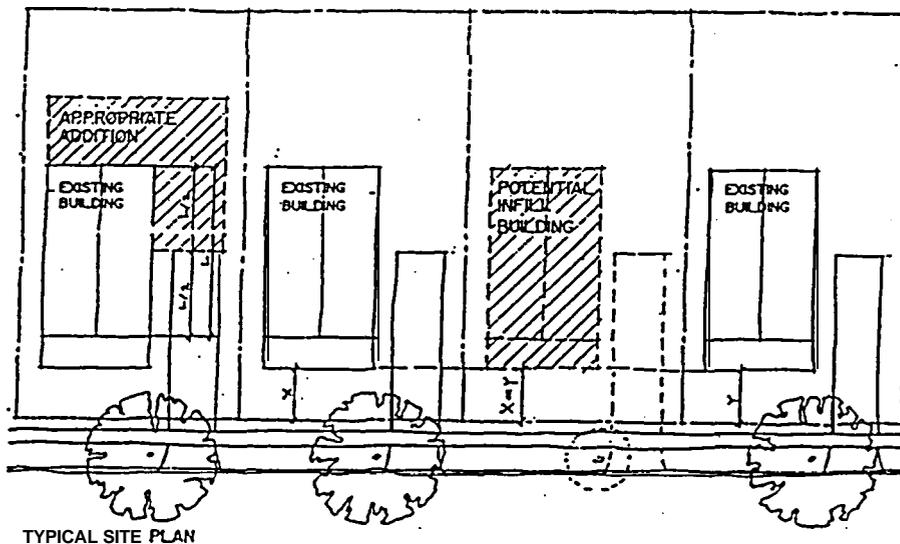
Underground services are to be phased in within the Heritage Conservation District. The heritage street lighting on King Street is to be extended throughout the entire District as the normal cycle of lighting replacement demands it and funding permits. This is a responsibility of the Town of Cobourg not individual home owners when normal replacement would occur.

6.4.3. Background

The front yard setback, side yard setback and the angular relationship to the street are three important **components of** building siting which protect the streetscape. New buildings and additions to existing buildings are to respect the pattern of setback already established.

(6.4.3) (Siting: Background)

Where planning encourages and current zoning permits greater density and larger footprints in new buildings as **infill** or replacements, due consideration must be made for the alteration of long-established patterns to mitigate adverse effects. In this the provision of a block model of the proposal and adjacent surviving buildings and sites, rendered to scale, would be advantageous.



Design Guideline

New buildings are to have a similar setback as their immediate neighbours. If the neighbouring house has an uncharacteristic setback in the context of the street, the established pattern of the street is to dictate the setback.

Large additions are to be located at the rear of existing buildings where they do not affect the view of the building from the street.

(6.4.3) (Siting: Design Guideline)

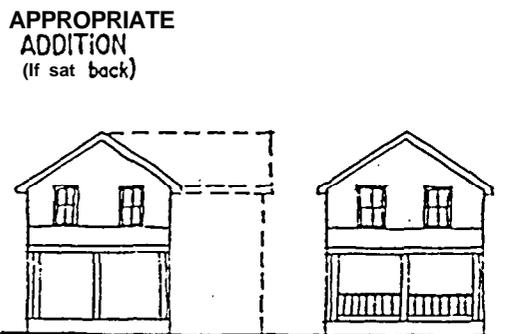
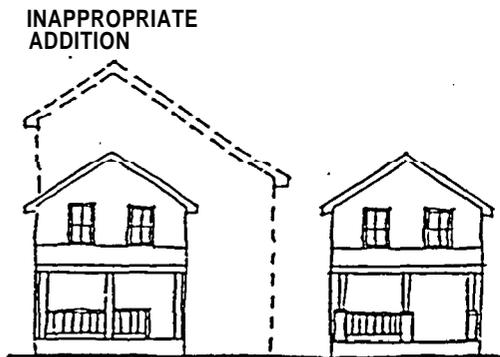
Where setbacks closer to the street are permitted and are to be considered a block model or accurately rendered three-dimensional drawing shall be provided as a guide to understanding of the proposal for **infill** or replacement.

(6.4.4) Building Massing

Background

Building mass is a term which describes the overall size and impression of a building and its relationship to its site.

The mass of a building is affected by the proportions of its height and width. Combined with siting and landscaping, building mass determines the characteristic enclosure of a street (an urban room). The existing pattern may be rigidly consistent or may be more casual. This is a result of the pattern of land development and architecture. For example, the pattern of buildings in the park-like setting of College Street is much more varied than the tight repetitive siting of Blake Street.



Design Guideline

The apparent building mass is to fit the established pattern of the streetscape. Additions or renovation which alter the perceived mass as the house is viewed from the street are to be avoided.

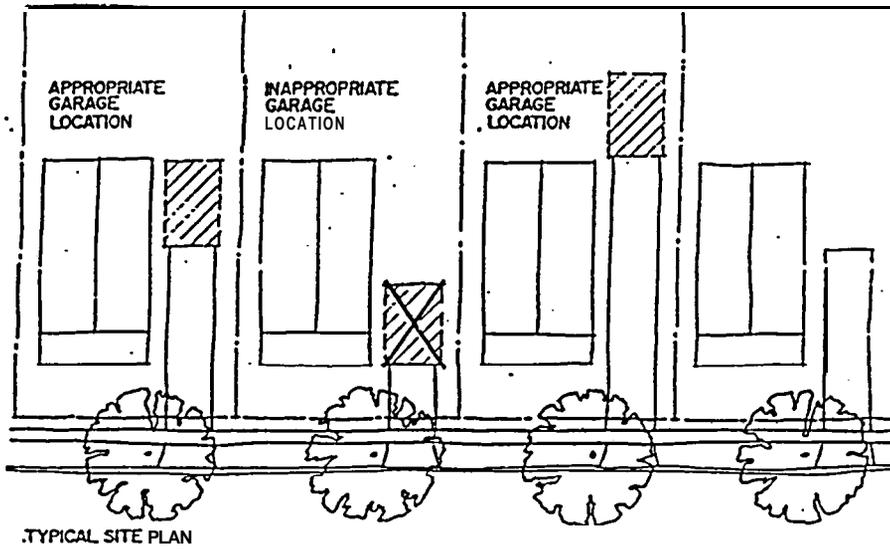
(6.4.4) (Building Massing - Design Guideline)

Where an **infill** or replacement building is of a more intensive use of the site as permitted by planning and zoning and, therefore, may present a greater mass than its predecessor, it shall be articulated or modulated into components similarly scaled to surviving buildings. Such modulation can be accomplished by window grouping, facade features, roof shapes, projections and functional **decorating** details such as balconies, doorcases, architraves to openings, patterning of wall surfaces, cornices, band courses and similar devices.

(6.4.5) Garages

Background

Historically, garages or drive sheds were out-buildings and were placed in the rear yard of the residence.



Design Guideline

New garages which are added to existing houses are to be designed as separate buildings and to be located to minimize the impact on the street facade of the residence.

(6.4.6) Roof Form

Background

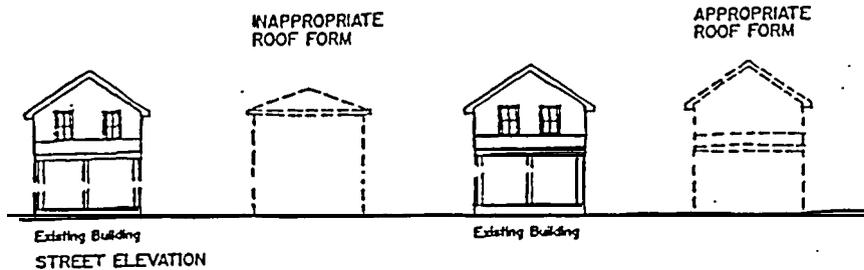
Some streets have many buildings in a row with identical roof form, whereas other streets have more individually expressive roofs.

Design Guideline

Roof form is to match the pattern of the street. On streets with a consistent pattern the existing roof form is to be preserved on existing buildings and repeated on new buildings. On streets with more variety, existing roof forms are to be preserved and new buildings are to have a roof form based on one of the historic houses on the street.

(6.4.6) (Roof Form: Design Guideline)

Where new buildings are proposed, other traditional roof forms seen in Cobourg may be employed providing that these are accompanied by a rendering of appropriate complementary detail.



(6.4.7) Roofing Materials

Background

Original roofing materials have been replaced over the life of the existing houses. Generally, wood shingles have been replaced by asphalt shingles.

Design Guideline.

The original roof materials may be restored wherever possible. New asphalt shingles are to be carefully selected from solid colour shades. LACAC can assist in developing a roof colour scheme compatible with the overall building colour scheme.

Background

Many buildings have received new siding. Often the siding bears little relationship to the original method of construction or design.

(6.4.8) (Wall Materials: Background)

Design Guideline

New materials which obscure the original materials should be removed. Damage to original materials is to be repaired where possible. Where repair is not possible, original materials should be replaced with materials which match the **colour**, texture, size and shape of the original materials.

Synthetic metal or plastic siding are to be discouraged except where such replicas are in scale and visually acceptable.

Where masonry is used, additions shall be in sympathetic **materials, sand-struck**, stock brick for the main, but occasionally to be found in pressed brick units. Wall patterning or bonding shall follow the original building. Painting of brick will not be encouraged. Alternatively, where additions may highlight the original, using contrasting finishes such as wood may be acceptable.

Where new buildings are proposed, wall bonding and articulating devices such as pilasters, projecting bay shapes and decorative bonding may be explored in masonry buildings to create visual interest, a sense of continuum as well as to modulate the building itself.

Stucco, where an historic finish, may be smooth, plain or patterned, or roughcast (wetdash), and appropriate also for new buildings.

(6.4.9) Architectural Features

Background

Historic buildings often demonstrate a level of detail & trim and woodwork which is not present in contemporary buildings.

Design Guideline

Original architectural features are to be preserved and repaired. Missing features should be replaced where possible to match to the original design.

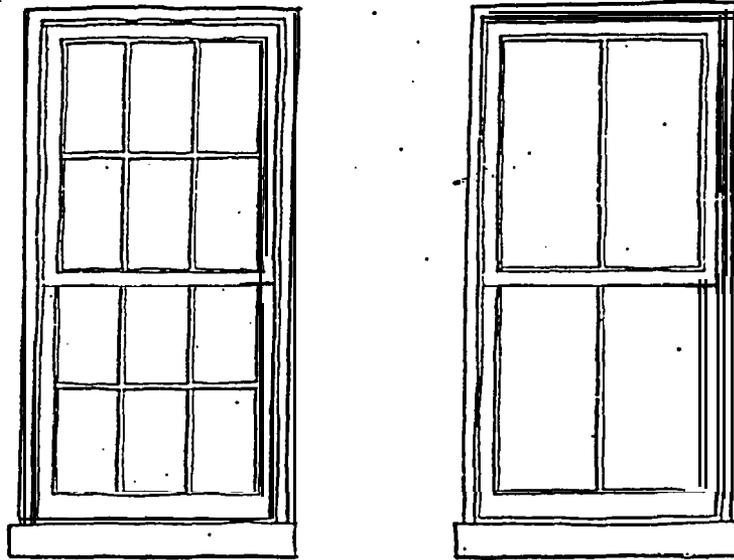
(6.4.9) (Architectural Features: Design Guideline)

In new buildings traditional architectural features may be used as inspiration in providing the modulation of such structures in sympathy with surviving work, but, generally, the rendering of such features shall be a simplification of the original. Though traditional features were frequently in old-fashioned, natural materials often hard and expensive to maintain, modern synthetic substitutes may provide a satisfactory result and should be allowed.

The list of architectural features permitted shall include all those represented in the District in modern simplified renderings of the same.

Background

Windows and Doors are an important part of the design of a building. The size, proportion and detail of windows and doors are a good indication of the age and quality of a building.



Design Guideline

Original windows and doors are to be repaired and preserved whenever possible.

Where window and door replacement becomes necessary the new windows and doors are to match the original in **size**, type, and design.

Screen doors and storm windows should be compatible with the heritage character of the building. Aluminum storms and screen doors should be avoided.

New windows and doors in **additions visible from the street** are to be similar in size, proportion and detail to the windows and doors of the existing house.

Windows and doors on the street facades of new buildings within the 'Heritage District' are to be designed to be compatible with the size, proportion and composition typical on the street.

(6.4.10) (Windows and Doors: Design Guideline)

This shall not preclude more modern fenestration so long as the artical rectangular proportion of traditional window shapes and their sub-division is respected. However, false grille patterning of individual sashing shall be discouraged wherever possible.

Furthermore the fenestration in new structures should reflect the **plan** of the building, often in multi-family residential construction of a repetitive nature where horizontal and vertical alignment of openings should be followed. In single family residential buildings fenestrations may be more informal.

7 IMPLEMENTATION OF **THE** HERITAGE CONSERVATION DISTRICT

7.1 Establishment of a Heritage Conservation District Advisory Committee.

7.1.1 Committee Members: *

Members of **LACAC**
Chief Building Official
Professional Advisor (when required • Restoration Architect or Heritage Consultant)
Town Planner
2 Citizens at Large (who live in the District)

7.1.2 Committee Responsibilities:

To advise and assist the Chief Building Official and Council in the application of the Guidelines.

To advise property owners on the requirements of the Guidelines and methods of achieving compliance.

To review **and** monitor all building permit applications within the District and ensure that the general intent of the Guidelines is being met.

7.2 Heritage Conservation District Building Permit.

Section 42 of the Ontario Heritage Act requires that:

"... no person shall, in the area defined by the Bylaw, erect, demolish or remove any structure, or **alter** the exterior portions thereof, without a permit therefore issued by the council of the municipality..."

This imposes additional requirements to the normal building permit process. Any alteration to the exterior of a building which would not normally **require** a building permit outside the District such as exterior repair or window replacement, would now require a building permit. It is recommended that permit fees for such work be nominal.

To satisfy this special requirement it is recommended that a special Building Permit and Application be established for the Heritage Conservation District. This permit would require that a review by the Chief Building Official with the advice of the Heritage Conservation District Advisory Committee has determined the proposed work is in compliance with the appropriate Design Guidelines. The Ontario Heritage Act requires that the **application** for a permit under Part V, be made to Council and the permit granted by Council.

7.3 Submission requirements for the Heritage Conservation District Building Permit.

In order to assess the heritage aspects of a permit application, information is required in addition to the normal documentation required for a building permit. This additional information should address the intent of the specific Design Guidelines relevant to a particular proposal and may include the following information:

- Historic photographs of the building.
- Research into historic paint colours.
- Photographs of the existing building exterior indicating exterior finishes and condition.
- Proposed conservation methods for building exterior.
- Proposed alterations to building exterior.
- Specifications of products and materials for use on the building-exterior.

7.4 Inspection.

Construction inspection will be carried out by the Chief Building Official and staff of the Building Department. The Building Official is to be advised and assisted in inspection of the heritage aspects of a project by the Heritage Conservation District Advisory Committee.

7.5 Establishment of a Heritage Conservation District Public Information Program.

7.5.1 Purpose of program:

To inform all building Owners and Residents of the district of the following:

- Heritage Conservation District Boundary.
- The intent of the Heritage Conservation District.
- The special nature of the District and the special requirements of the District.
- To advise on heritage matters and facilitate a cooperative approach to development within the District.

7.5.2 Program methods:

- Distribute an information brochure to all building Owners and Residents within the District.
- Establish a Resource Centre for information on heritage conservation.

7.6 Establishment of a Heritage Conservation District Fund.

A fund is to be established under the guidelines of the Preserving Ontario Architecture Program of the Ministry of Citizenship and Culture. For each \$1.00 raised locally, the program will contribute \$1.20 to a maximum of \$100,000.00.

Appendix C Inventory of Buildings

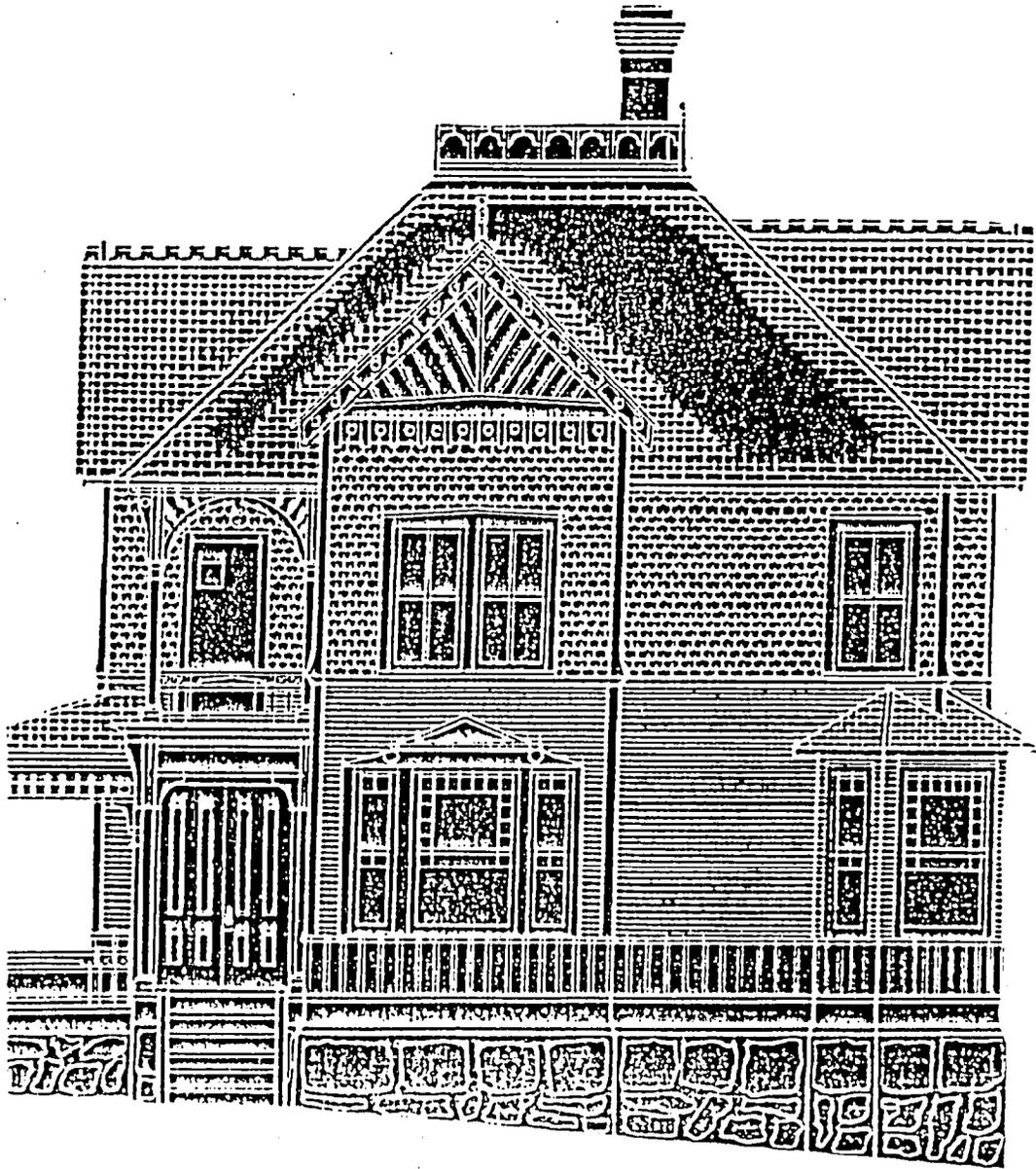
The Commercial Core
Eastern Residential Sector I
Western Residential Sector I

Each building in this inventory of buildings has been preliminarily graded. There are three categories of building importance: individual, contributing and contextual.

Individual - The highest category; all buildings listed in this group are themselves historically and/or architecturally significant.

Contributing - Second category; buildings in this group contribute to the character of the district, some structures in this category, with more research and/or restoration, could be reclassified as individually important.

Contextual - Buildings in this group are important as a result of their location within the district and their relationship to other structures and the streetscape.



COBOURG HERITAGE DISTRICT

EASTERN RESIDENTIAL SECTOR I



ADDRESS: 118 King Street East

INFORMATION: St. Peter's Anglican Church Rectory, 1877, John Thompson, contractor

SIGNIFICANCE: Individual

COMMENTS:

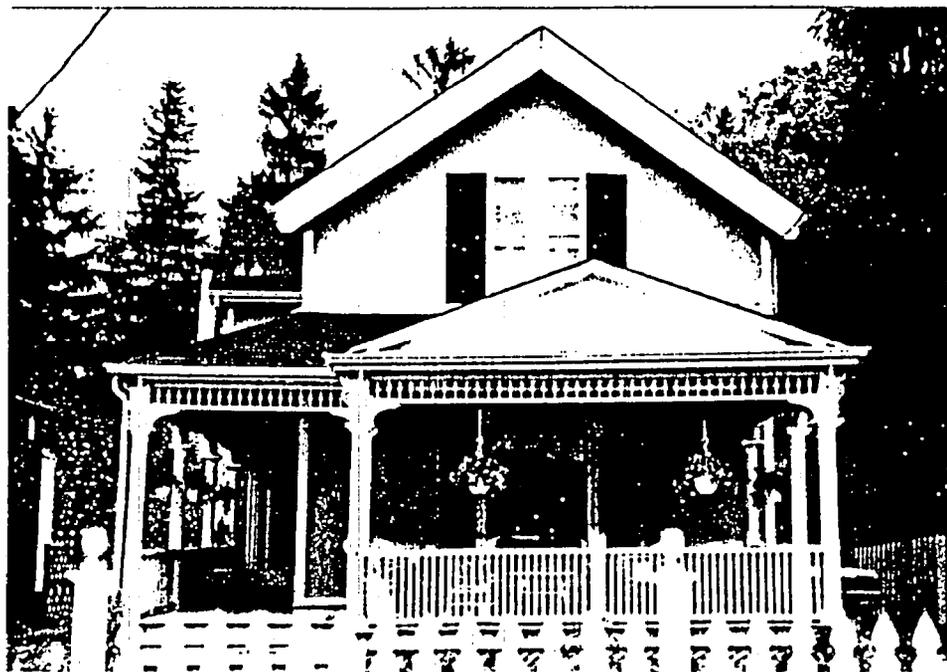


ADDRESS : 130 King Street East

INFORMATION: James Fletcher House, 1875-6, altered 1923, Forsey
Page & Steele

SIGNIFICANCE; Individual

COMMENTS:



ADDRESS: 136 King Street East

INFORMATION: Mathew Williams Cottage, c.1885

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 142 King Street East
INFORMATION: Cottage, c.1850, adds. c.1870
SIGNIFICANCE: Individual
COMMENTS :



ADDRESS: 144 King Street East

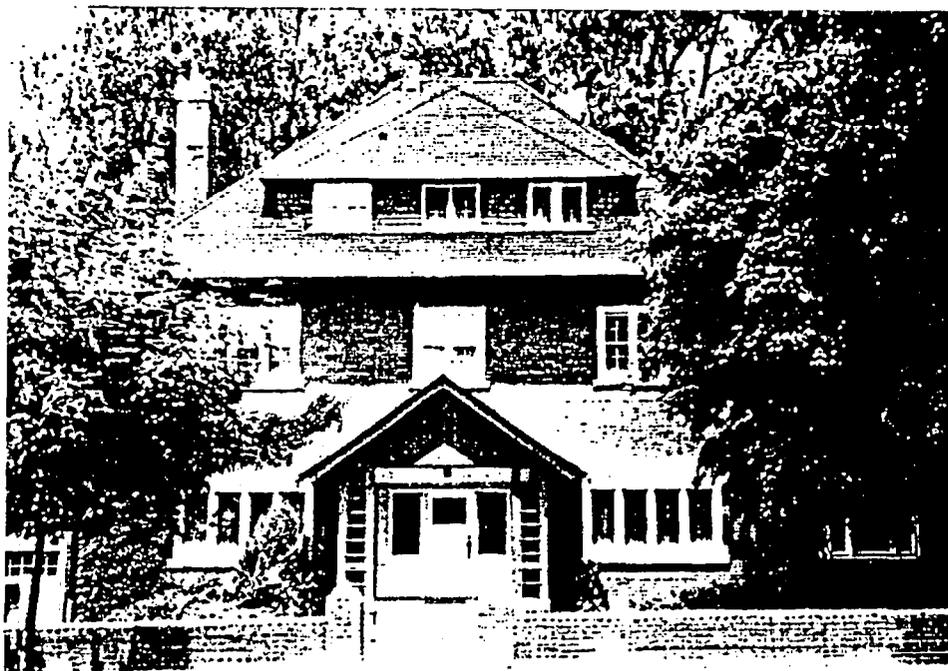
INFORMATION: House, later Daly House, c.1905

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS; 154 King Street East
INFORMATION: Roderick R. Pringle' House, 1899
SIGNIFICANCE: Individual
COMMENTS;



ADDRESS: 160 King Street East

INFORMATION: New Hall, Sen. Clive Pringle House, 1913

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 170 King Street East

INFORMATION: Joseph Townsend House, c.1848, later res. of John Crease Boswell

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 214 Walton Street, at King St. E.

INFORMATION: Tebbitt Cottage, c.1900



ADDRESS: 188 King Street East

INFORMATION: Benjamin Small Cottage, c.1848, alts. 1850s, 1860s

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: **194 King Street East**

INFORMATION: **House, c. 1960**

SIGNIFICANCE: **Contextual**

COMMENTS:

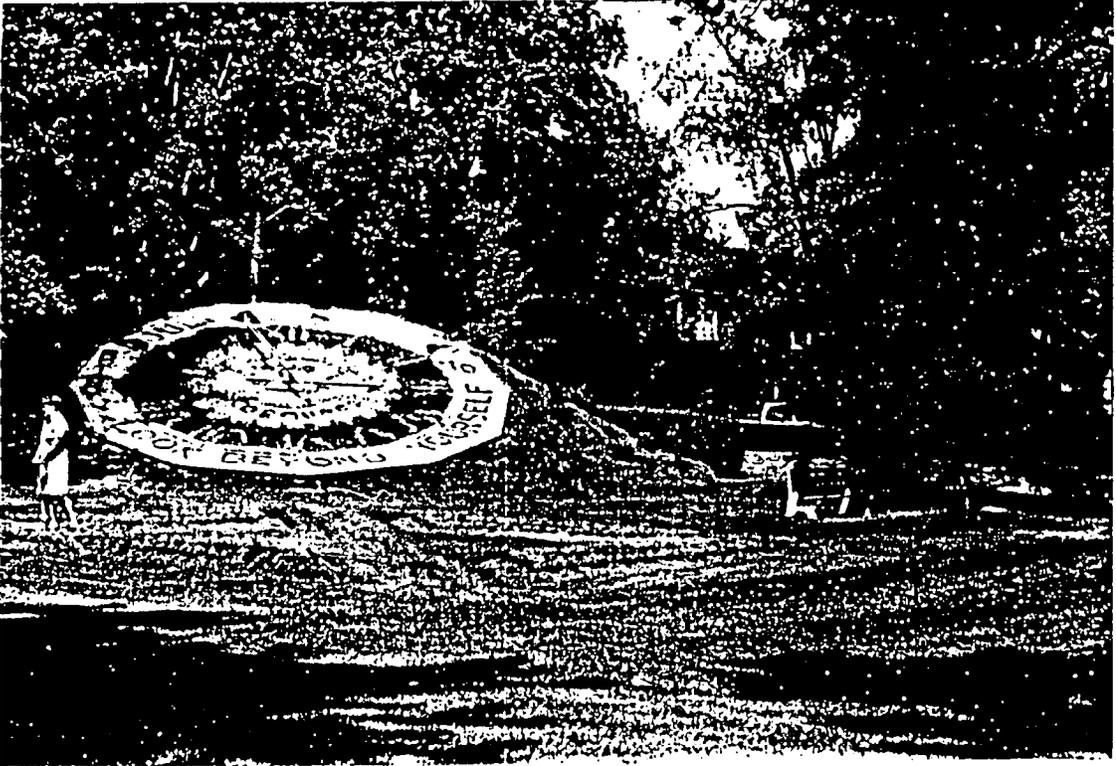
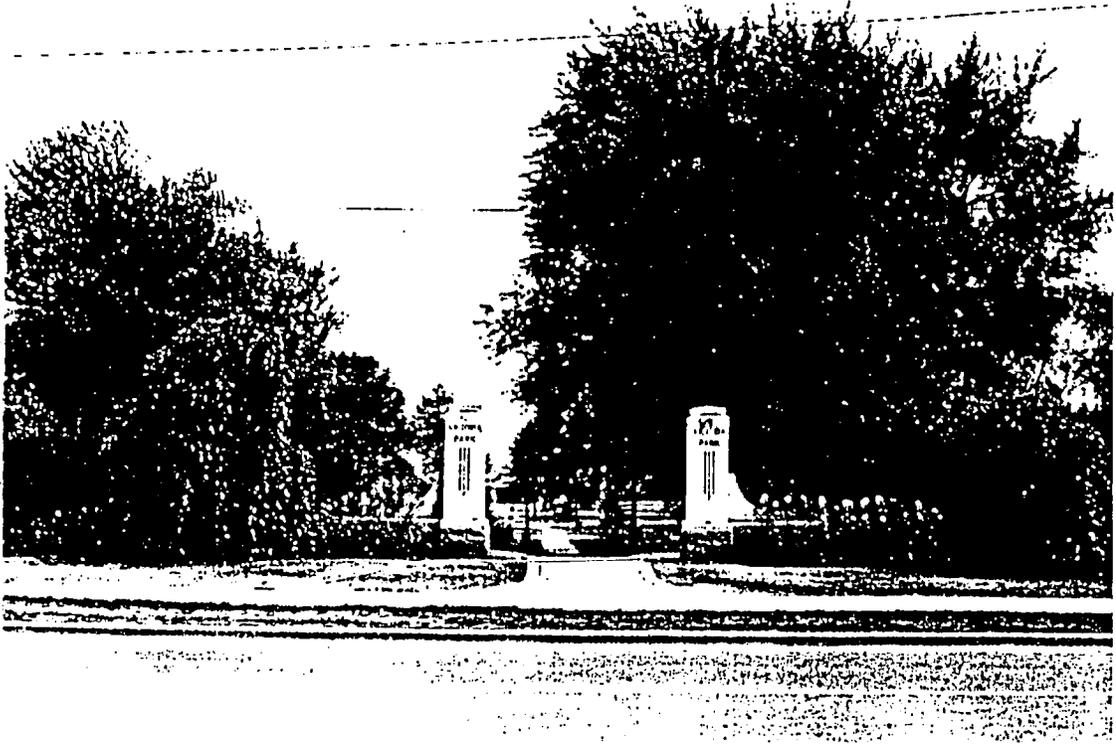


ADDRESS : 198 King Street East

INFORMATION: Hbuse, c.1860

SIGNIFICANCE: Individual

COMMENTS :



65 King St. East.

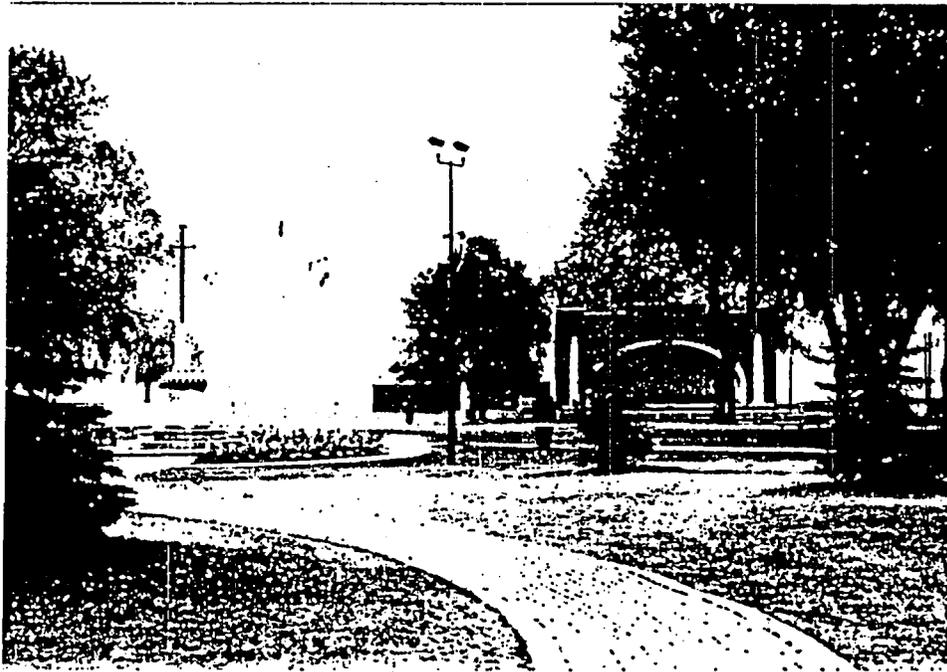


ADDRESS : 124 Queen Street

INFORMATION: Albert Cottage, 1887 Wm. Beer, moved to present site
1902

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 65 Queen Street

INFORMATION: Victoria Park - Cenotaph & Bandshell, 1924 & 1939

SIGNIFICANCE: Contextual

COMMENTS:

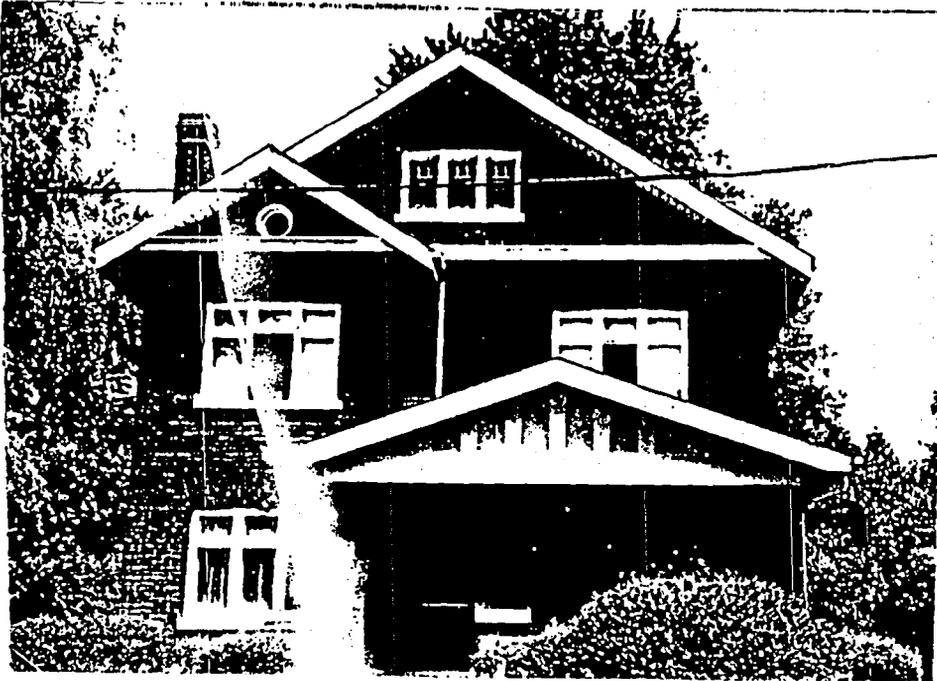


ADDRESS: 162 Church Street

INFORMATION: Apartments, c.1955

SIGNIFICANCE: Contextual

COMMENTS:

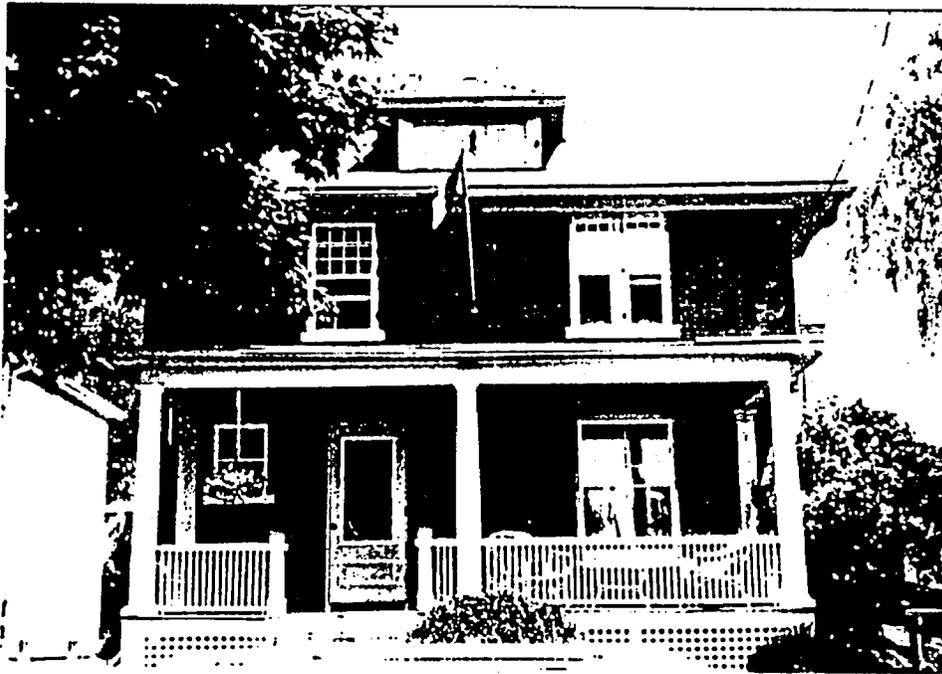


ADDRESS: 172 Church Street

FORMATION: House, c . 1920

SIGNIFICANCE: Continuing

REMARKS:

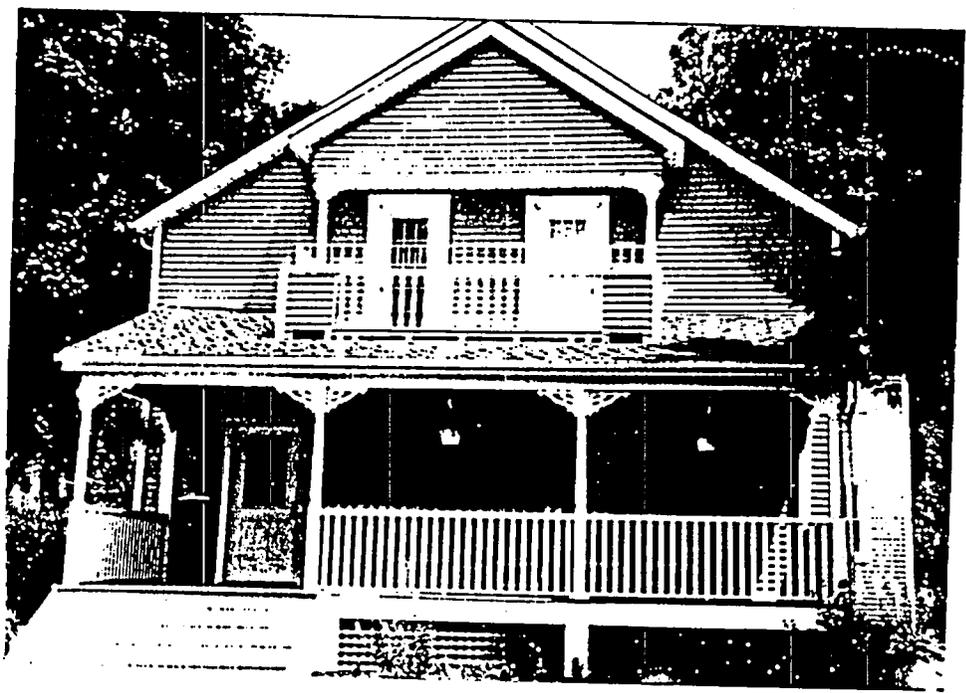


ADDRESS: 180 Church Street

INFORMATION: House, c.1920

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS : 18.4 Church Street

INFORMATION: Victoria Cottage, 1888

SIGNIFICANCE: Contributing

COMMENTS;

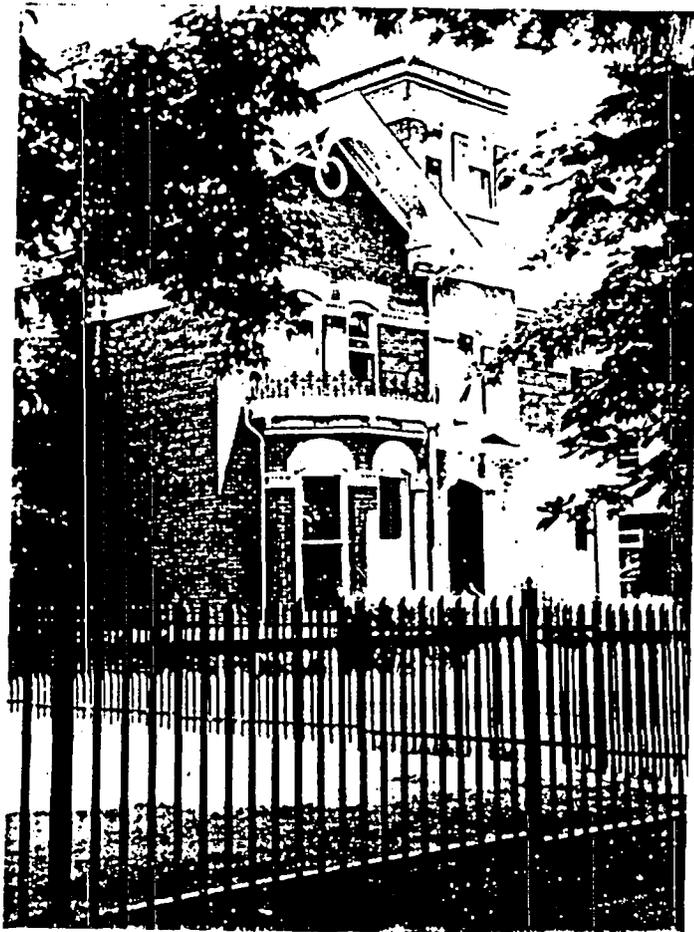


DRESS: 198 Church Street

FORMATION: House, c.1940

SNIFICANCE: Contributing

YMENTS;



DRESS : 202 Church Street
FORMATION: Rbt. Mülholland House, 1877
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 210 Church Street

FORMATION: House, c.1910

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS : 216 Church Street
INFORMATION: Harry Wicksteed House, 1898
SIGNIFICANCE: **Individual**
COMMENTS :

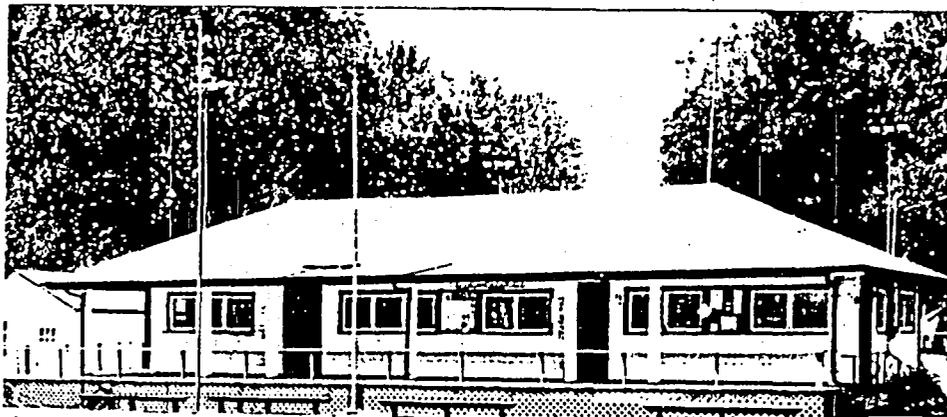


ADDRESS: 220 Church Street

INFORMATION: House for Eluid Nickerson, 1815

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS: 177 Church Street

INFORMATION: Lawn Bowling Pavilion, 1919

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS; 118 Perry Street

INFORMATION: "Sunflowers", for David Dick, 1920

SIGNIFICANCE: Individual

COMMENTS ;

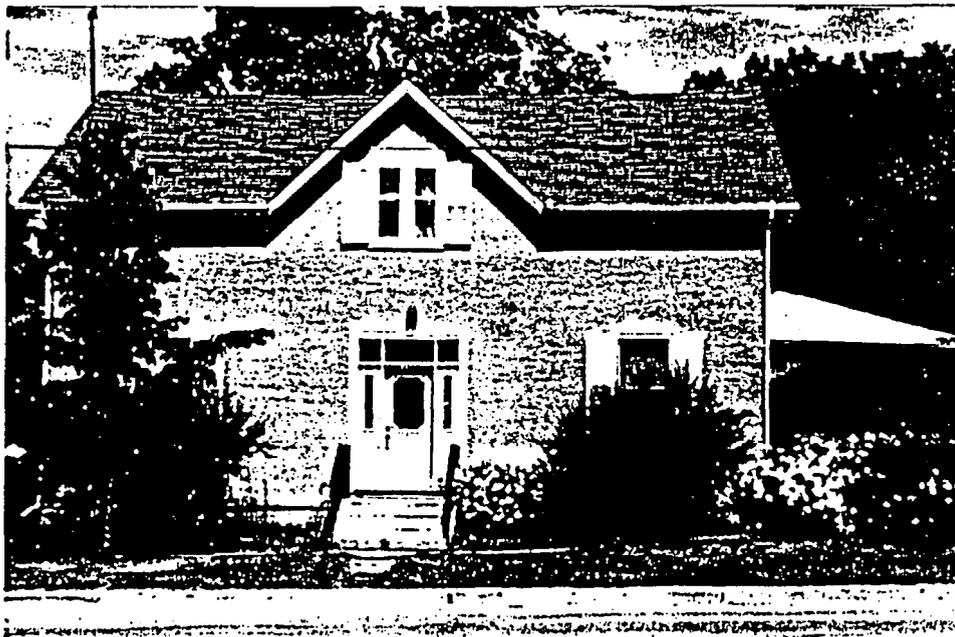


ADDRESS: 240 College Street

INFORMATION: St. Peter's Church, facade & tower Henry Bowyer Lane church proper Kivas Tully, 1854

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 264 College Street
INFORMATION: Car-swell House, c.1880
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS : 272 College Street

INFORMATION: House, c.1905

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS : 278 College Street

INFORMATION: House, 1937, J.A. Harvey, arch.

SIGNIFICANCE: Individual

COMMENTS ;



ADDRESS: 284 College Street
INFORMATION: York Cottage, c.1850, remodelled c.1920
SIGNIFICANCE; Individual
COMMENTS :



ADDRESS: 306 College Street

INFORMATION: Lazarus Payne House, 1856-7

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 314 College Street

INFORMATION: Wm. Jex House,. 1910, Wm Jex bldr.

SIGNIFICANCE; Individual

REMARKS:



ADDRESS: 320 College Street

INFORMATION: House, c.1875

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS : 326 College Street

INFORMATION: House, c. 1900

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS : 332 College Street

INFORMATION: House, c.1910

SIGNIFICANCE: Individual

COMMENTS ;



ADDRESS: 348 College Street
INFORMATION: Arthur Macdonald House, '1862
SIGNIFICANCE: Individual
COMMENTS ;



ADDRESS: 354 College Street
INFORMATION: Henry Hough House, 1867
SIGNIFICANCE: Individual
COMMENTS:

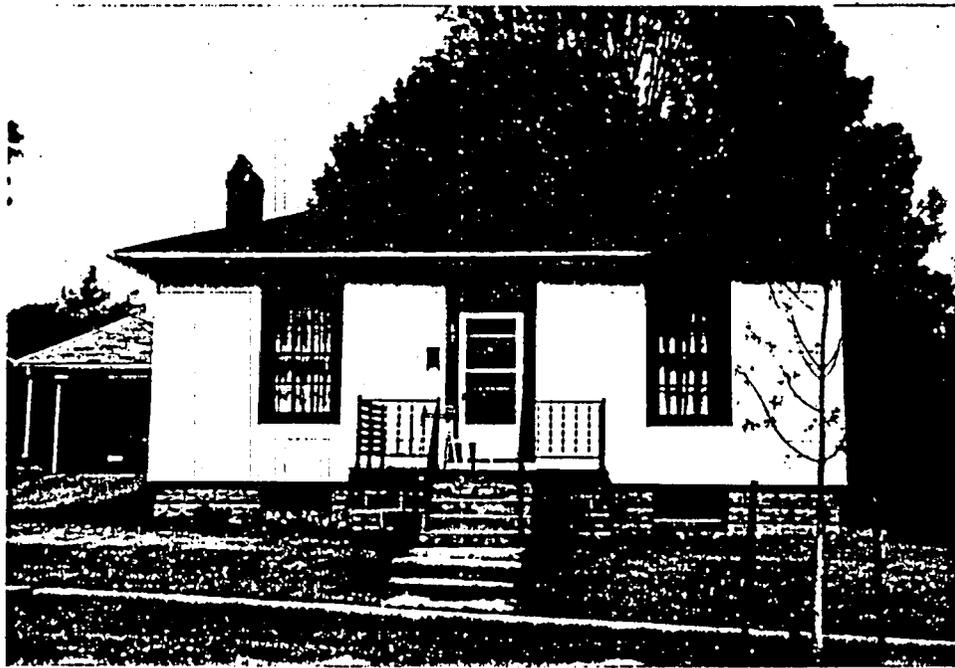


ADDRESS : 360 College Street

INFORMATION: Chas. Elliott House, 1853

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 380 College Street

INFORMATION: Cottage, c.1850s

SIGNIFICANCE; Individual

COMMENTS :



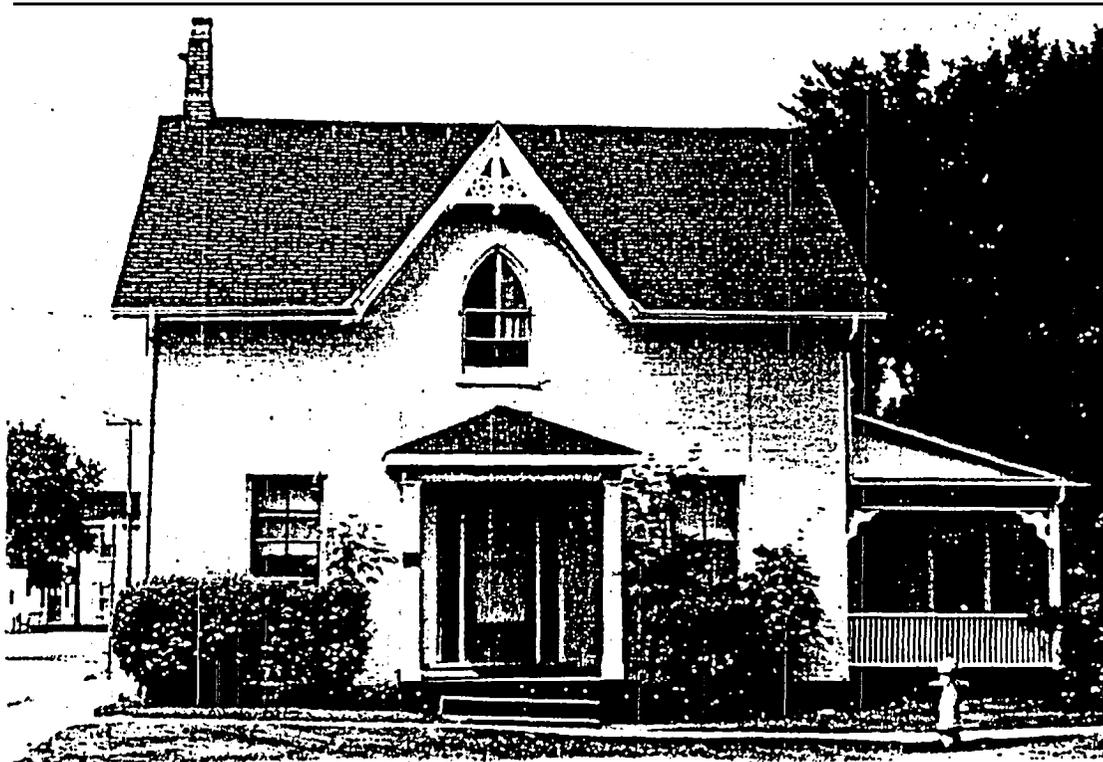
ADDRESS: 384 College Street
INFORMATION: House, c.1950
SIGNIFICANCE: Contextual
COMMENTS:



ADDRESS: 394 College Street

INFORMATION: Hospital Administrator's House, c.1910

SIGNIFICANCE: Individual



DRESS : 255 College street

FORMATION: House, c.1865

GNIFICANCE: Individual

'MMENTS :



ADDRESS: 265 College Street

INFORMATION: House. c.1865

SIGNIFICANCE: Individual

COMMENTS:

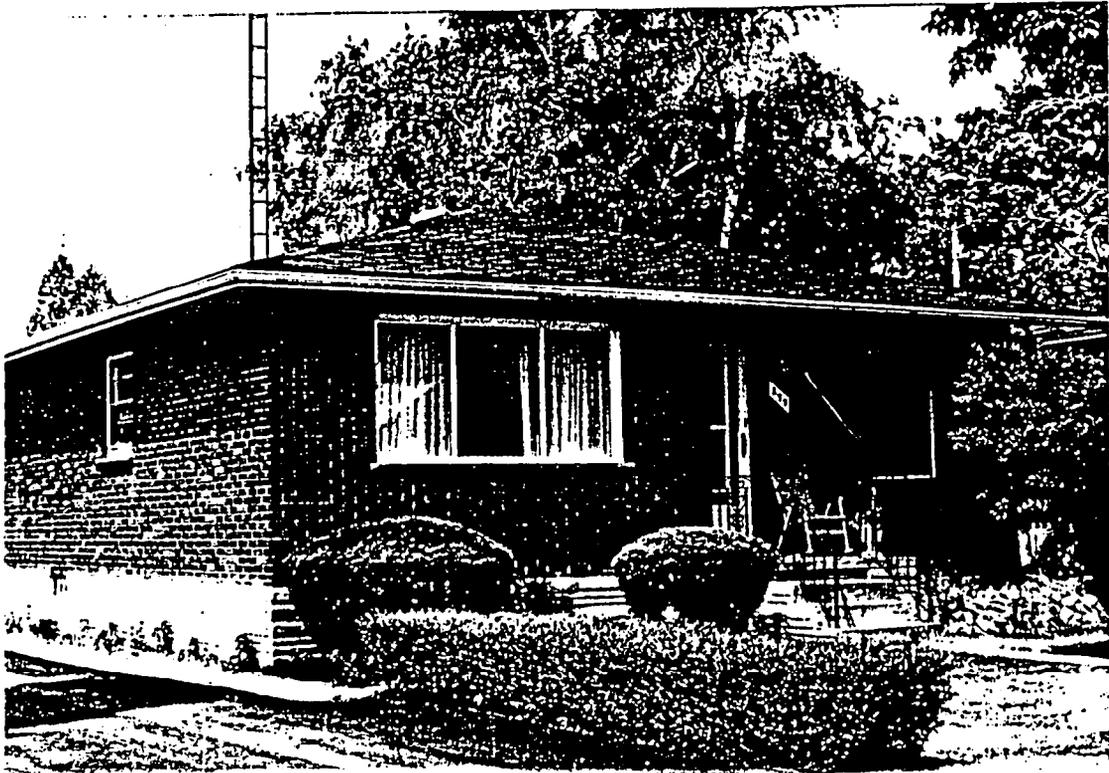


ADDRESS: 273 College Street

INFORMATION: Mathew Hobart House, 1858, alt.1926

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS; 277 College street
INFORMATION: Infill house, c. 1950
SIGNIFICANCE: Contextua 1
COMMENTS ;



ADDRESS: 285 College Street

INFORMATION: Gervas Holmes House, 1871

SIGNIFICANCE: Individual

COMMENTS:

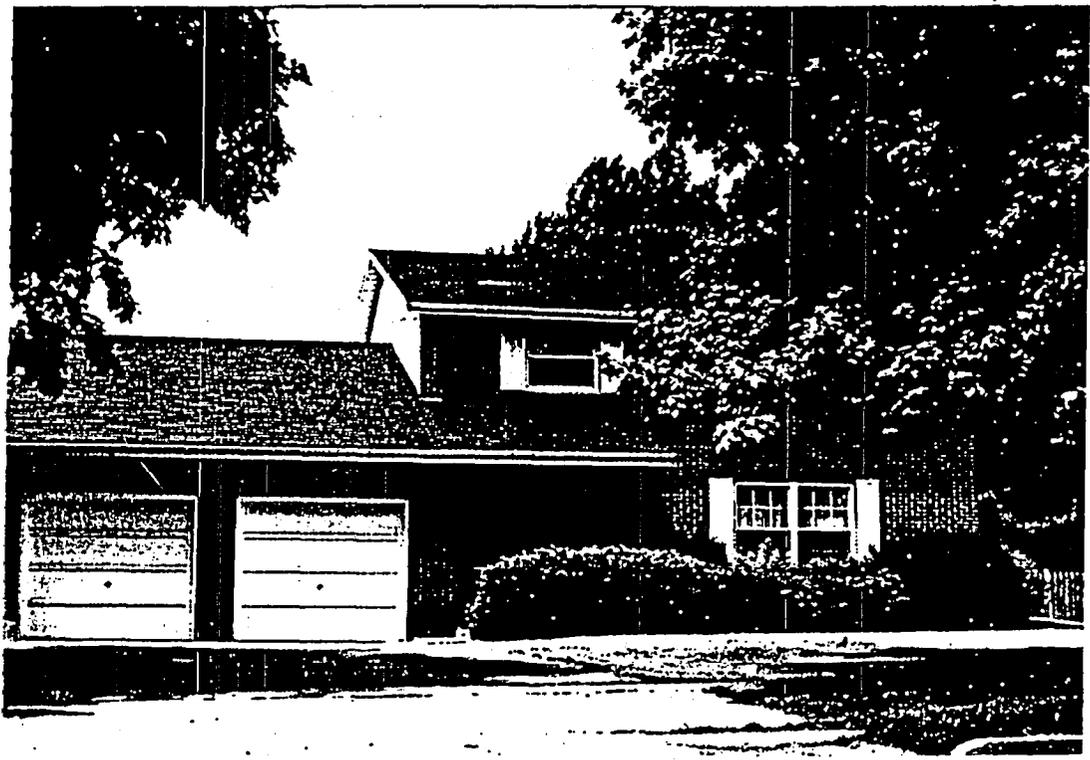


ADDRESS: 301 College Street

FORMATION: House, c.1905

SIGNIFICANCE: Individual

REMARKS:



DRESS : 311 College Street

FORMATION: Infill House, c. 1960

GNIFICANCE: Contextual

MMENTS:



ADDRESS: 321 College Street

FORMATION: House, c. 1950

SIGNIFICANCE: Contributing

REMARKS:

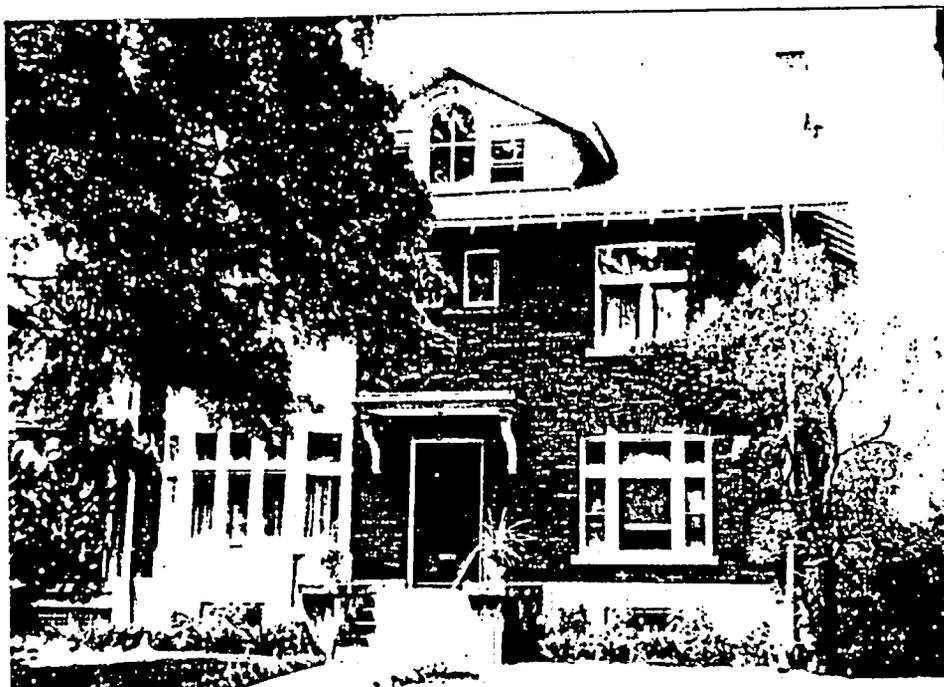


ADDRESS: 325 College Street

FORMATION: House, c.1910

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 331 Co.1 lege Street

DESCRIPTION: House, c.1905

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 345 College street

INFORMATION: Infill house, c. 1955

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 353 (353a) College Street

DESCRIPTION: House, remodelled for Celia Doheny 1897, adds.1910

SIGNIFICANCE: Individual

REMARKS;



ADDRESS: 359 College Street
INFORMATION: Cottage-. Wm. Mutton, 1850s
SIGNIFICANCE: Contributing
COMMENTS:



ADDRESS: 365 College Street

INFORMATION: John Greenwood House, c.1860

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 377-379 College Street

INFORMATION: Semi-detached house, 1865, Geo. Thompson

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 383-385- College Street

INFORMATION: Semi-detached House, 1877, Henry Pringle

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS : 383 College Street

INFORMATION: House, c. 1905

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS: 393 College Street

FORMATION: House, c. 1905

SIGNIFICANCE: Individual

REMARKS;



ADDRESS: 395 College Street

INFORMATION: House, c. 1905

SIGNIFICANCE: Individual

COMMENTS:

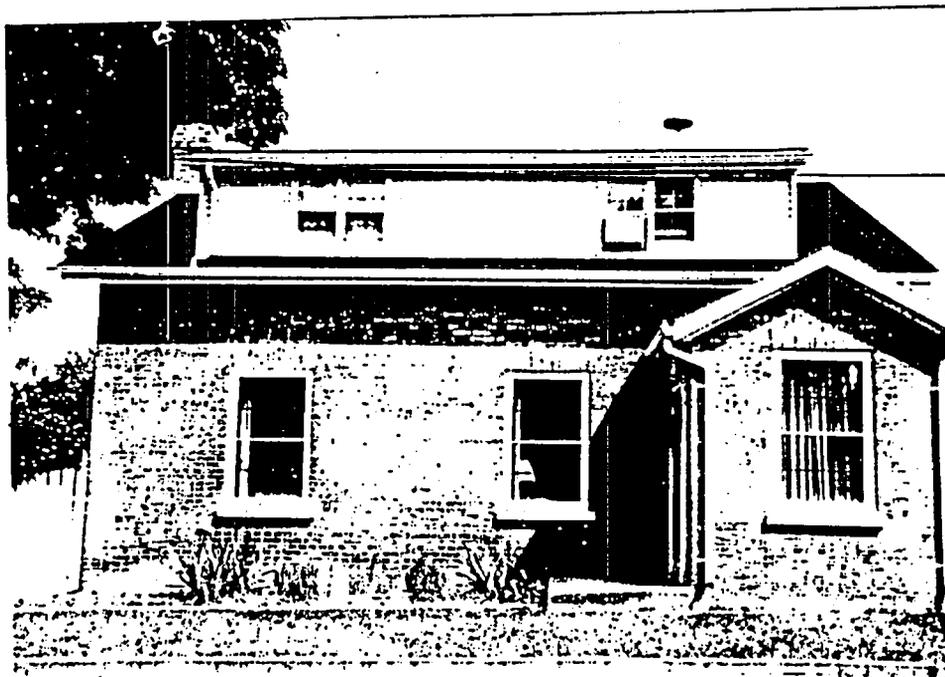


ADDRESS: 112 Anne Street

INFORMATION: Gervas Holmes House, c. 1868

SIGNIFICANCE: Individual

COMMENTS:

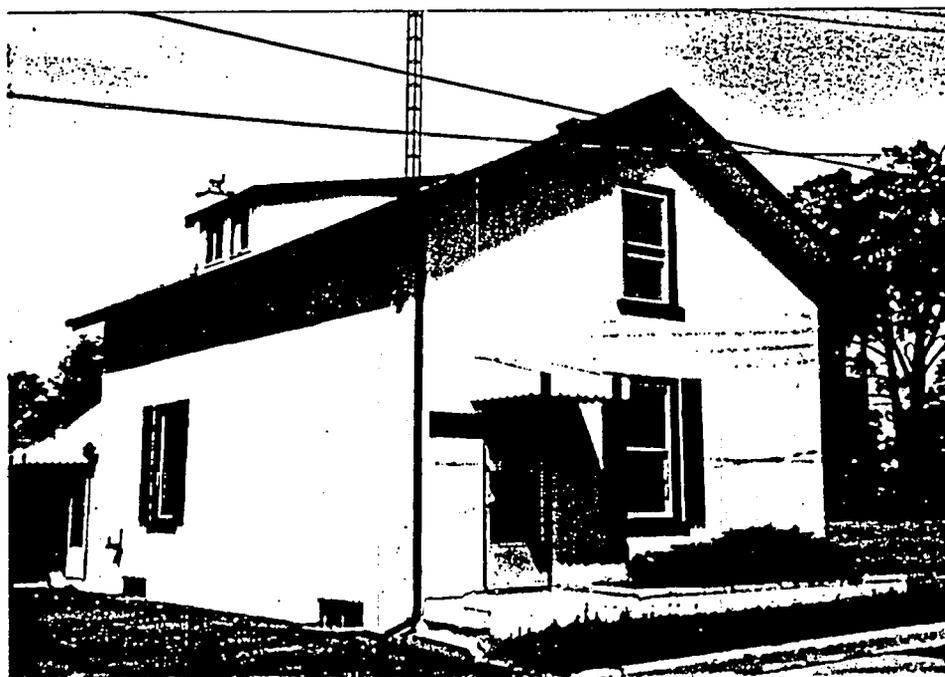


ADDRESS: 180 Anne Street

INFORMATION: House, c.1850

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 385 Anne Street

INFORMATION: House, c.1860

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS: 89 Anne Street

INFORMATION: Apartment House, c. 1960

SIGNIFICANCE: Contextual

COMMENTS :



ADDRESS; 50 University Avenue
INFORMATION: Victoria University Building, 1836
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 15 Swayne Street
INFORMATION: Motel Units, c.1950
SIGNIFICANCE: Contextual
COMMENTS:



ADDRESS: 19 Swayne Street

INFORMATION: Motel Units, c.1950

SIGNIFICANCE: Contextual

COMMENTS;



ADDRESS : 37 Swayne Street

INFORMATION: House, c. 1840

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 35 Swayne Street

INFORMATION: Motel Units, c.1950

SIGNIFICANCE: Contextual

COMMENTS:

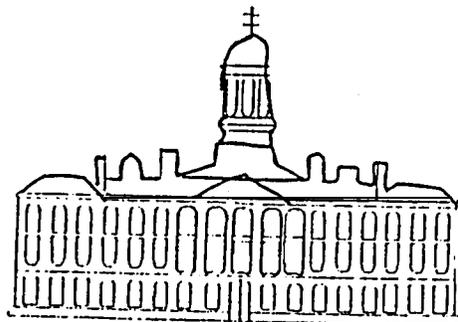


ADDRESS : 241-243 McGill Street

INFORMATION: Semi-detached house, c.1850

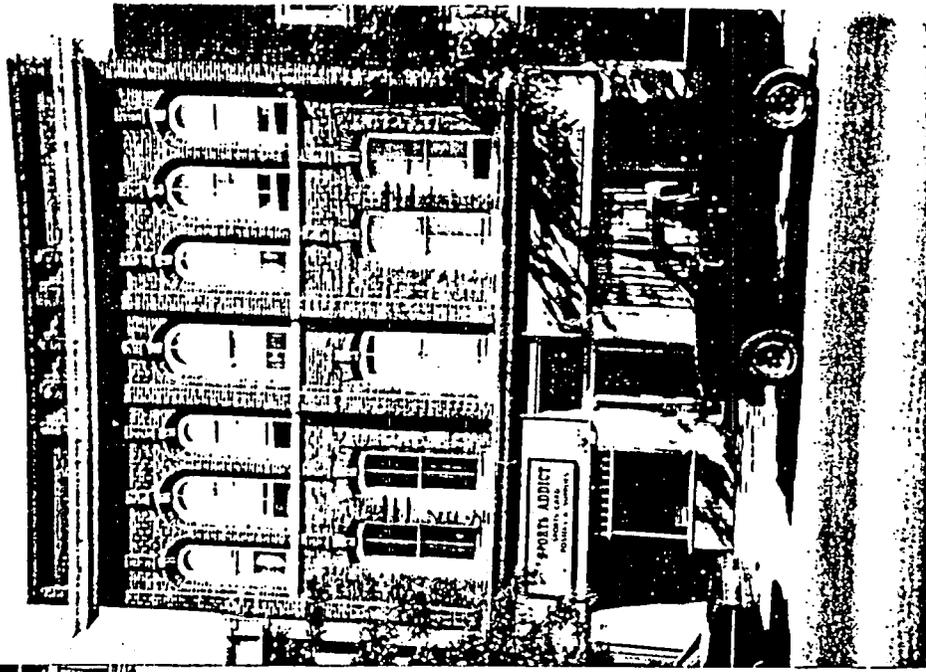
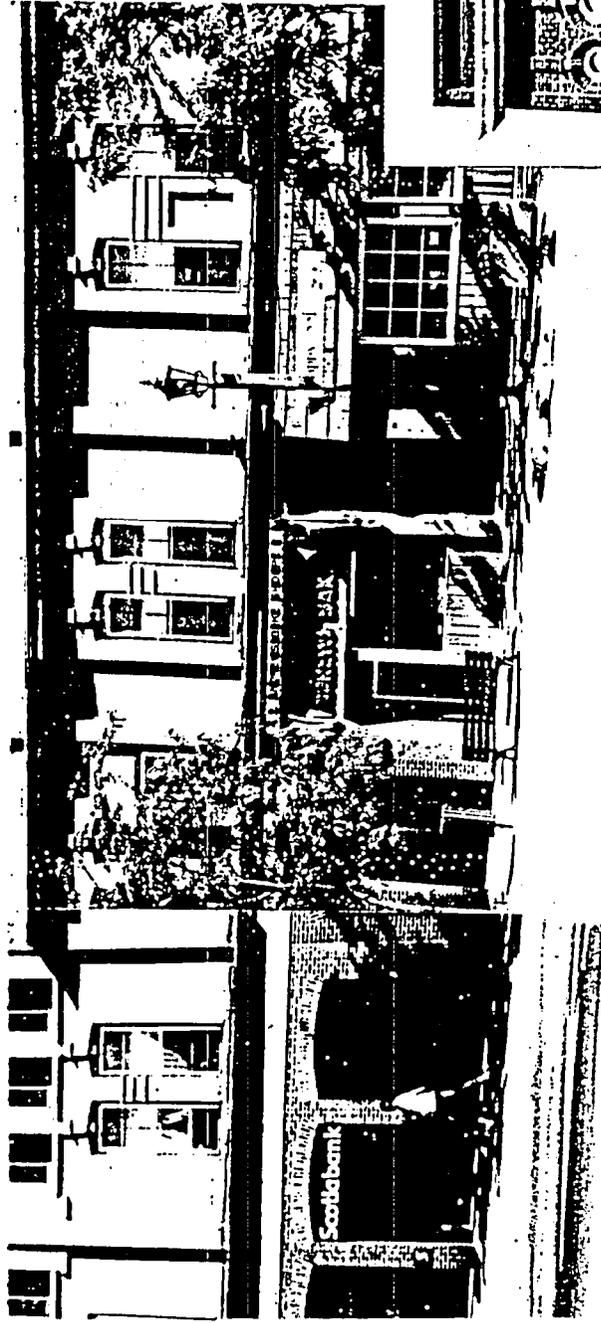
SIGNIFICANCE: Individual

COMMENTS :



COBOURG HERITAGE DISTRICT STUDY

COMMERCIAL CORE SECTOR



2-18 King Street East

DN: Phoenix Block (Smith & Hitchins Bldgs. 1881. Norman Dick, arch.

ACE: Individual

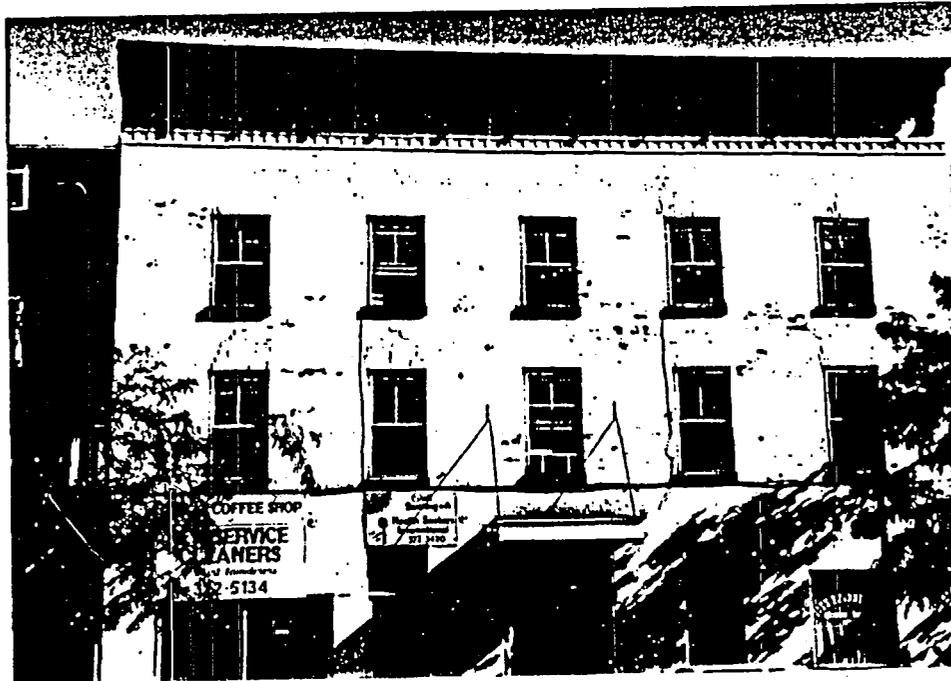


ADDRESS : 18 King Street East

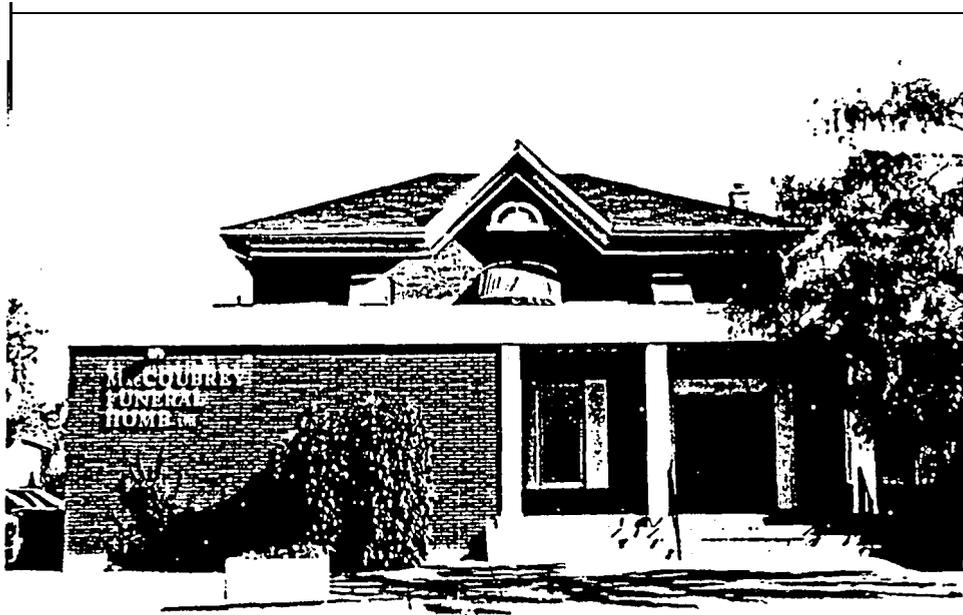
INFORMATION: Infill, c.1920

SIGNIFICANCE: Contextual

COMMENTS :



ADDRESS: 20 King Street East
 INFORMATION: Albion Hotel, 1873
 SIGNIFICANCE: Individual
 COMMENTS :

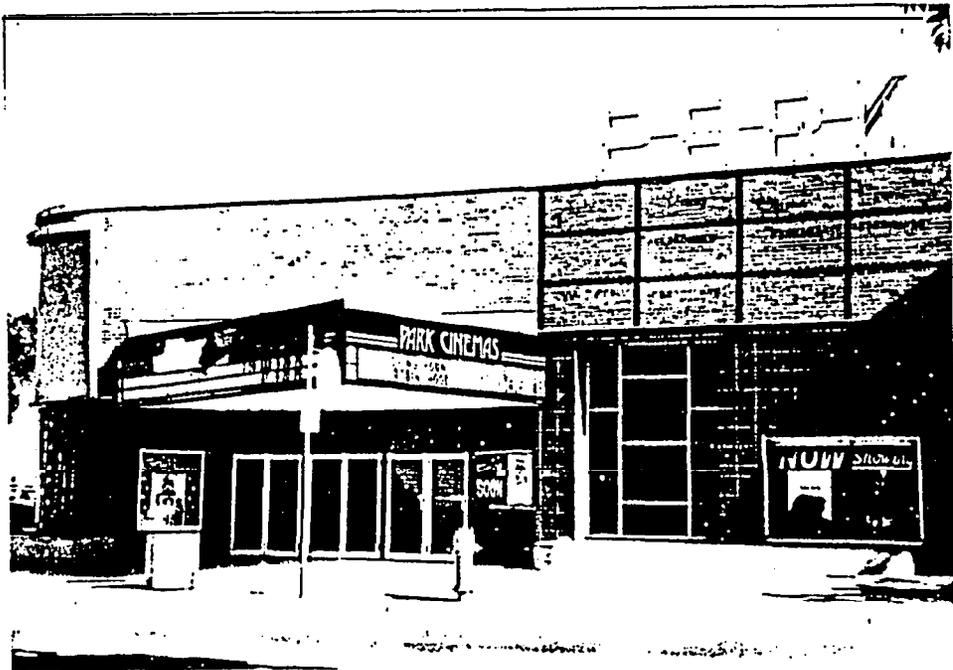


ADDRESS : 30 King Street East
INFORMATION: John Fisher House, 1876
SIGNIFICANCE: Contributing
COMMENTS :

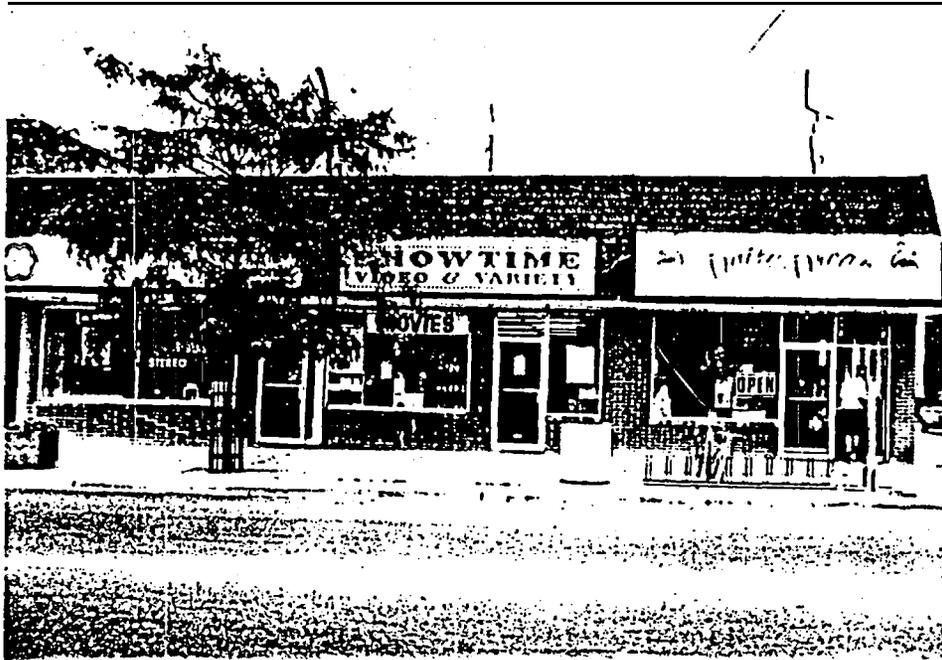


ADDRESS: 36 King Street East
 INFORMATION: Block, c.1866
 SIGNIFICANCE: Individual
 COMMENTS: Demolished July 1991





ADDRESS: 60 King Street East
INFORMATION: Park Theatre, 1948, Herbert Duerr, arch.
SIGNIFICANCE: Individual
COMMENTS :



ADDRESS; 66 King Street East

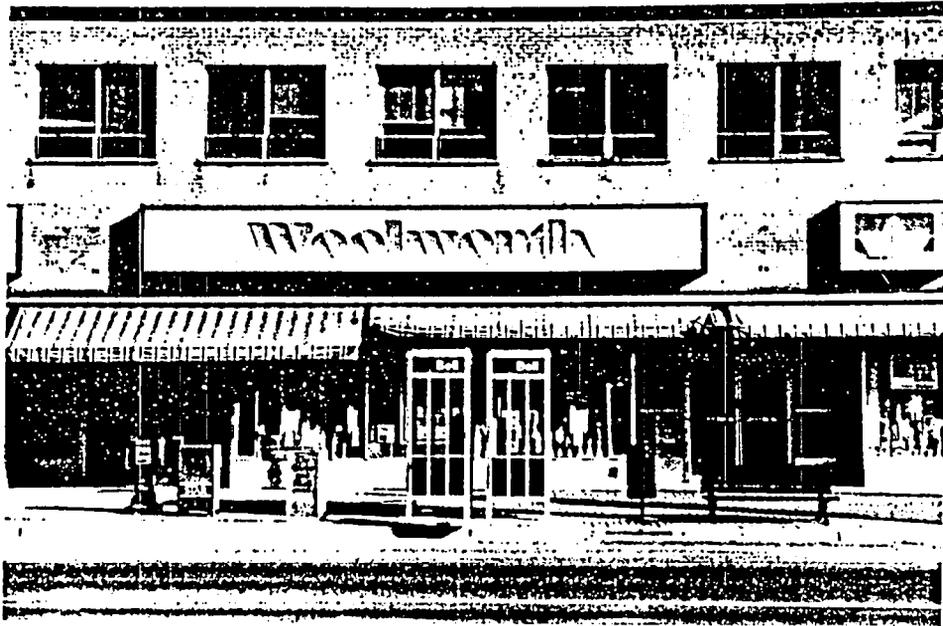
INFORMATION: Infill, c. 1960

SIGNIFICANCE: Contextual

COMMENTS;



ADDRESS: 68 King Street East
INFORMATION: House, c.1870, alts.c.1926
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS; 1 King Street East

INFORMATION: Woolworth Bldg., c.1955

SIGNIFICANCE: Contextual

COMMENTS :

9-11

7



ADDRESS: 7 King Street East

INFORMATION: Infill bldg.. c. 1960

SIGNIFICANCE: Contextual

COMMENTS:

ADDRESS: 9-11 King Street East

INFORMATION: Ebenezer Perry Bldg., c.1832

SIGNIFICANCE: Individual

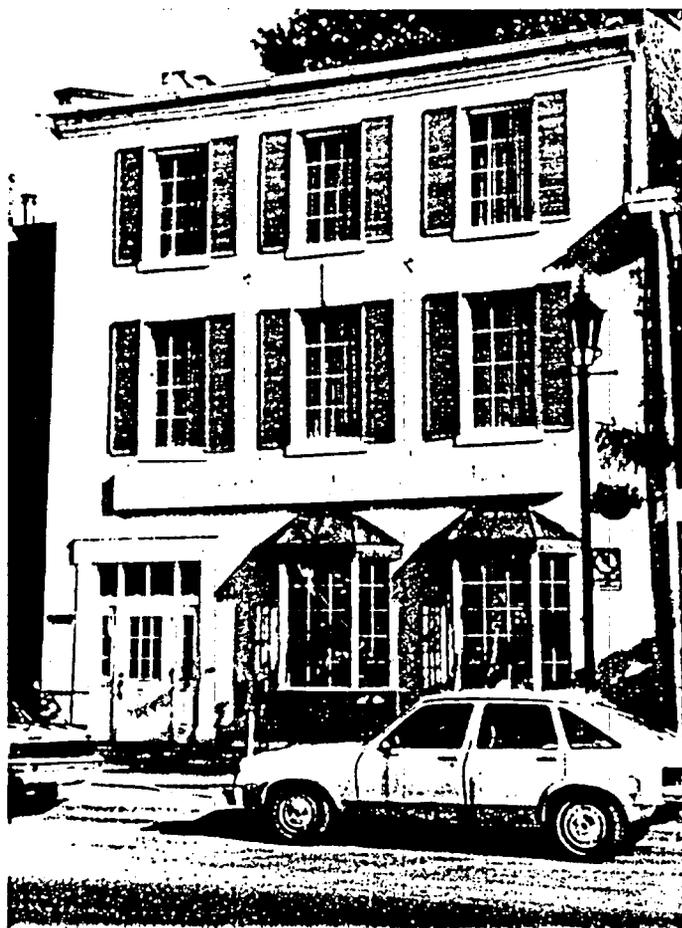
COMMENTS:



ADDRESS : 15-23 King Street East

INFORMATION: Judge Boswell Block, 1876

SIGNIFICANCE: Individual



ADDRESS: 25 King Street East

INFORMATION: Caleb Mallory Bldg., c.1859

SIGNIFICANCE: Individual

COMMENTS:

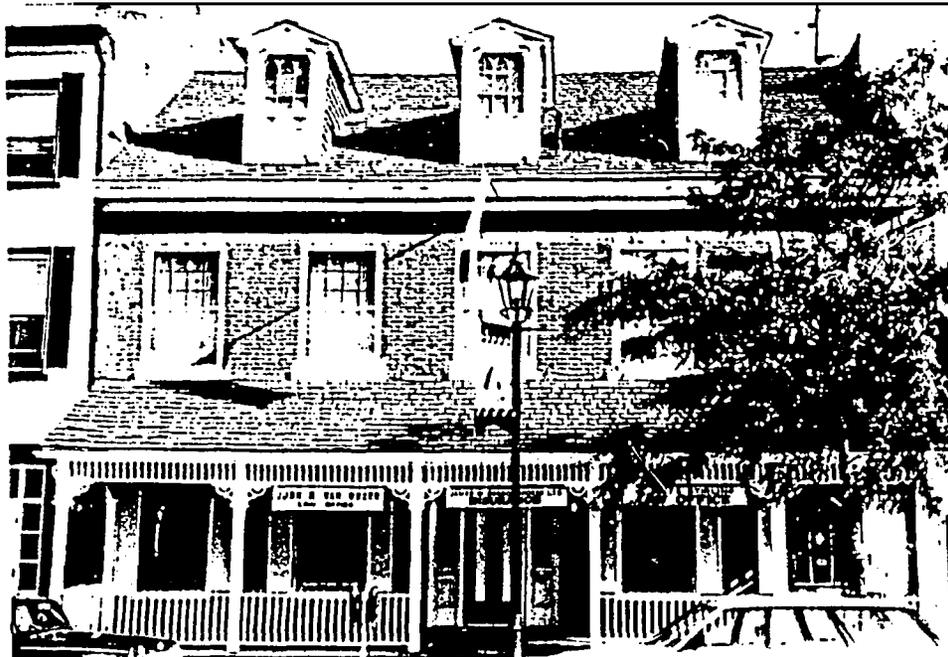


ADDRESS : 29-31 King Street West

INFORMATION: Semi-detached house, c.1880

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS: 35 King Street East

INFORMATION: Graveley House, c.1837

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 37-39 King Street East

INFORMATION: John Vance Boswell Terrace, 1844

SIGNIFICANCE: Individual

COMMENTS:

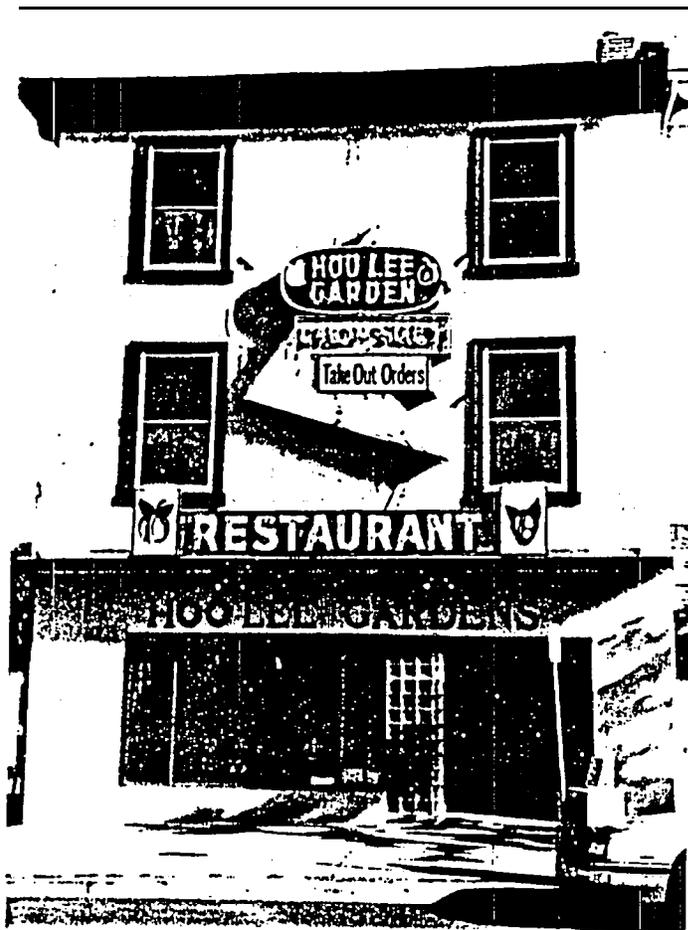


ADDRESS: 41-43 King Street East

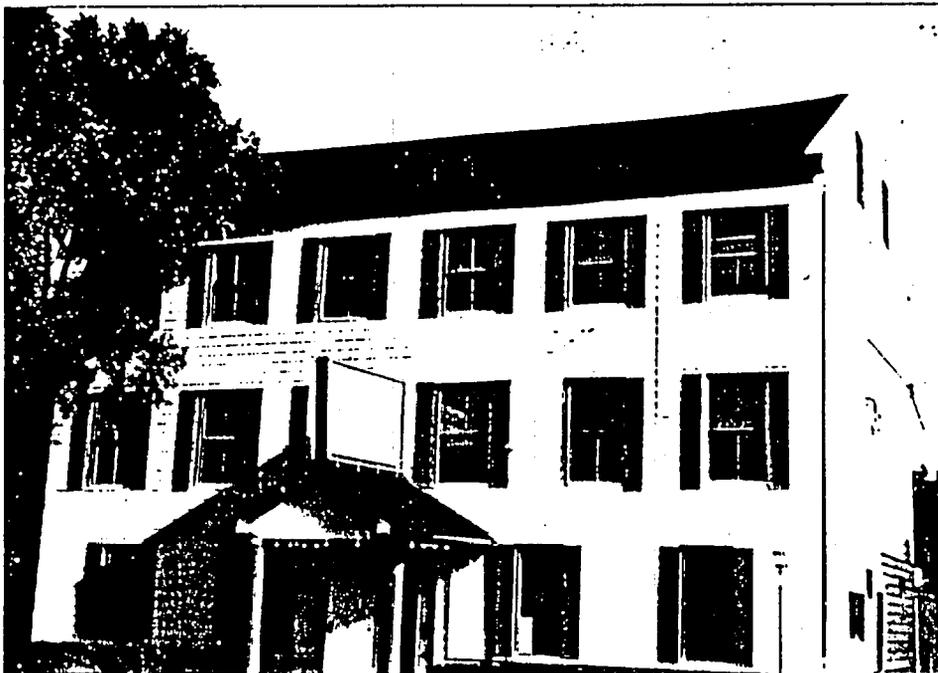
INFORMATION: Terrace', 1844

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 45 King Street East
INFORMATION: Darcy Bolton Block, 1844
SIGNIFICANCE: Individual
COMMENTS :

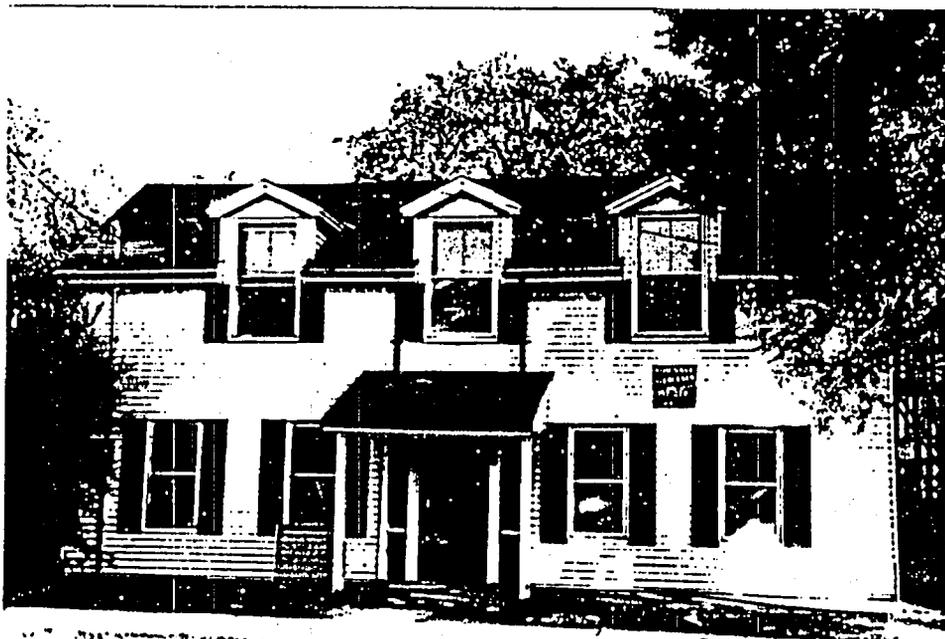


ADDRESS: 53 King Street East

INFORMATION: Terrace Houses, c.1844, later The Columbian 1893,
later Chateau by the Lake

SIGNIFICANCE: Individual

COMMENTS:

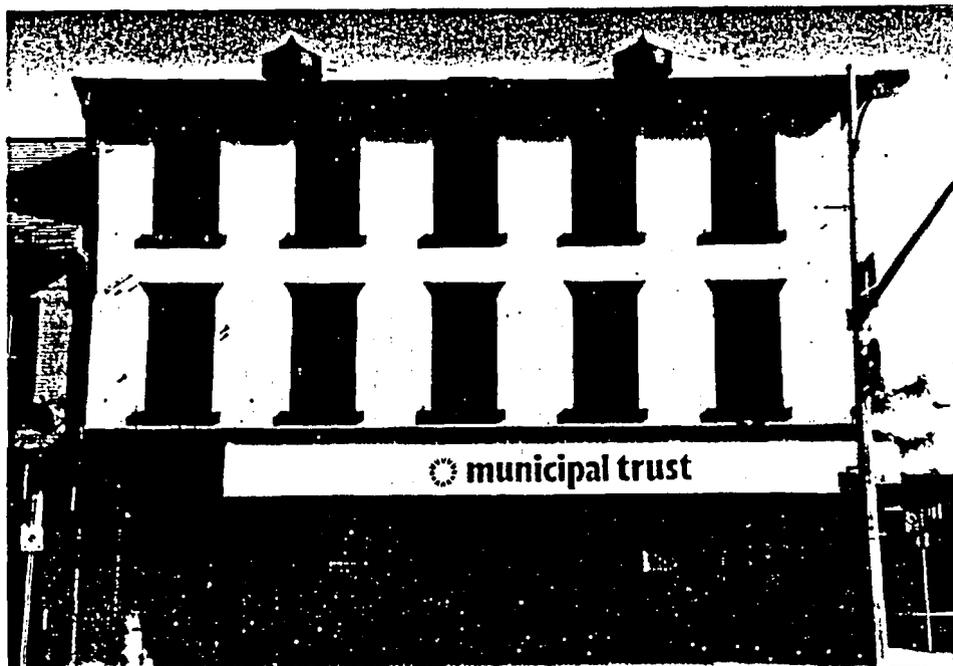


ADDRESS: 61 King Street East

INFORMATION: Cameron Cottage, c.1840

SIGNIFICANCE: Individual

COMMENTS :

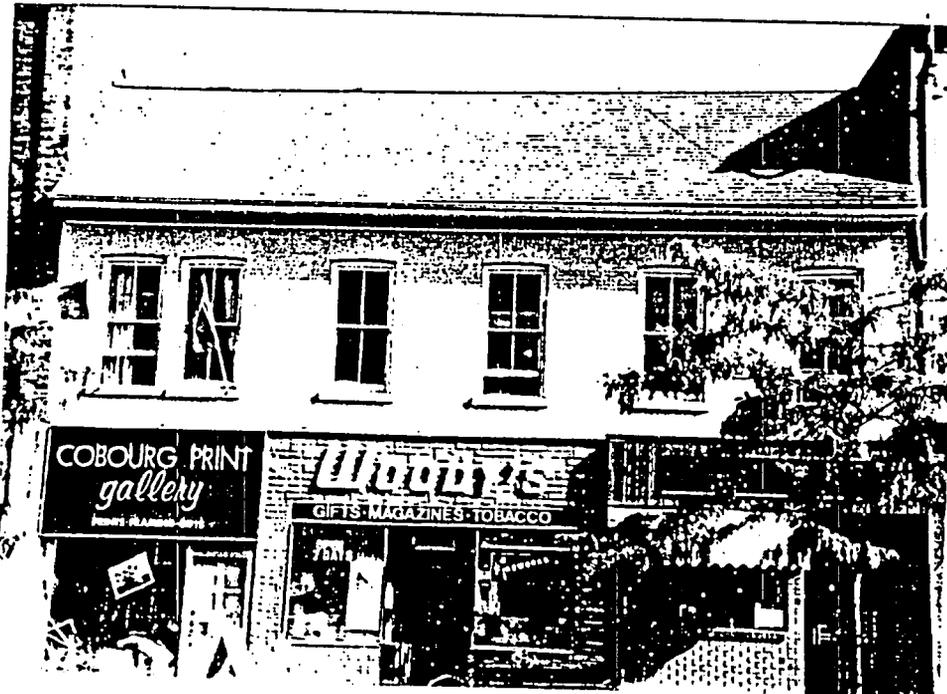


ADDRESS: 2 King Street West

INFORMATION: Thos. Scott Block, 1844, alt. 1902 for Dominion Bank

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 4-6-8 King. Street West

INFORMATION: Commercial Block, c. 1880

SIGNIFICANCE: Individual

COMMENTS:

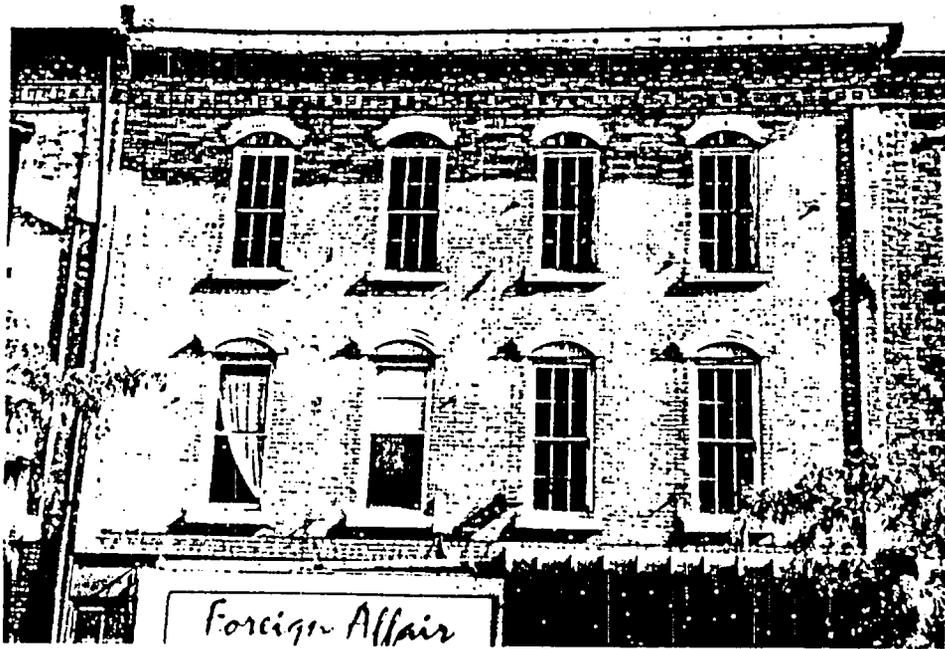
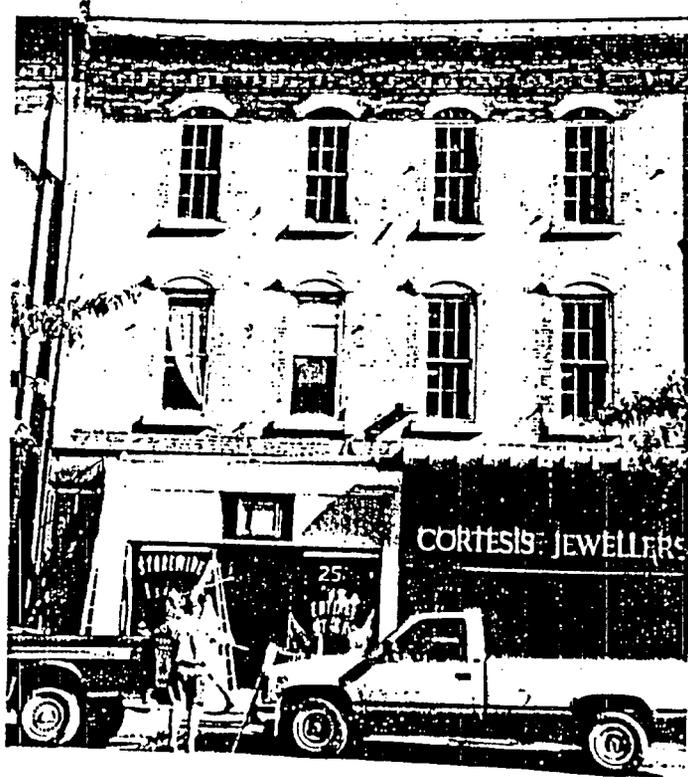


ADDRESS: 10-12-14 King Street West

DESCRIPTION: Commercial Block, c. 1870

SIGNIFICANCE: Individual

REMARKS:

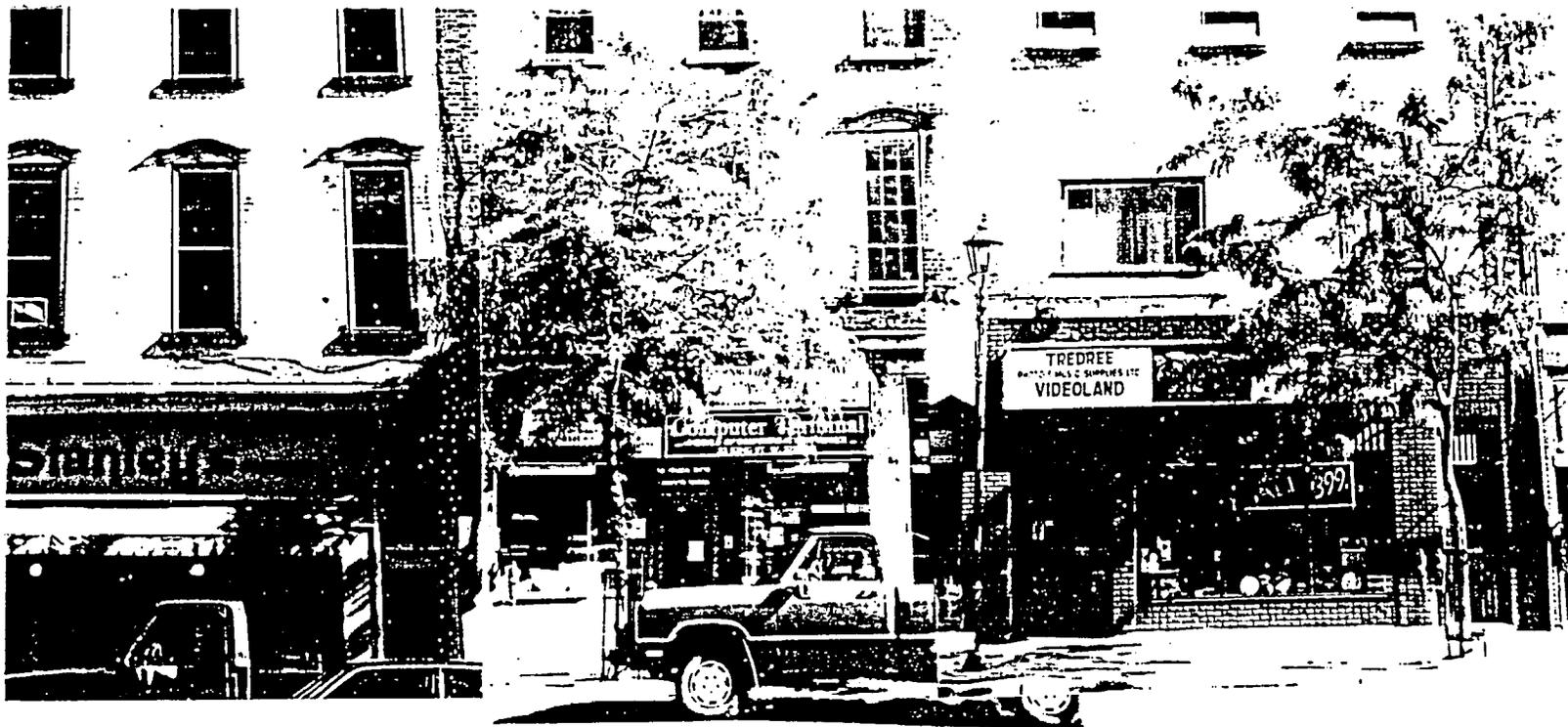


ADDRESS: 16-18 King Street West

INFORMATION: Commercial Block, c. 1870

SIGNIFICANCE: Individual

COMMENTS :

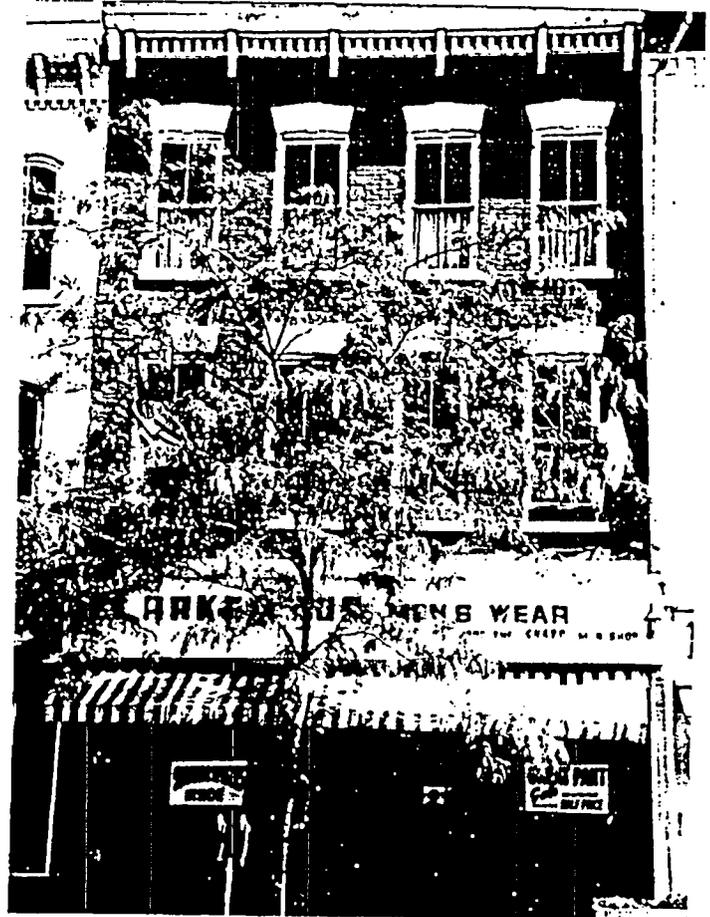


ADDRESS: 20-22-24 King Street West

INFORMATION: Commercial Block, c.1870

SIGNIFICANCE: Individual

COMMENTS ;



ADDRESS: 26-30 King Street West

INFORMATION: Commercial Block, 1875

SIGNIFICANCE: Individual

COMMENTS:

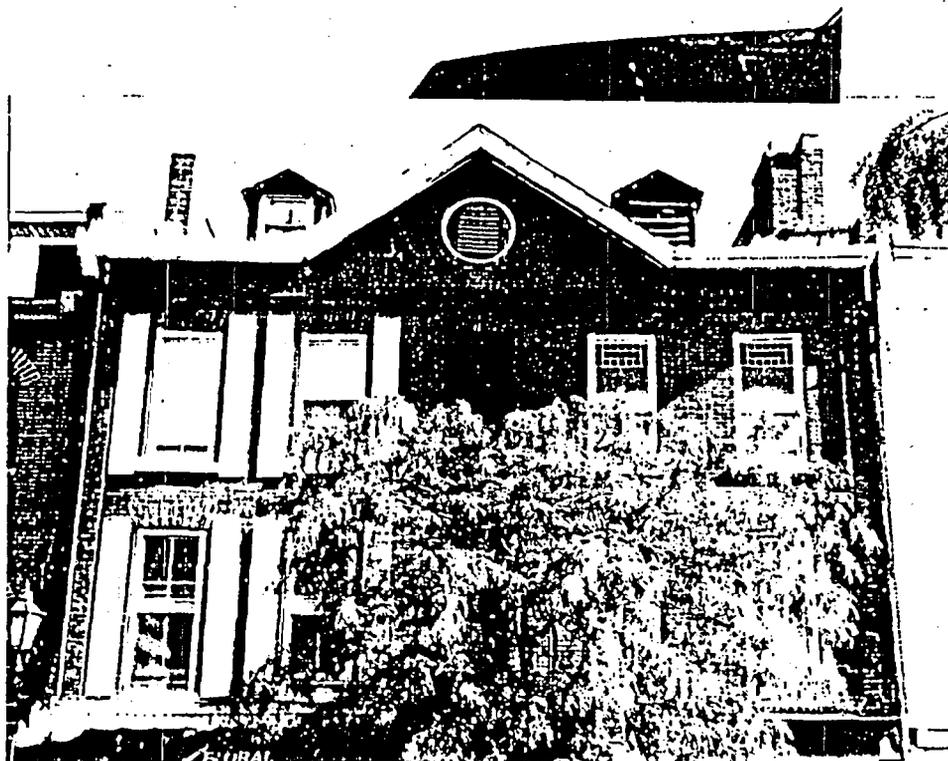
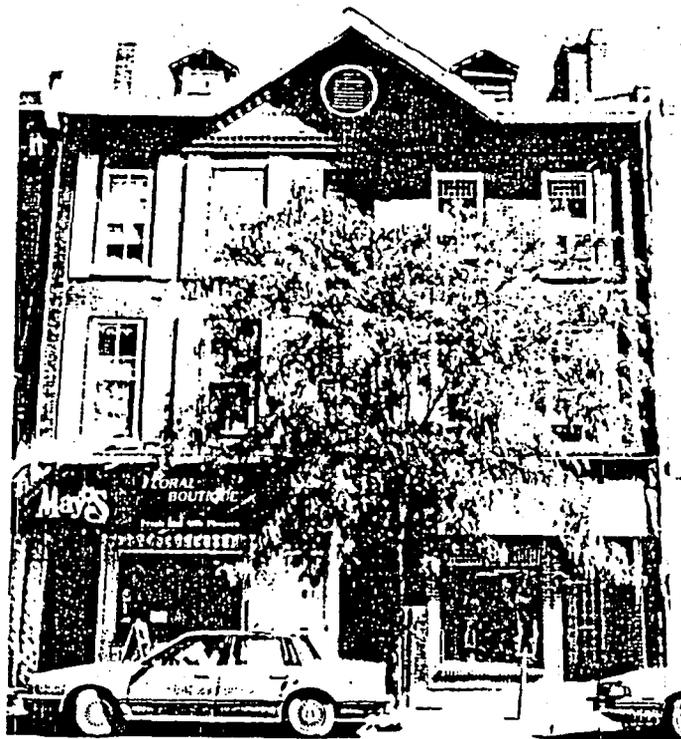


ADDRESS : 32-34 King Street West'

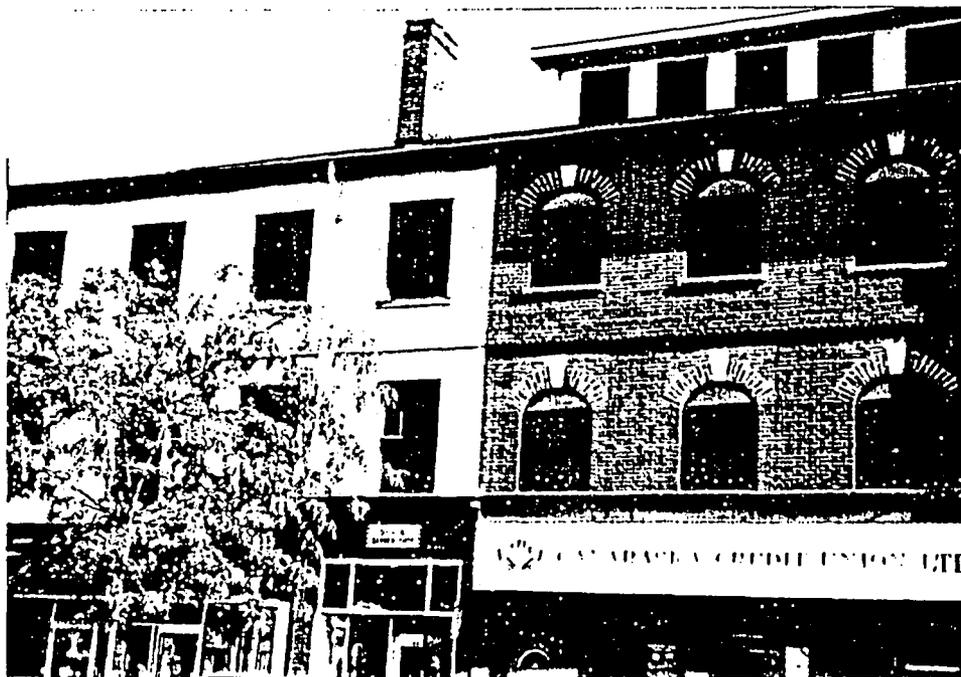
INFORMATION: Commercial Block, c.1850

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 36-38 King Street West
INFORMATION: Commercial Block, 1855
SIGNIFICANCE: Individual



ADDRESS: 40-42-44 King Street West

INFORMATION: Commercial Block, c.1844

SIGNIFICANCE: Individual



ADDRESS: 46-48-50 King Street West

INFORMATION: Commercial Block, 1844

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 52 King Street West

INFORMATION: By-Way Market, c. 1960

SIGNIFICANCE: Contextual

COMMENTS:

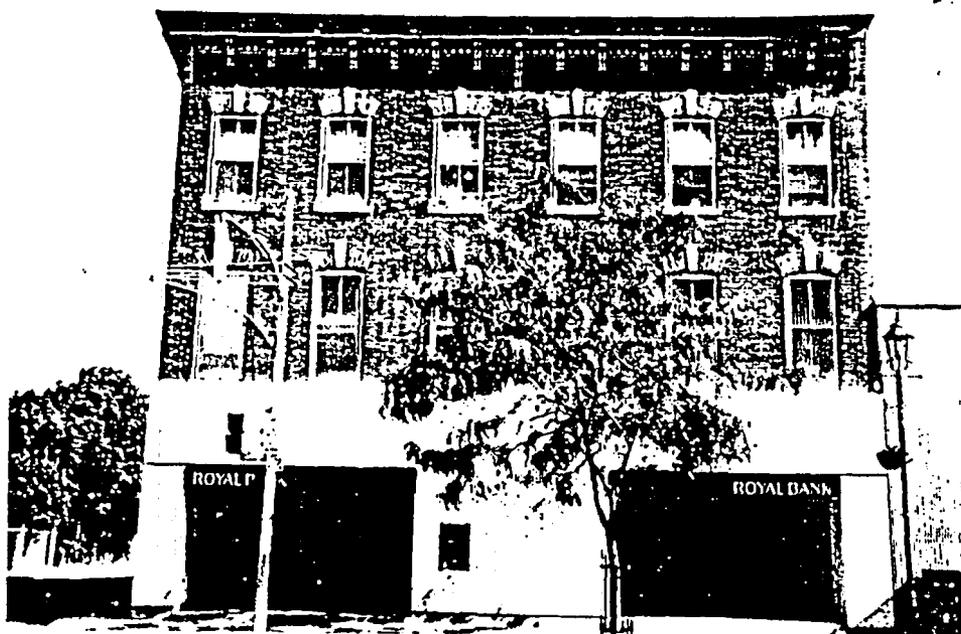


ADDRESS : 62 King Street West

INFORMATION: Bank of Montreal, c.1970

SIGNIFICANCE: Contextua l

COMMENTS ;



ADDRESS: 64-66 King Street West

INFORMATION: Thos. Battell Bldg., 1878, Wm. Battell, bldr.

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 68-72 King Street West

INFORMATION: King George Court, 1989, replica bldg.

SIGNIFICANCE: Contributing

COMMENTS;



ADDRESS : 74-76 King Street West

INFORMATION: Commercial block, 1867

SIGNIFICANCE: Individual

COMMENTS ;



ADDRESS : 78-80 King Street West

INFORMATION: Commercial Block, c.1855

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: "- " 82-84 King Street West

INFORMATION: Commercial Block, 1855

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS : 90 King Street West
INFORMATION: Commercial Block, c.1875
SIGNIFICANCE: Individual
COMMENTS :

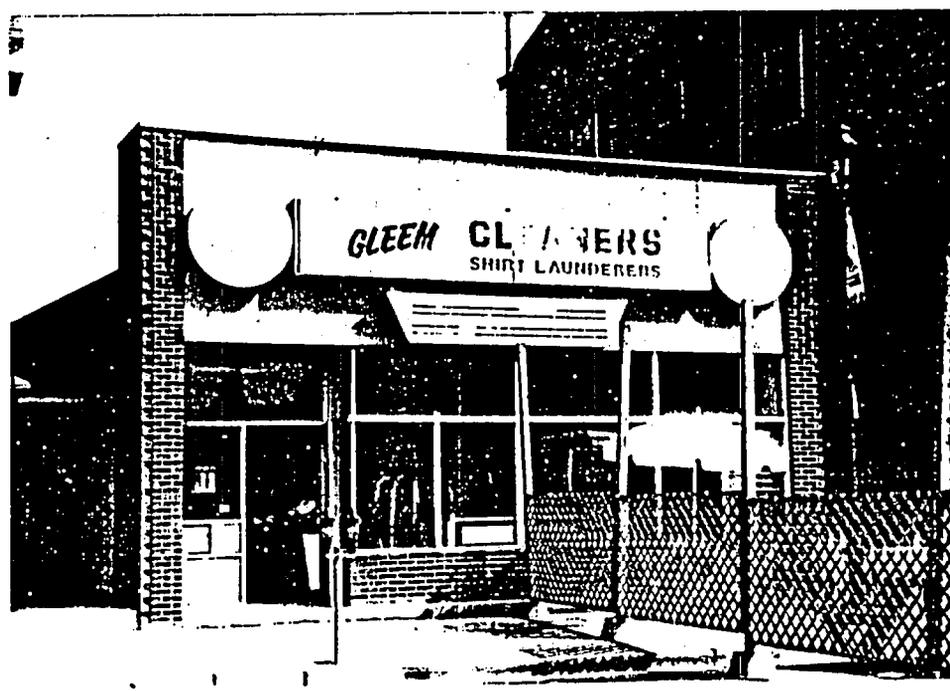


ADDRESS: 92 King Street West

INFORMATION: Commercial Block, c.1870

SIGNIFICANCE: Individual

COMMENTS;



ADDRESS: 94 King Street West

INFORMATION: Infill, c.1965

SIGNIFICANCE: Contextual

COMMENTS:

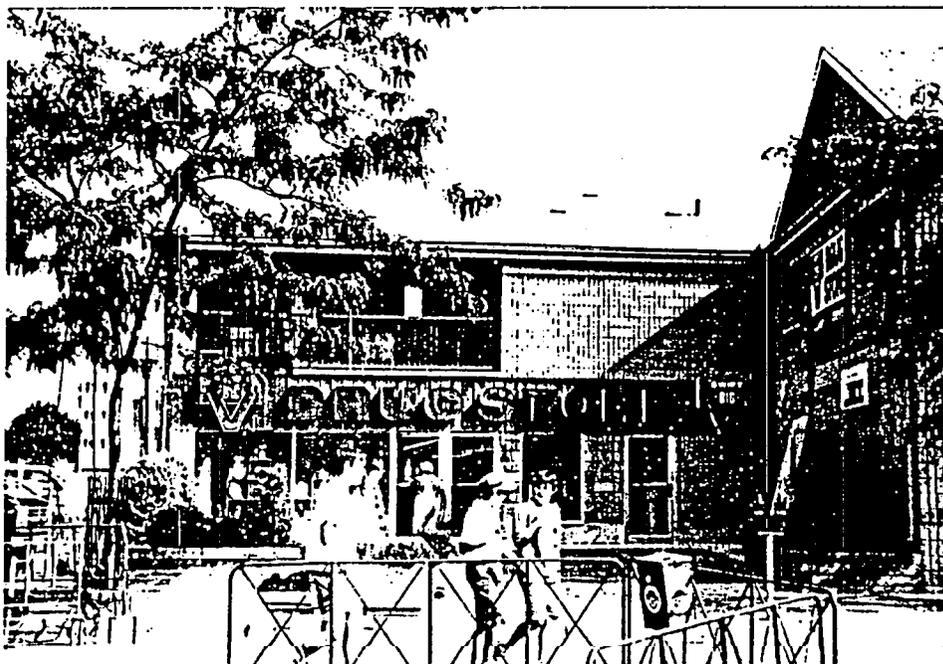


DRESS : 98 King Street West

FORMATION: Infill bldg.

GNIFICANCE: Contextual

MMENTS :



ADDRESS: 100 King Street West

INFORMATION: Infill bldg.

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 110 King Street West

INFORMATION: Infill bldg.

SIGNIFICANCE: Contextual

COMMENTS :



ADDRESS: 122 King Street West
INFORMATION: infill bldg.
SIGNIFICANCE: Contextual
COMMENTS:



ADDRESS : 134 King Street West

INFORMATION: Clench House, c.1848

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 138-140 King Street West

INFORMATION: Infill Bldg., c.1970

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS : 144 King Street West

INFORMATION: Wm. Battell House, 1874, Wm. Battell Bldr.

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 148-150 King Street West

INFORMATION: Vivian House c.1830, rebricked c.1850

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 1 King Street West

INFORMATION: Toronto-Dominion Bank, c.1955

SIGNIFICANCE: Contextual

COMMENTS :

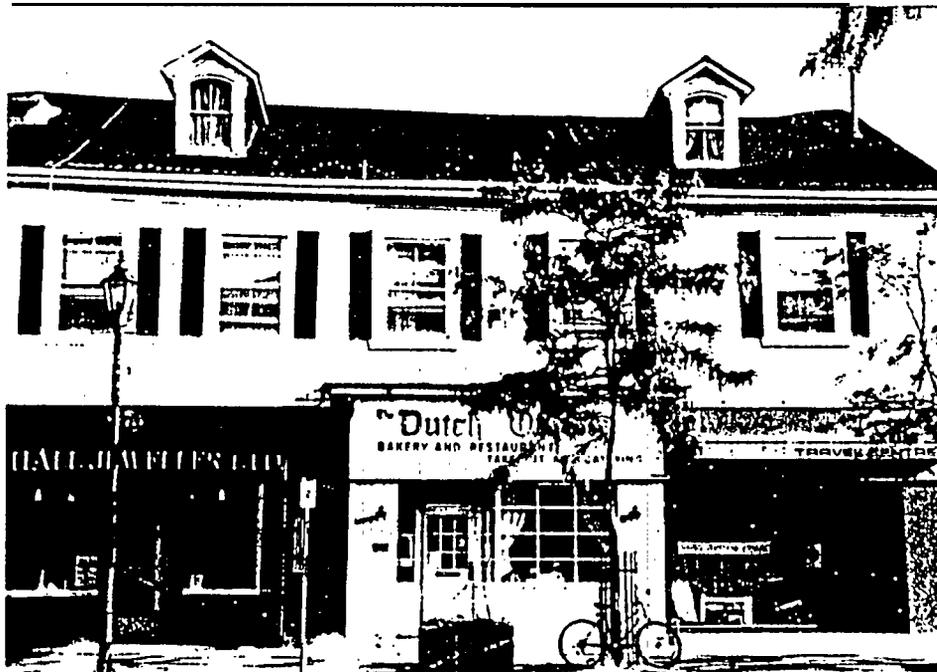


ADDRESS : 3 King Street West

INFORMATION: Buck Bldg., c.1835, refaced c.1960

SIGNIFICANCE: Contributing

COMMENTS :

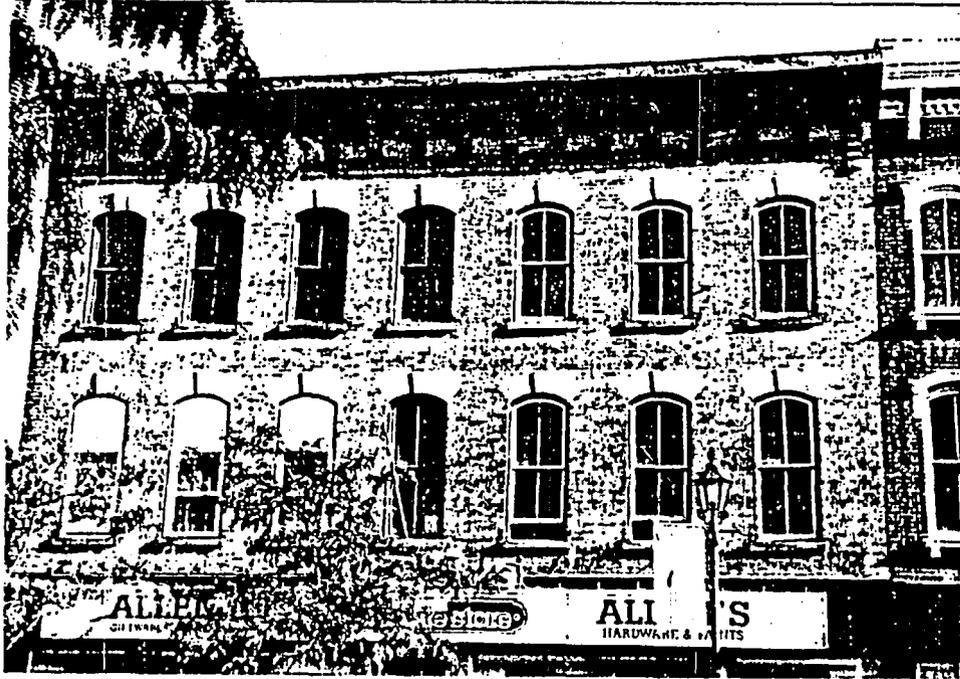


ADDRESS: S-7-9 King Street West

INFORMATION: Bldg., c.1848, later Commercial Hotel

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 19-21 King Street West

INFORMATION: Jeffrey Block, 1871

SIGNIFICANCE: Individual

COMMENTS:

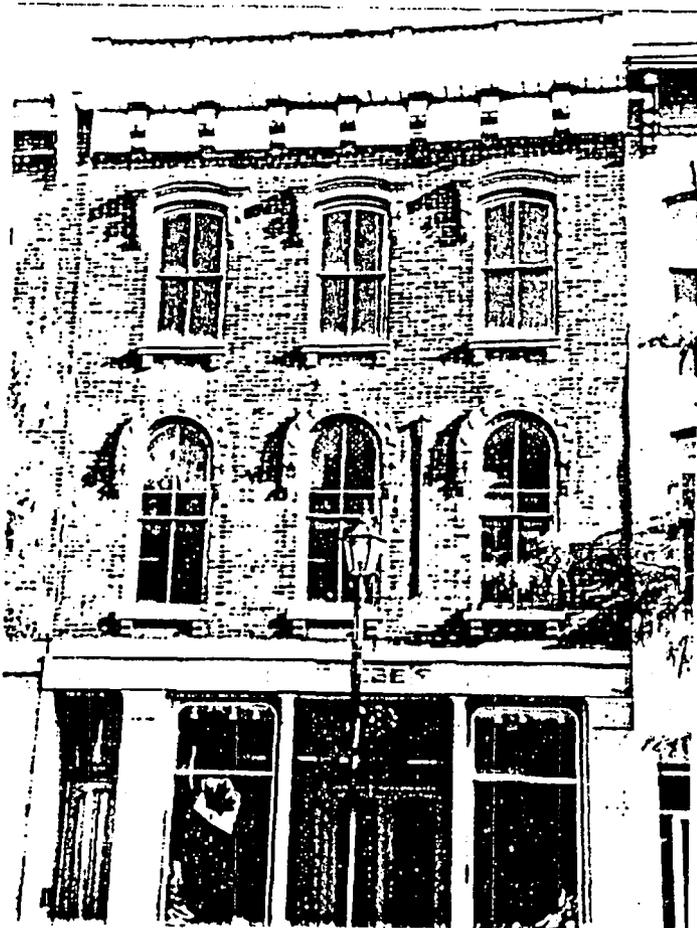


ADDRESS: 23-25-29 King Street West

INFORMATION: McCallum Block, 1971, Alfred Roberts bldr.

SIGNIFICANCE: Individual

COMMENTS:

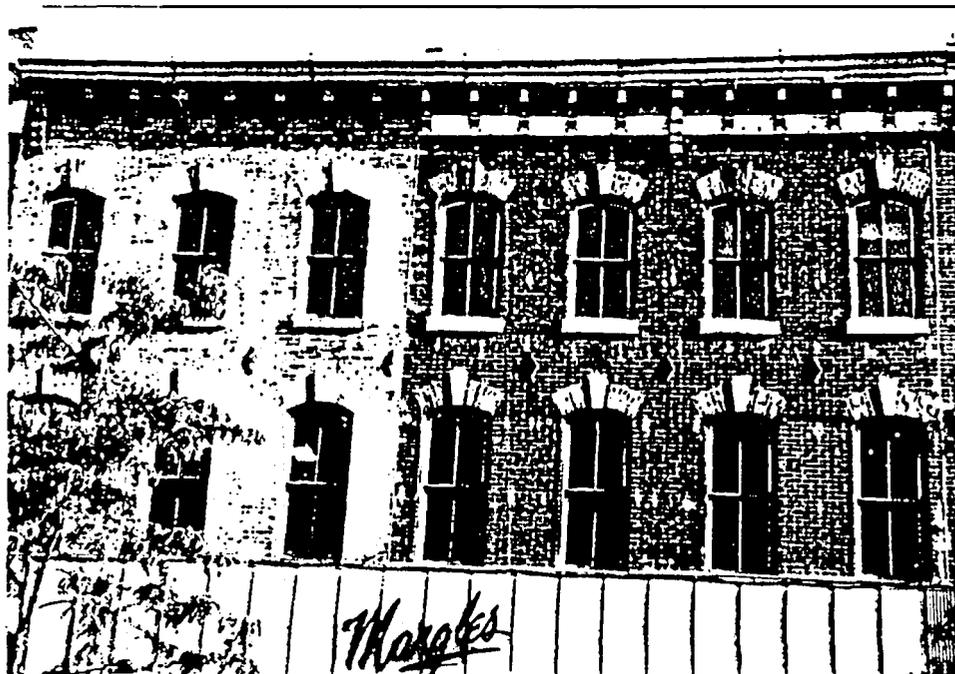


ADDRESS: 31-33 King Street West

INFORMATION: Dumble Block, 1873, burned rebuilt 1881

SIGNIFICANCE: Individual

COMMENTS:

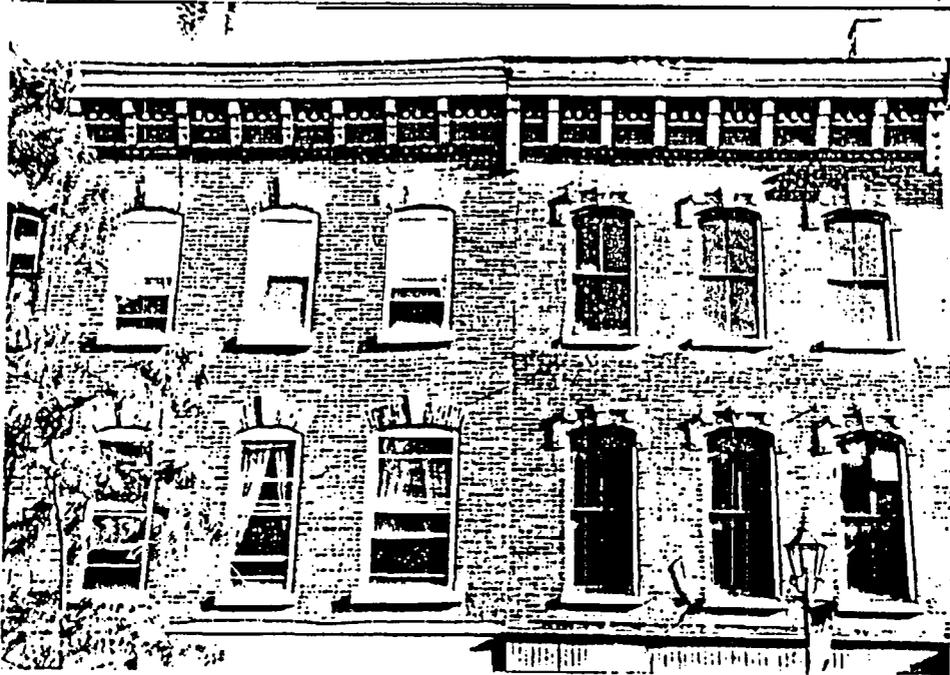


ADDRESS: 35-37 King Street West

INFORMATION: Shops, c.1875

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 39-41 King Street West

INFORMATION: Shops, c. 1875

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 43-45-47 King Street West
INFORMATION: Shops, c.1875
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 55 King Street West

INFORMATION: Victoria Hall, 1856-60, Kivas Tully arch.

SIGNIFICANCE: Individual

COMMENTS:

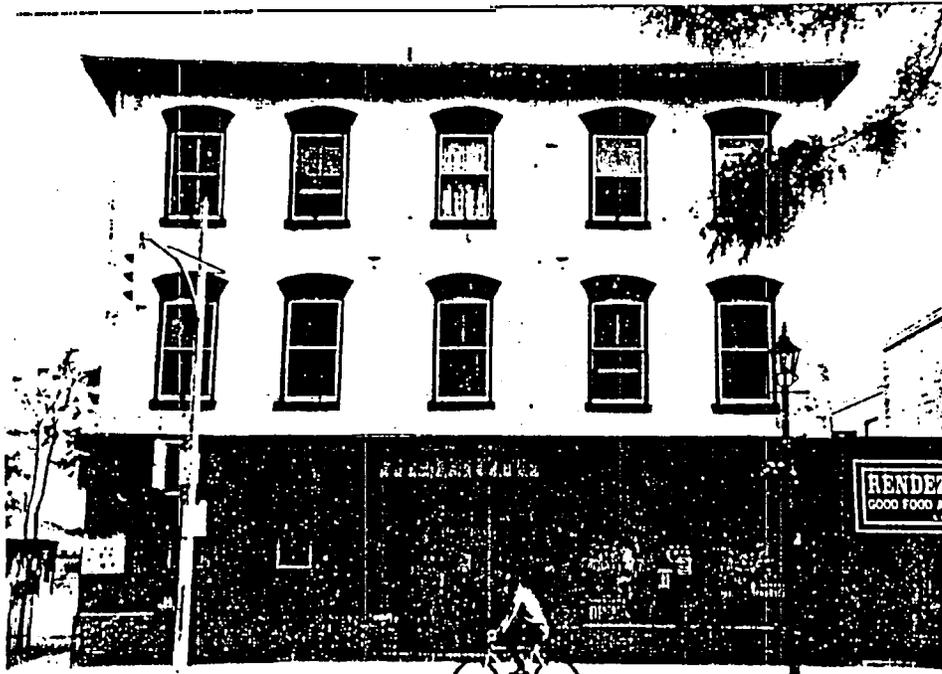


ADDRESS: 49 King'-"Street West ---

INFORMATION: Bank of Commerce, c.1970

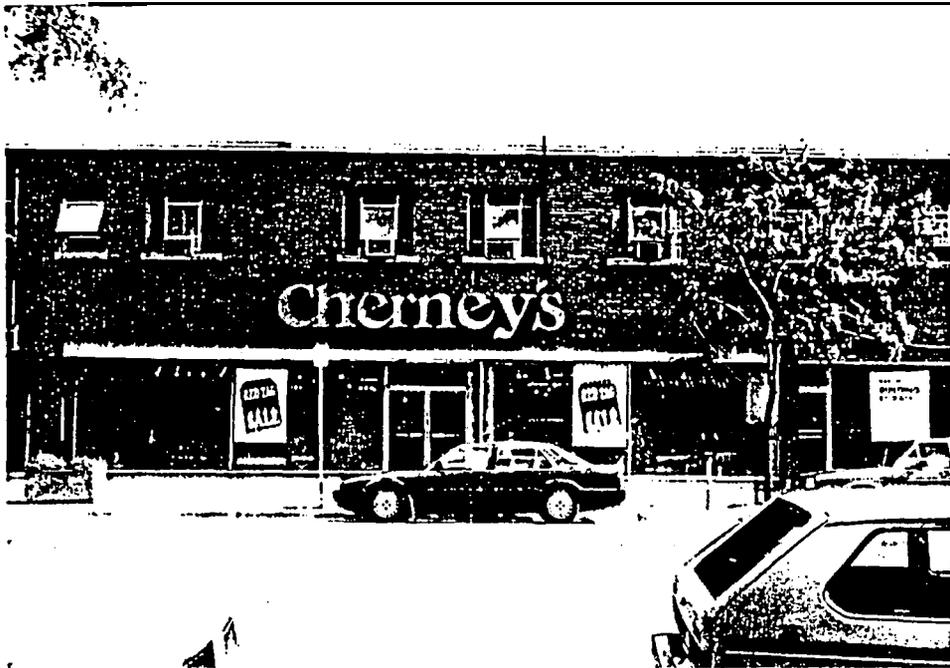
SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 73 King Street West
INFORMATION: Horton's Hotel , 1876
SIGNIFICANCE: Individual
COMMENTS:

ADDRESS: 77 King Street West
INFORMATION: Infill bldg.
SIGNIFICANCE: Contextual



ADDRESS: 81 King' Street West

INFORMATION: Infill bldg.

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 83-87 King Street West

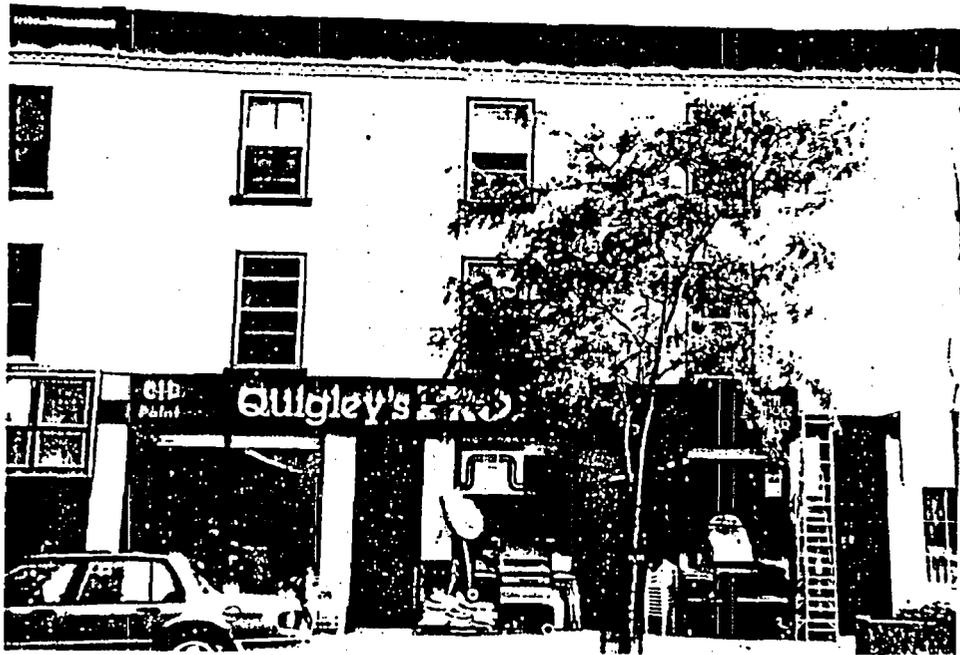
INFORMATION: Commercial Block, c.1870

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 89 King Street West
INFORMATION: Commercial Block, c.1870
SIGNIFICANCE: Individual
COMMENTS:

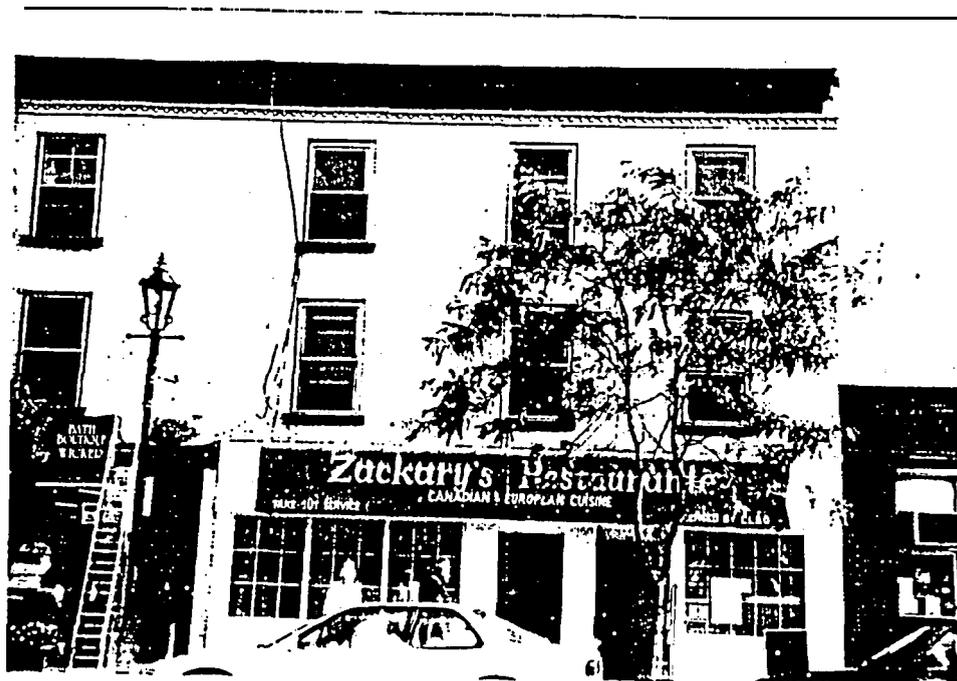


ADDRESS: 91-93 King Street West

INFORMATION: Commercial Block, c.1870

SIGNIFICANCE: Individual

COMMENTS:



95 King Street West

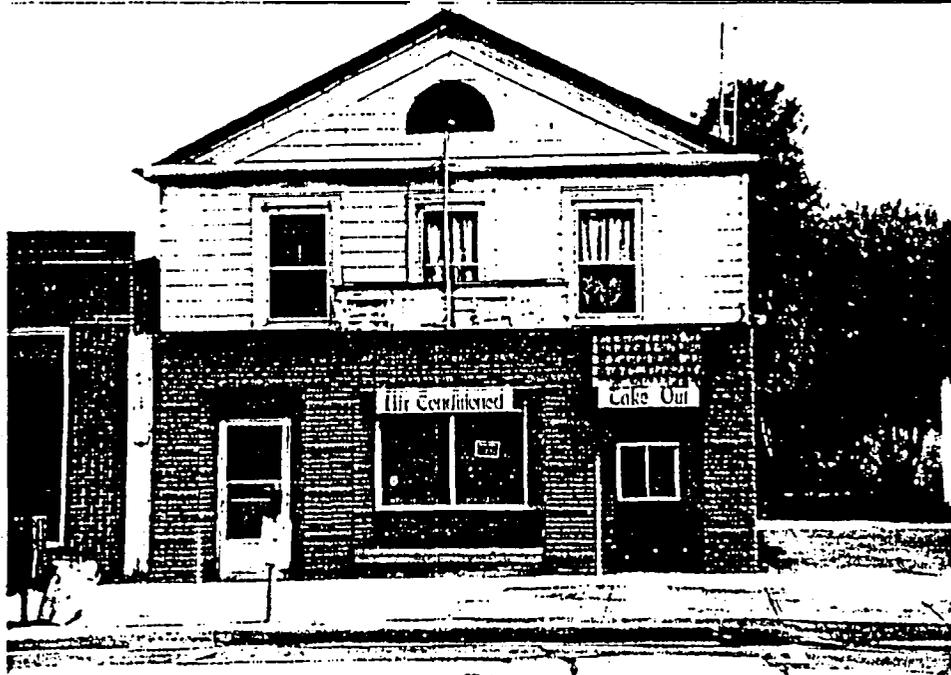


ADDRESS: 97-99 King Street West

INFORMATION: Commercial Block, c.1960

SIGNIFICANCE; Contextual

COMMENTS:



ADDRESS: 101 King Street West

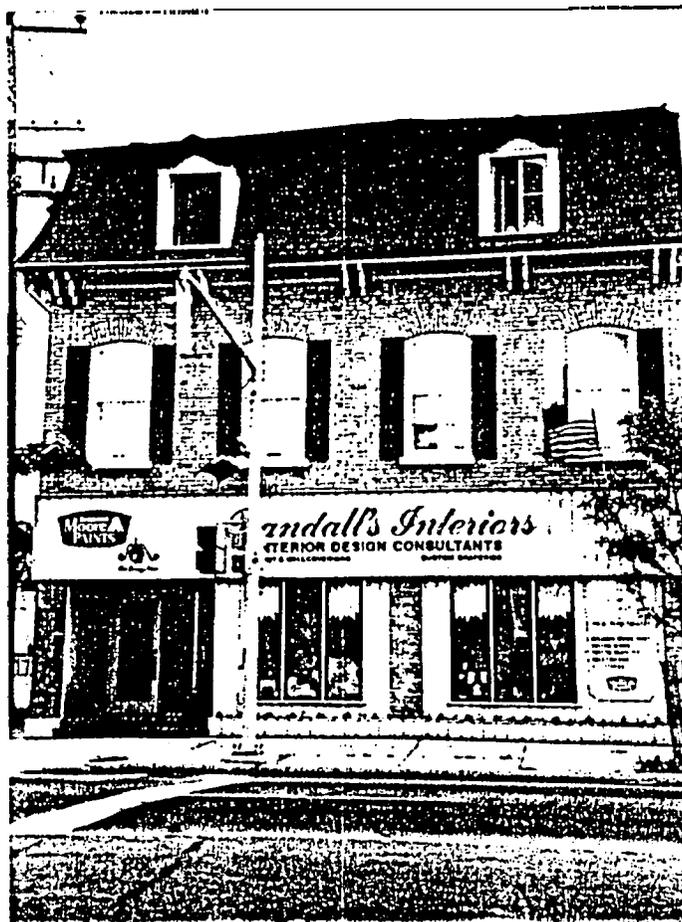
INFORMATION: House, c.1845

SIGNIFICANCE: **Individual**

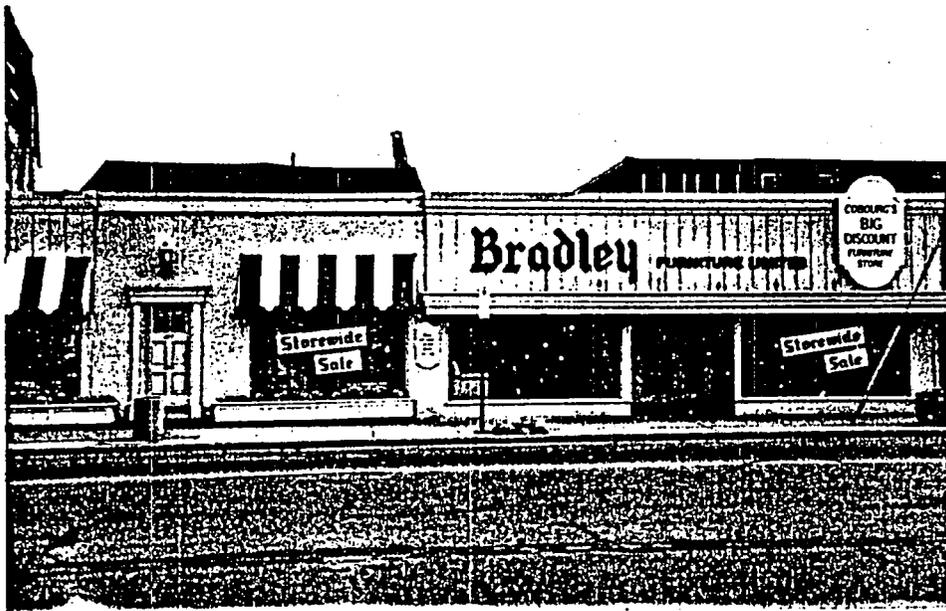
COMMENTS:



ADDRESS: 107 King Street West
INFORMATION: Cobourg Armouries 1904, Power & Son, archs.
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 123 King Street West
INFORMATION: Mrs. Dooley's Store, 1876
SIGNIFICANCE: Individual
COMMENTS:

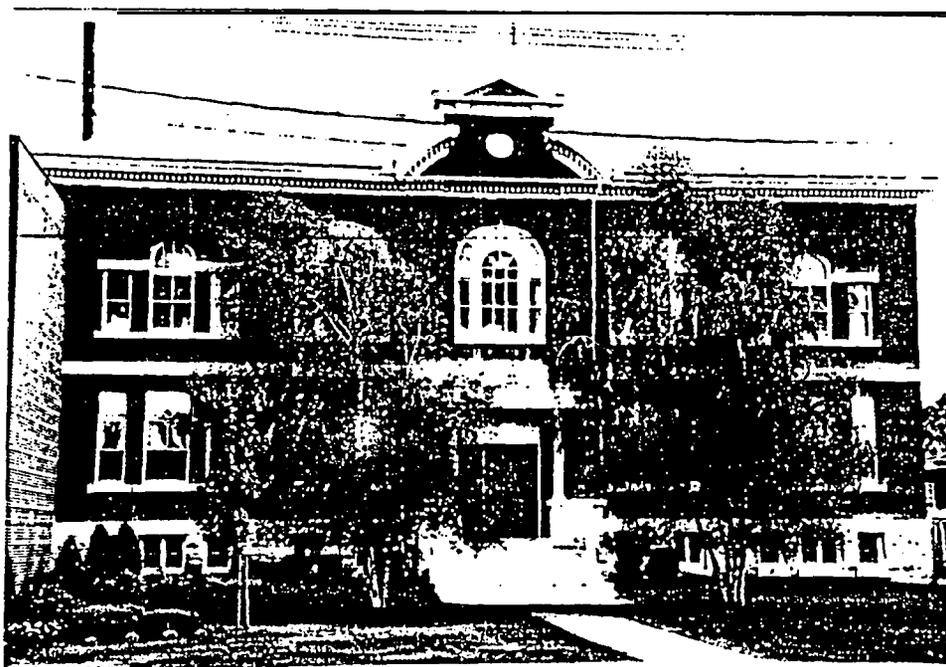


ADDRESS: 127-129 King Street West

INFORMATION: Commercial Block, c.1960

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS : 135 King Street West
INFORMATION: Second Cobourq Collegiate 1902, Power & Son archs.
SIGNIFICANCE: Individual
COMMENTS :



ADDRESS: 86 Albert Street

INFORMATION: House, c.1910

SIGNIFICANCE: Contributing

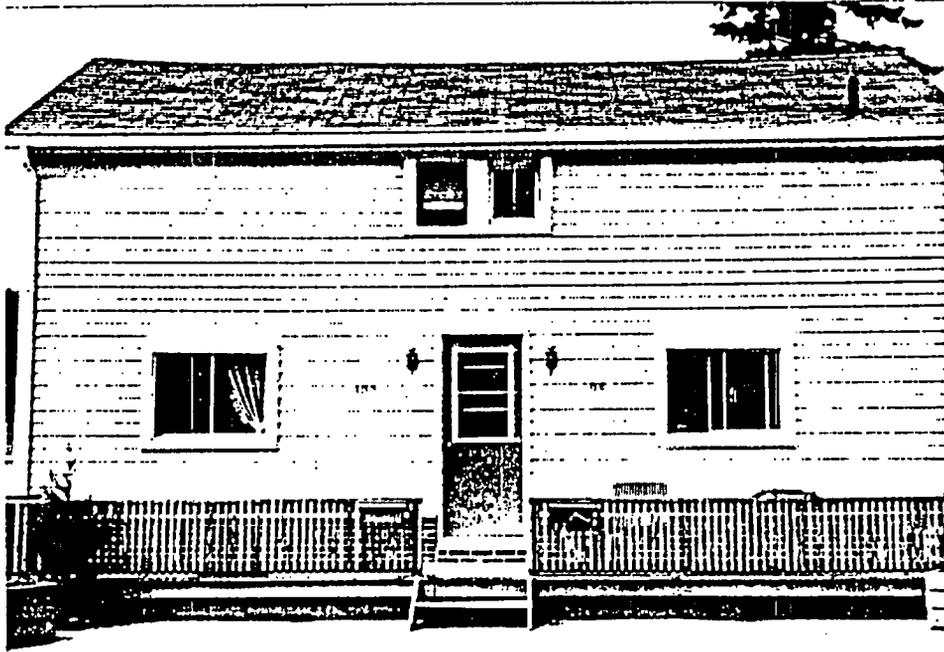
COMMENTS:



ADDRESS; 90 Albert Street
INFORMATION: House, 1850s, Sam Hutchison bldr.
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 94 Albert Street
INFORMATION: House, 1850s, Sam Hutchison bldr.
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 98-100 Albert Street

INFORMATION: Semi-detached house c.1850s, Henry Lindsay bldr,
alt. c, 1985

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS: 102 Albert Street

INFORMATION: House, c.1860

SIGNIFICANCE: Individual

COMMENTS:

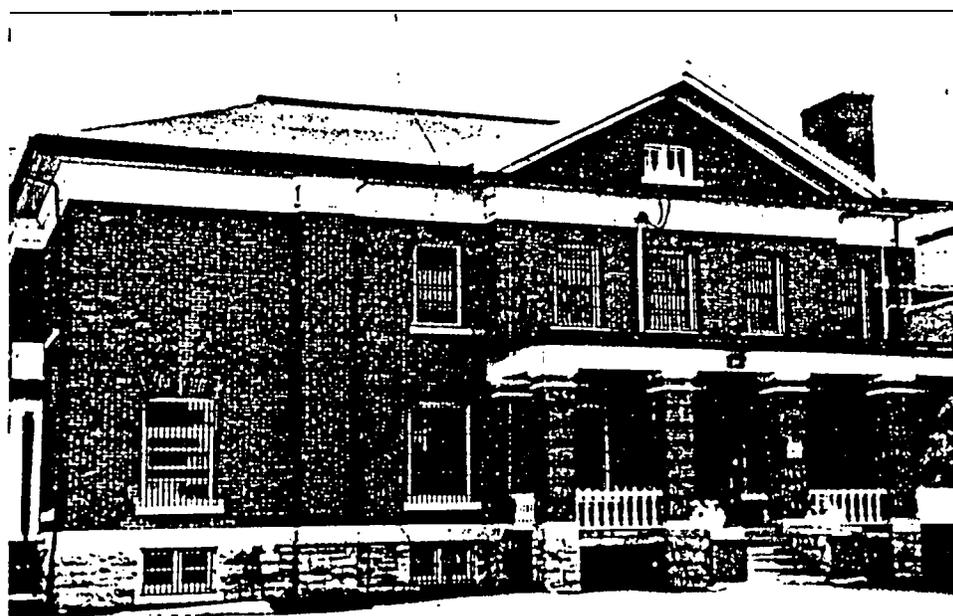


ADDRESS: 106-108 Albert Street

INFORMATION: Chas. Titford House, 1877

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 77 Albert Street

INFORMATION: Cobourg Jail, c.1910, Power & Son archs.

SIGNIFICANCE: Individual

COMMENTS;

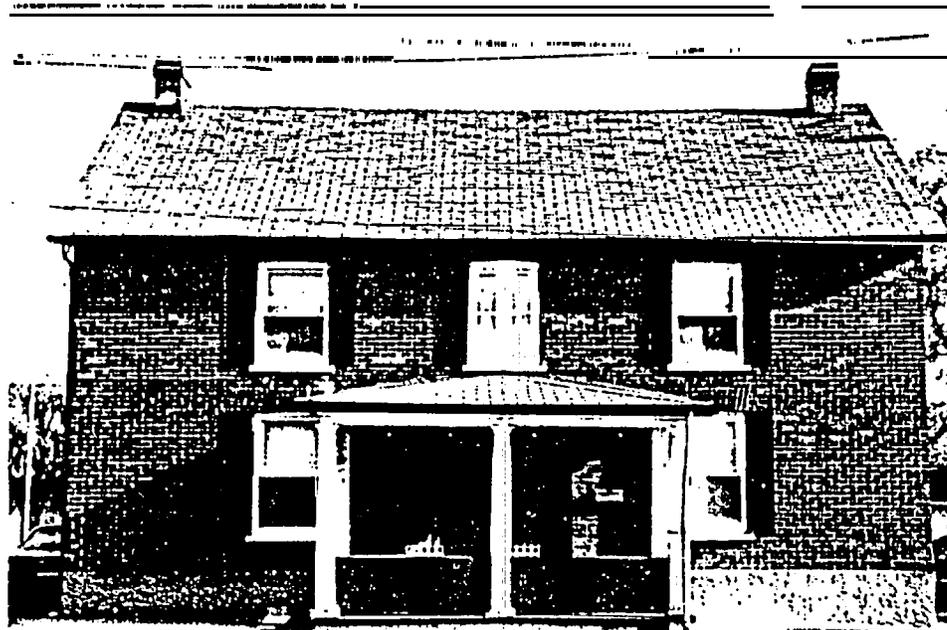


ADDRESS : 93 Albert Street

INFORMATION: Hugh Gordon House, c.1867

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 99-101 Albert Street

DESCRIPTION: Semi-detached house, c.1850

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 107 Albert Street

INFORMATION: House c.1905

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 109 Albert Street

INFORMATION: House for Jas. Barber, 1880⁵

SIGNIFICANCE: Individual

REMARKS:

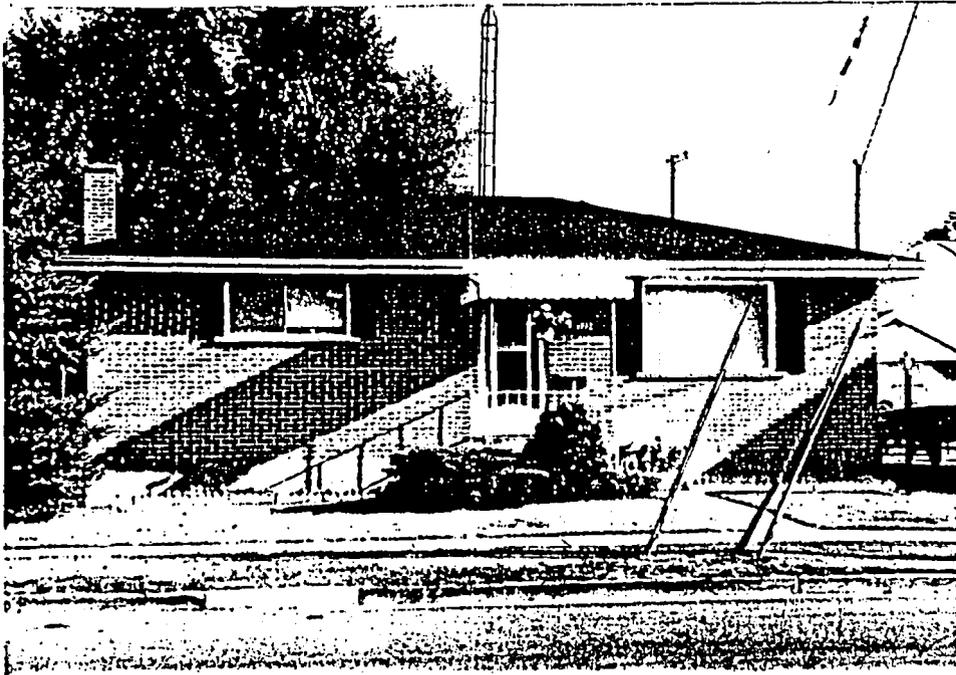


ADDRESS: 121 Albert Street

INFORMATION: House c.1905

SIGNIFICANCE: Contrib'uting

COMMENTS:

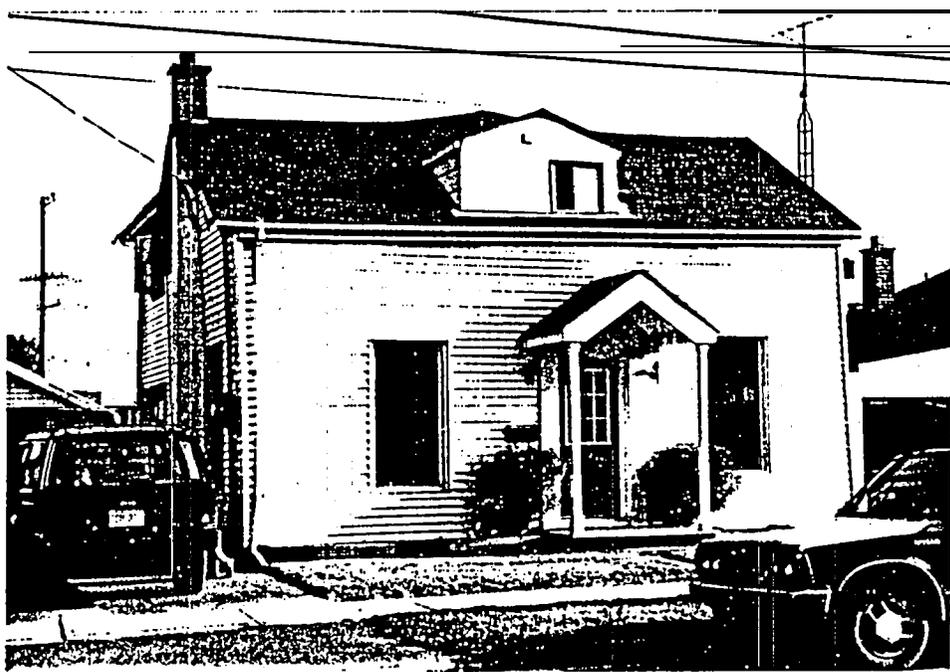


ADDRESS: 125 Albert Street

INFORMATION: In-fill c.1955

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 127 Albert Street
INFORMATION: House for Thos.Floyd, 1850
SIGNIFICANCE: Contributing
COMMENTS:



DRESS : 131 Albert Street

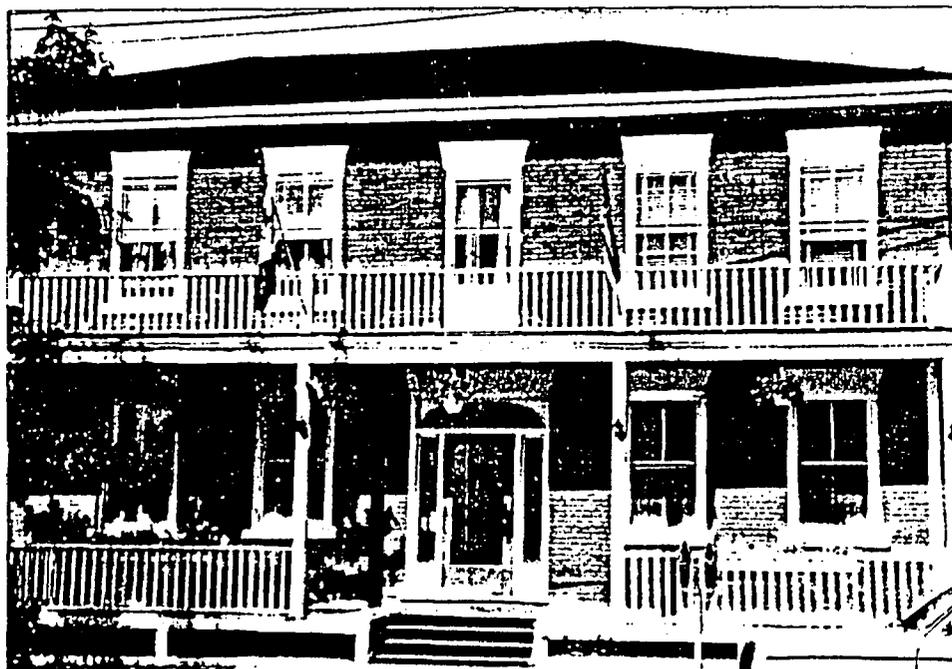
FORMATION: Infill c.1950

GNIFICANCE: Contextual

MMENTS :



ADDRESS: **197 Third Street**
INFORMATION: **Captn. Whitelaw House, 1862**
SIGNIFICANCE: **Individual**
REMARKS:

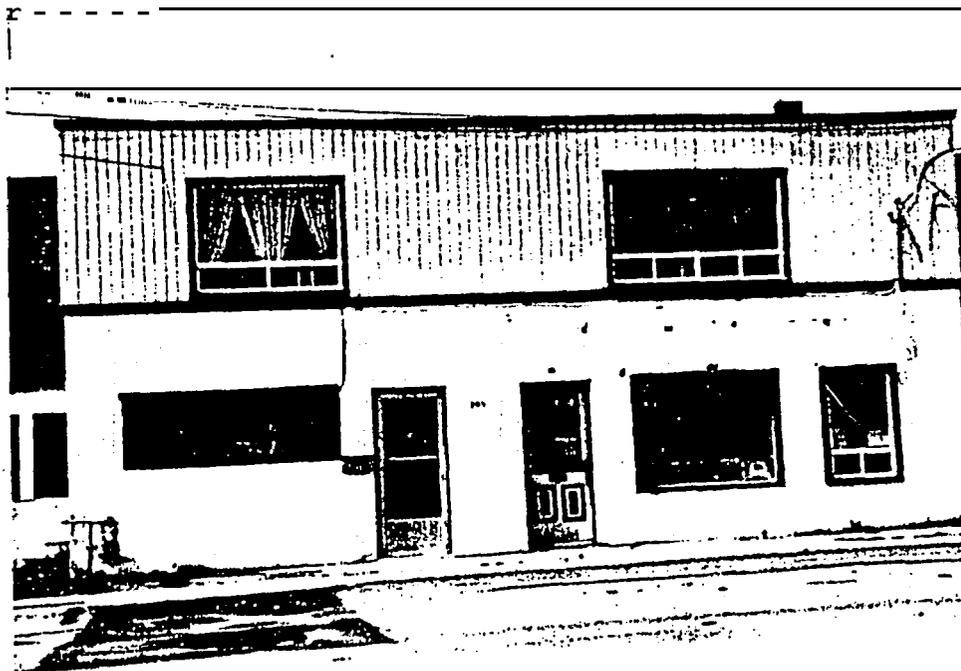


ADDRESS: 201-205 Third Street

INFORMATION: House, 1860s. became Phillips' Hotel

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 207 Hibernia Street

INFORMATION: Commercial Block, c.1960

SIGNIFICANCE: Contextual

COMMENTS :

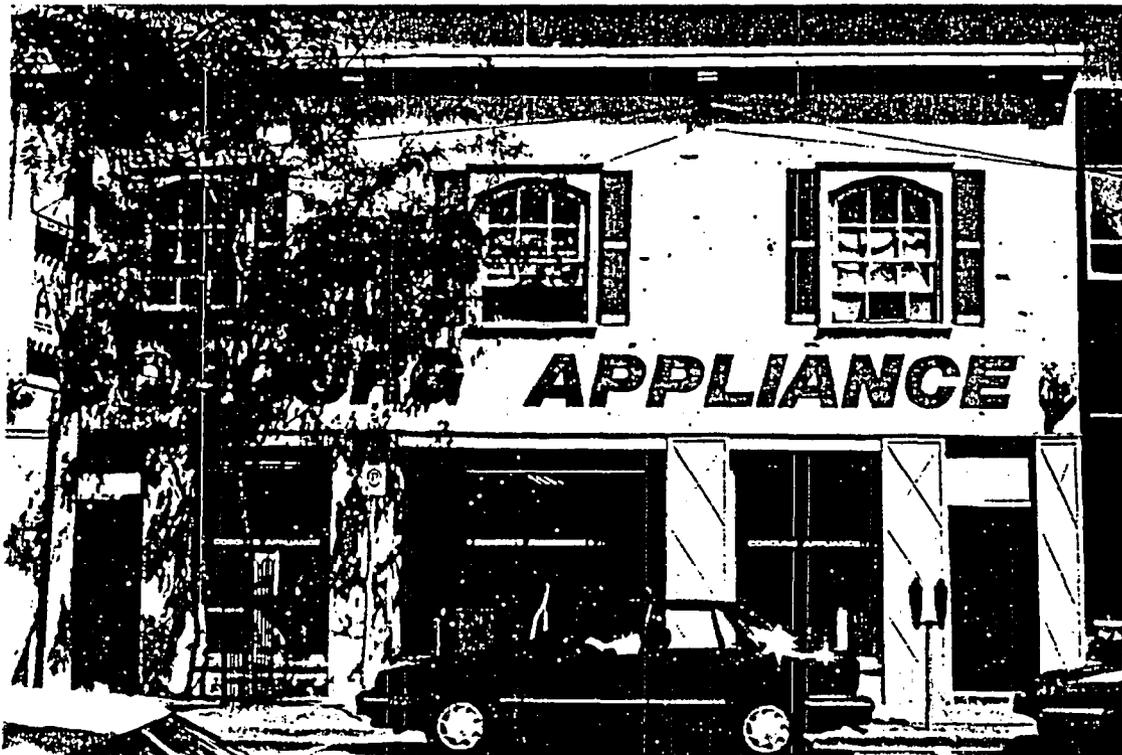


236-250 Division St
Phoenix Bldg
①



256-262 Durin

(3)



264 Division
Cannon, C 1880
2



237

243

245

247

Division

c 1875

235¹ - 2



251-253-255

1, 3-2
c-1882



277. Dennis
3
c. 1960



ADDRESS: 12 Covert Street

INFORMATION: House

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS: 14 Covert Street

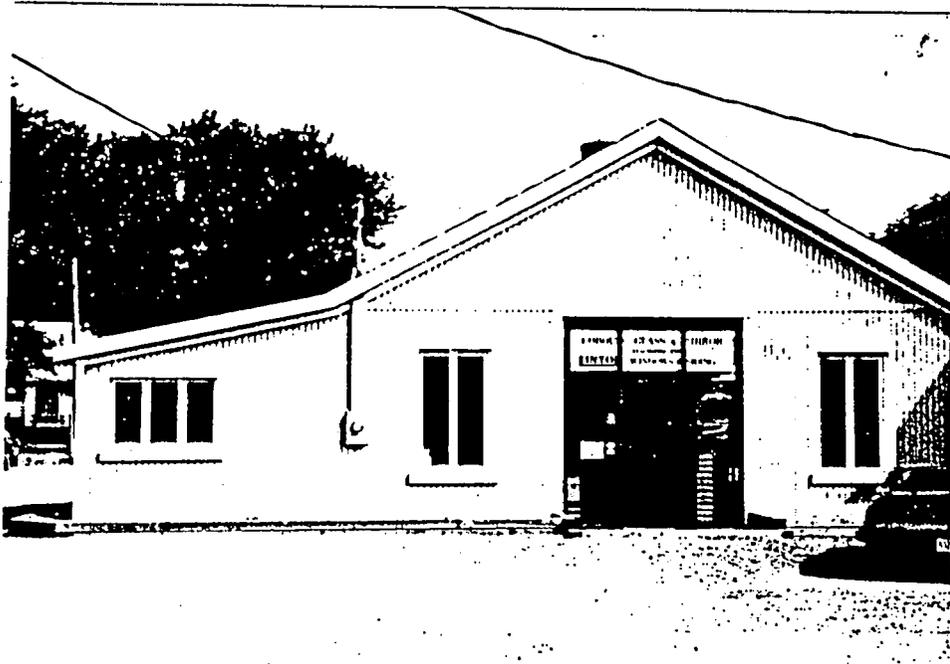
INFORMATION: Commercial building, c. 1950

SIGNIFICANCE: Contextual

REMARKS:



ADDRESS: 24 Covert Street
INFORMATION: Office building, c.1970
SIGNIFICANCE: Contributing
COMMENTS:



ADDRESS: 28 Covert Street

INFORMATION: Commercial bldg., c. 1850

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS: 36 Covert Street

INFORMATION: House, c. 1870

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 38 Covert Street

INFORMATION: Commercial bldg.c.1960

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS : 46 Covert Street

INFORMATION: House c.1850

SIGNIFICANCE: Contributing

COMMENTS:

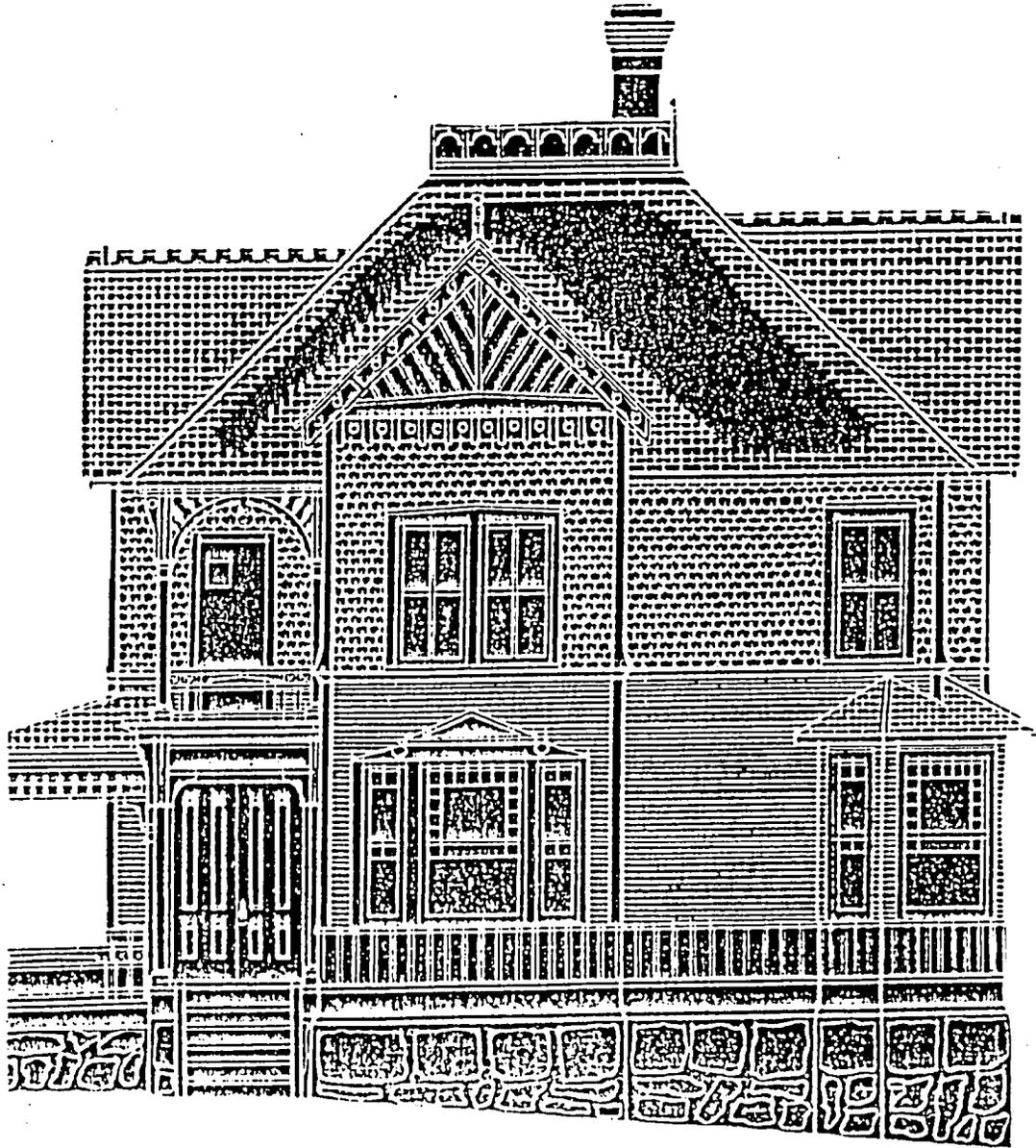


ADDRESS: 276 George Street, at Covert Street

INFORMATION: Commercial Bldg.

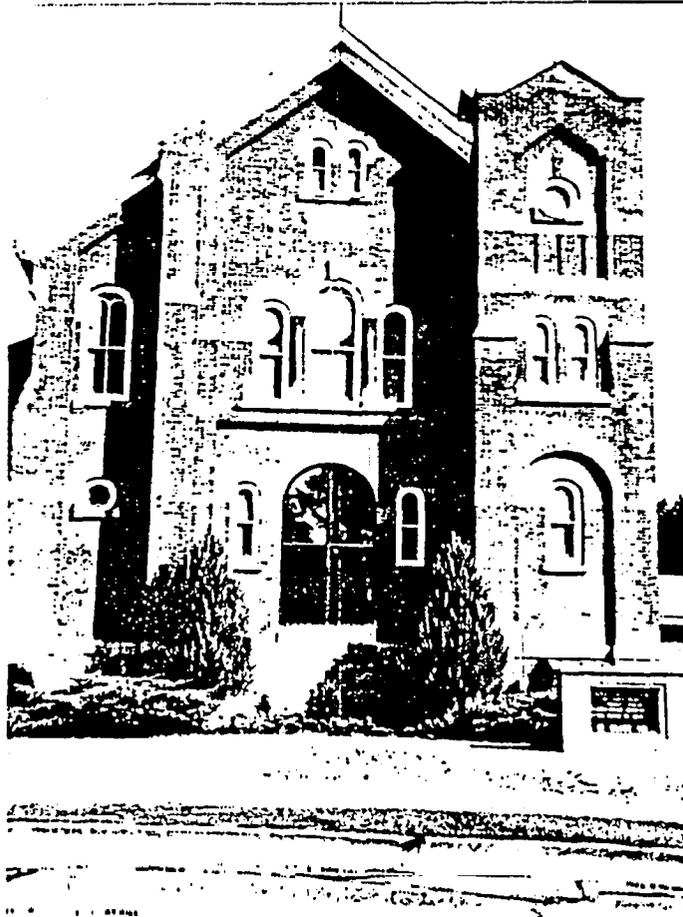
SIGNIFICANCE: Contextual:

COMMENTS:



COBOURG HERITAGE DISTRICT

WESTERN RESIDENTIAL SECTOR I



ADDRESS : 168 King Street West

INFORMATION; Episcopal Methodist Church c1879, later Calvary Baptist

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 170 King Street West

INFORMATION: House, c.1910

SIGNIFICANCE: Contributing

COMMENTS:

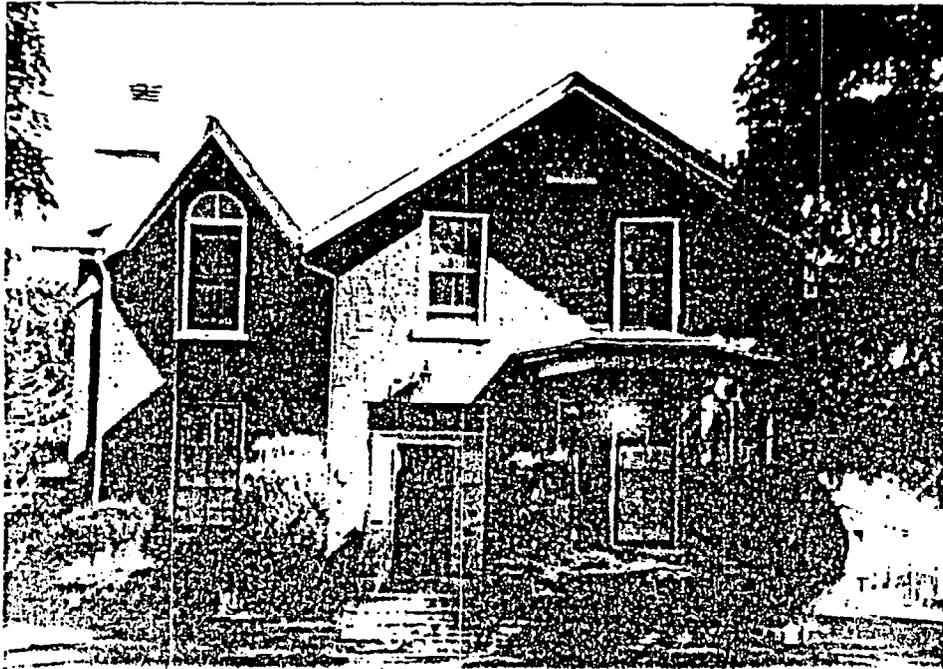


ADDRESS : 174 King Street West

INFORMATION: House, c.1910

SIGNIFICANCE: individual

COMMENTS ;

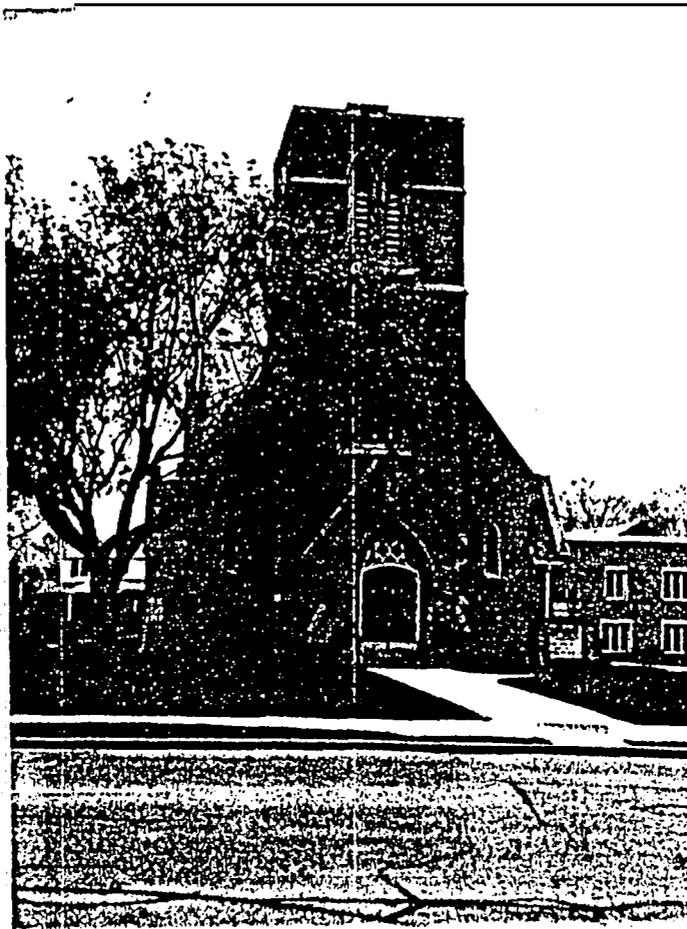


ADDRESS: 180 King Street West

INFORMATION: Chas. McCallum House, c.1862

SIGNIFICANCE: Individual

COMMENTS:

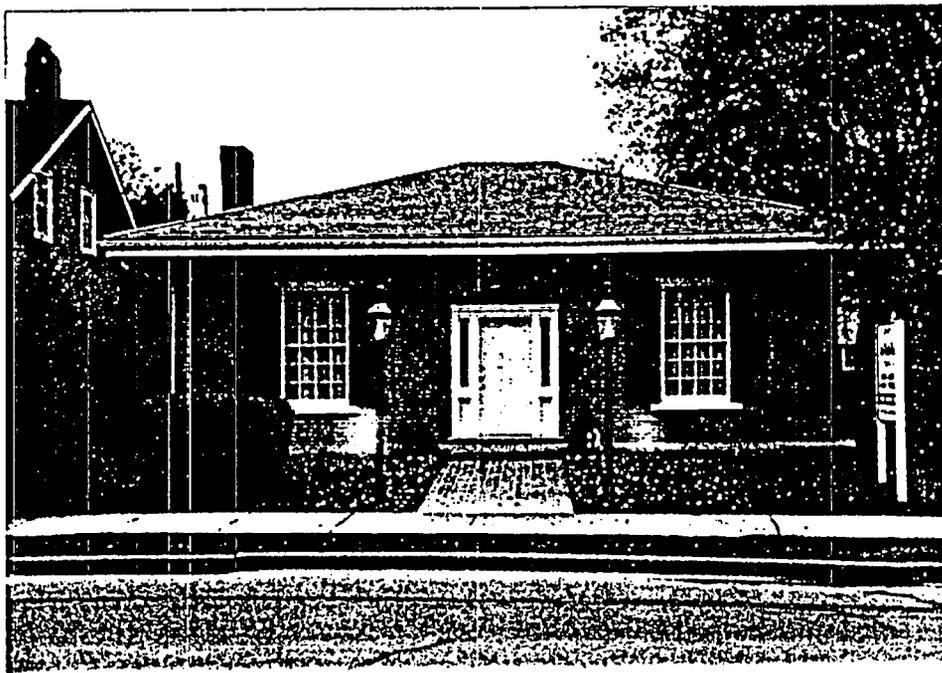


ADDRESS: 200 King Street West

INFORMATION: St. Andrew's Presbyterian Church, 1938

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS : 212 King Street West

INFORMATION: Matthew Williams Cottage, c.1850

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 226 King Street West
INFORMATION: Dickman Cottage, c.1855
SIGNIFICANCE: Individual
COMMENTS:

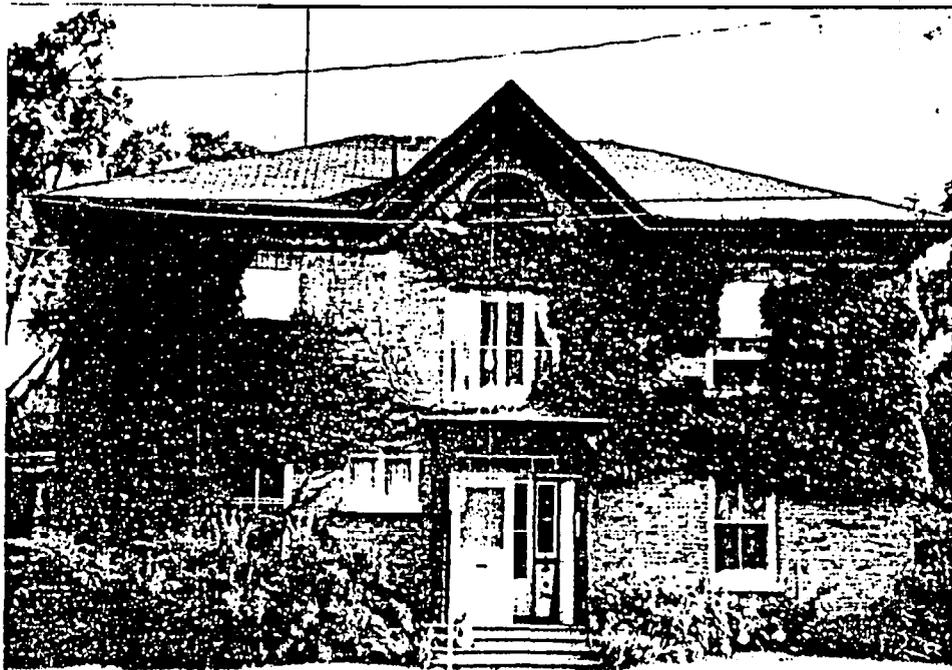


ADDRESS: 230 King Street West

INFORMATION: Strachan Cottage, 1844, 2nd storey 1889

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 157 King Street West

INFORMATION: Cannum House; c.1875

SIGNIFICANCE: Individual

COMMENTS:

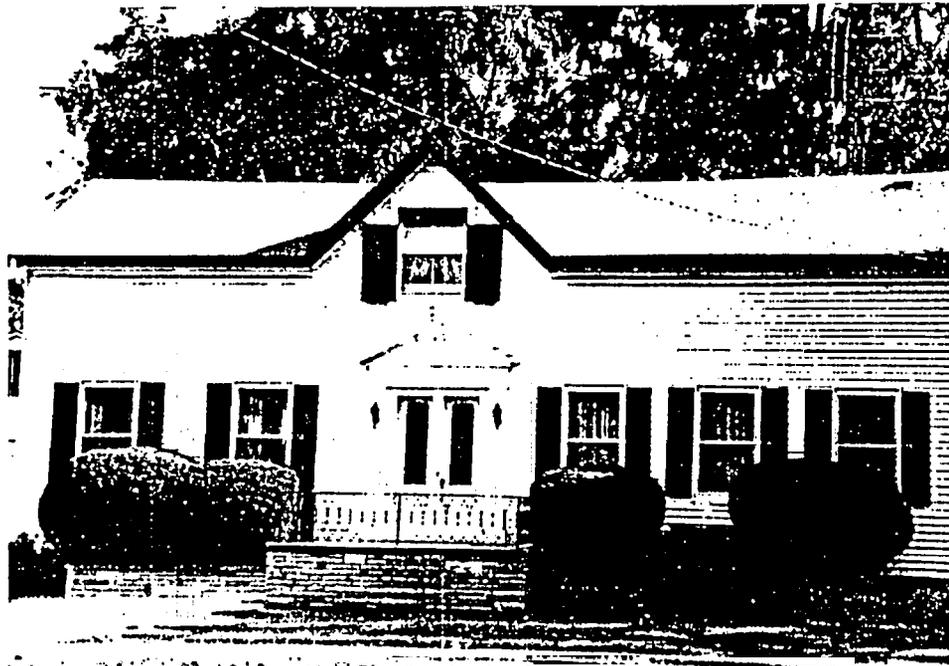


ADDRESS : 167 King Street West

INFORMATION: House, c. 1860

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 171 King Street West

INFORMATION: House, c.1845

SIGNIFICANCE: Individual

COMMENTS:

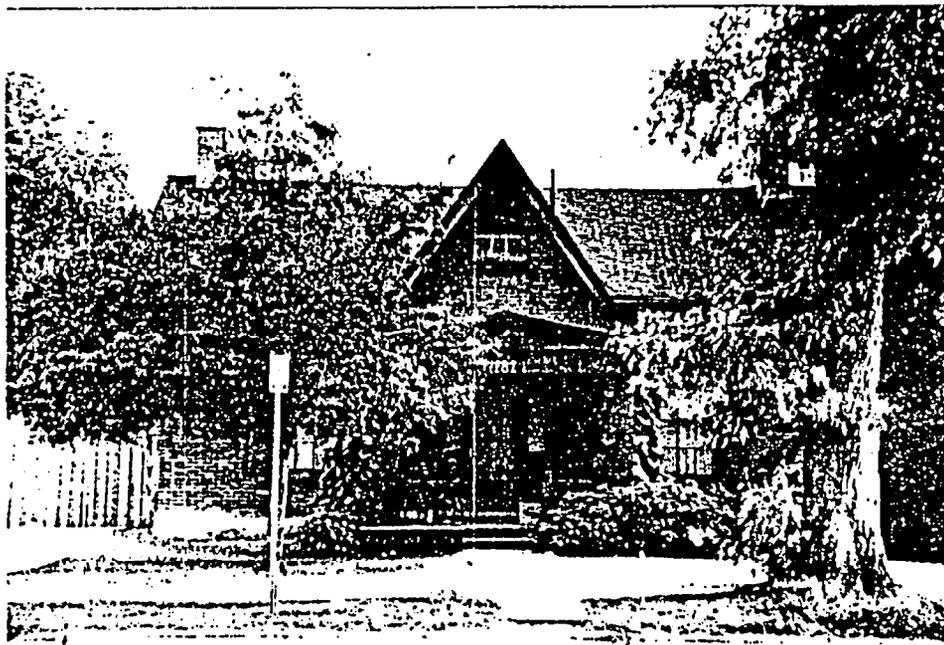


ADDRESS : 177 King Street West

INFORMATION: House, c. 1845

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 181 King Street West

INFORMATION: Horton Cottage, 1857

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 187 King Street West

INFORMATION: House, c.1840, alt.1920

SIGNIFICANCE: Individual

COMMENTS:

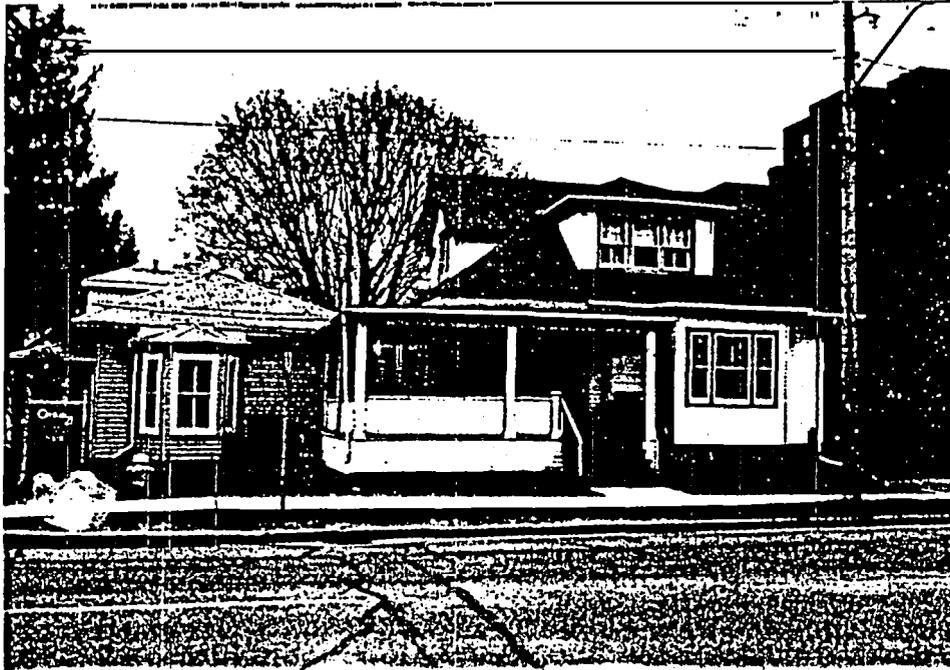


ADDRESS : **193 King Street West**

INFORMATION: **House, 1892**

SIGNIFICANCE: **Individual**

COMMENTS :



ADDRESS: 209 King Street West

INFORMATION: Wilson House, c.1920

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS : 122 Albert Street

INFORMATION: House, r.1305, Jackson bldr.

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS; 126 Albert Street
INFORMATION: House, c.1905, Jackson bldr.
SIGNIFICANCE: Contributing
COMMENTS:



ADDRESS : 130 Albert Street

INFORMATION: House, c.1905, Jacksonbldr.

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS : 164 Albert Street

INFORMATION:

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 168 Albert Street

INFORMATION: House, c.1910

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 170 Albert Street

INFORMATION: House, c. 1950

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 174 Albert Street

INFORMATION: House c. 1905

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 178-182 Albert Street

INFORMATION: Semi-detached house c.1905

SIGNIFICANCE: Contributing

COMMENTS:

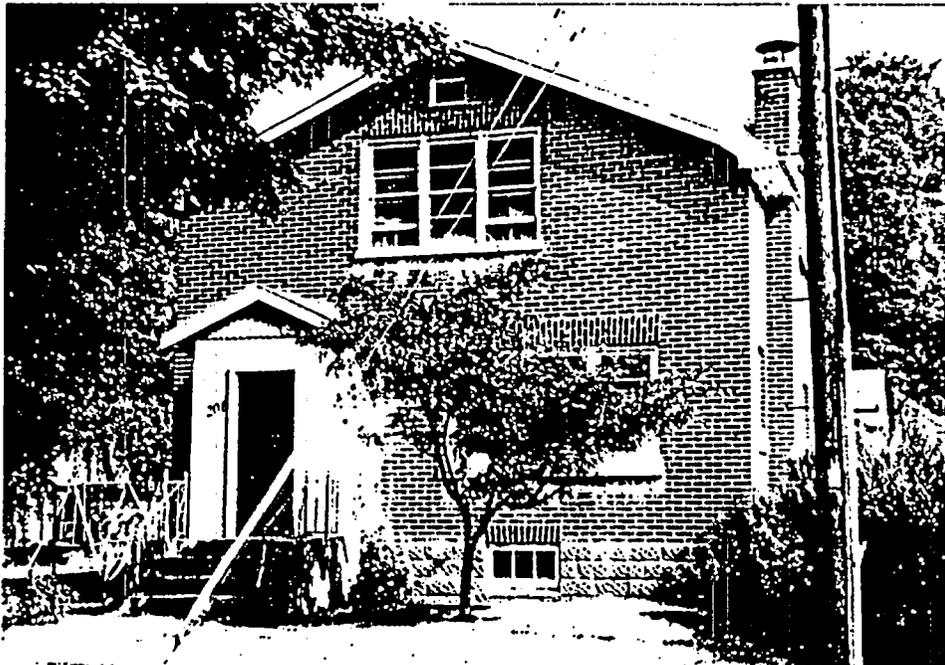


ADDRESS: 186 Albert Street

INFORMATION: House c.1950

SIGNIFICANCE: Contextual

REMARKS:



ADDRESS: 208 Albert Street

INFORMATION: House c1950

SIGNIFICANCE: Contextual

COMMENTS:

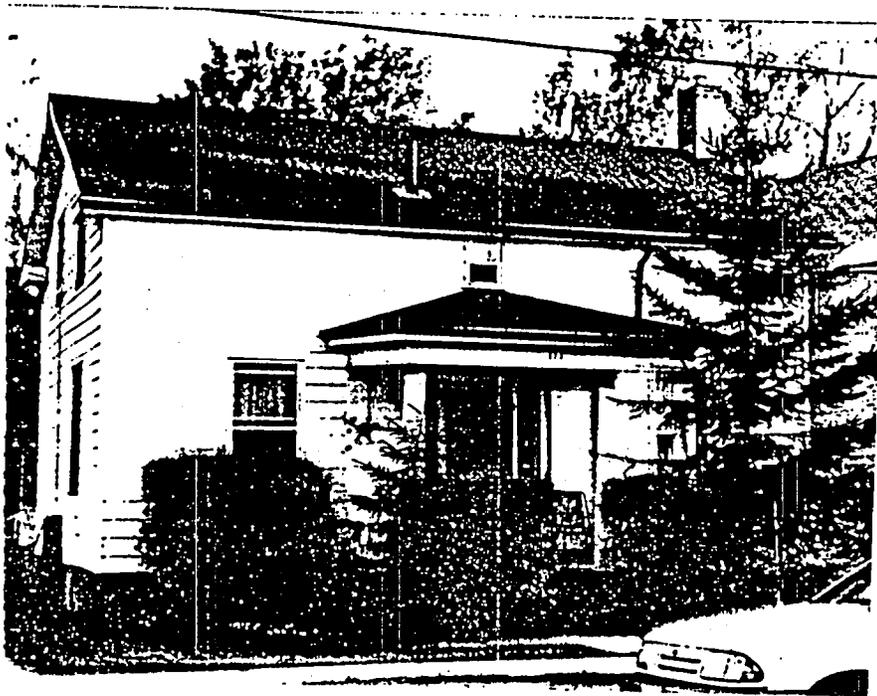


ADDRESS : 169 Albert Street

INFORMATION: House, c. 1870

SIGNIFICANCE: Contributing

COMMENTS :



ADDRESS: 173 Albert Street

DESCRIPTION: House, c.1870

SIGNIFICANCE: Contributing

REMARKS;



ADDRESS: 177 Albert Street

INFORMATION: House, c. 1905

SIGNIFICANCE: Individual

COMMENTS ;



ADDRESS: 183 Albert" Street

INFORMATION: House, c. 1905

SIGNIFICANCE; Contributing

COMMENTS:



ADDRESS: 169 Hibernia Street

INFORMATION: House , .c.1905

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS: 173 Hibernia Street

INFORMATION: House, c.1905

SIGNIFICANCE: Contributing

COMMENTS:

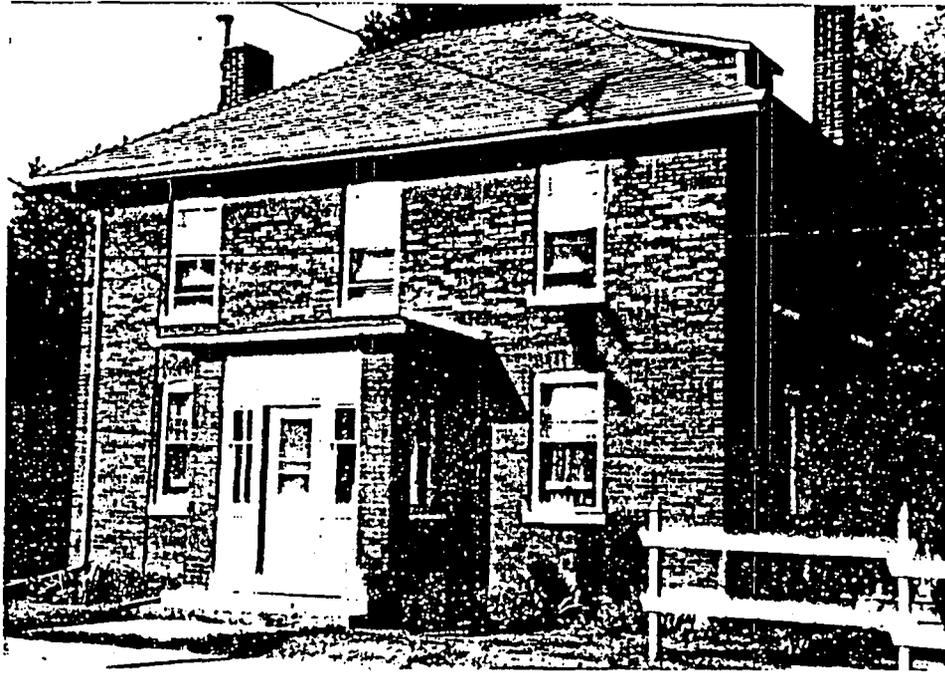


ADDRESS: 158 Hibernia Street

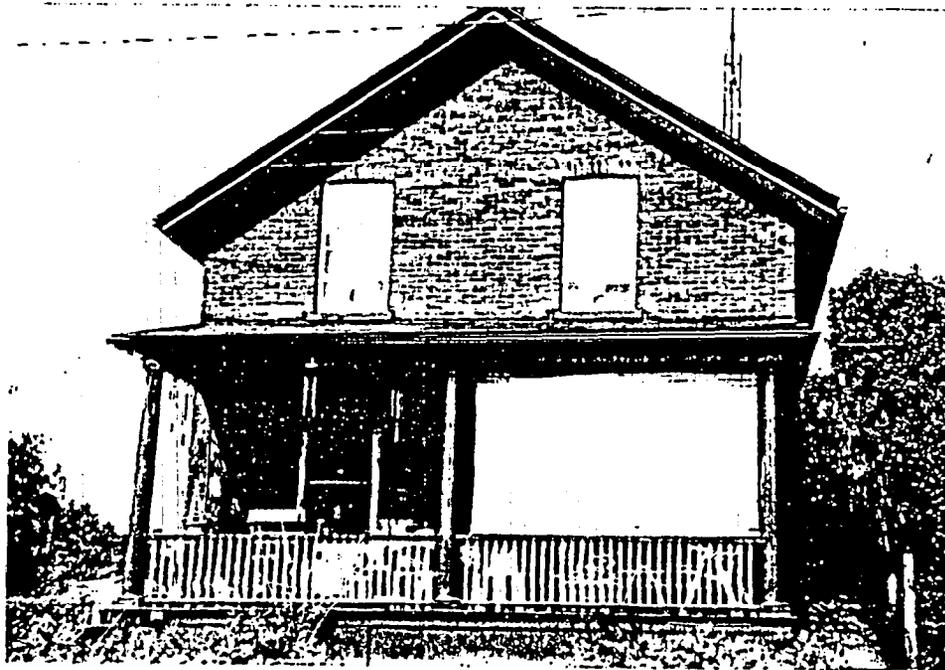
INFORMATION: House, c. 1870

SIGNIFICANCE: Individual

COMMENTS:



DRESS : 168 Hibernia Street
FORMATION: John Delany House, before 1868
GNIFICANCE: Contributing
MMENTS :



ADDRESS; 121 Durham Street

INFORMATION: House, c.1905

SIGNIFICANCE: Contributing

COMMENTS:

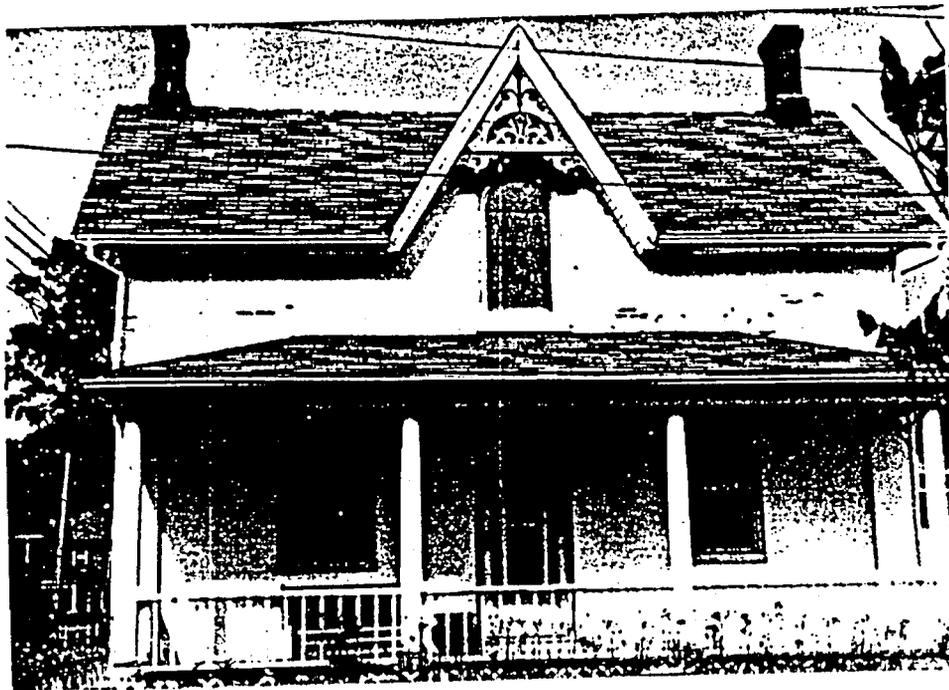


ADDRESS: 125 Durham Street

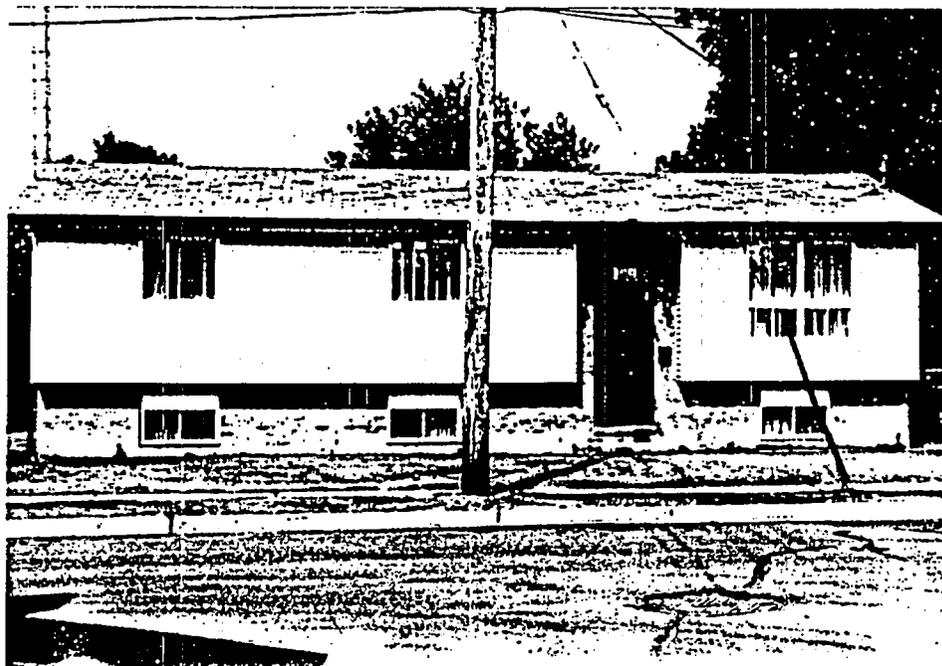
INFORMATION: House, c.1905

SIGNIFICANCE: Contributing

REMARKS:



ADDRESS: 155 Durham Street
DESCRIPTION: James Mann House, c. 1850
SIGNIFICANCE: Individual
REMARKS:



ADDRESS: 169 Durham Street

INFORMATION: House, c.1970

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS: 171-173 Durham Street
INFORMATION: Semi-detached house, c.1870
SIGNIFICANCE: Contributing
COMMENTS:



ADDRESS: 183 Durham Street

INFORMATION: House, c.1850

SIGNIFICANCE: Individual

COMMENTS:

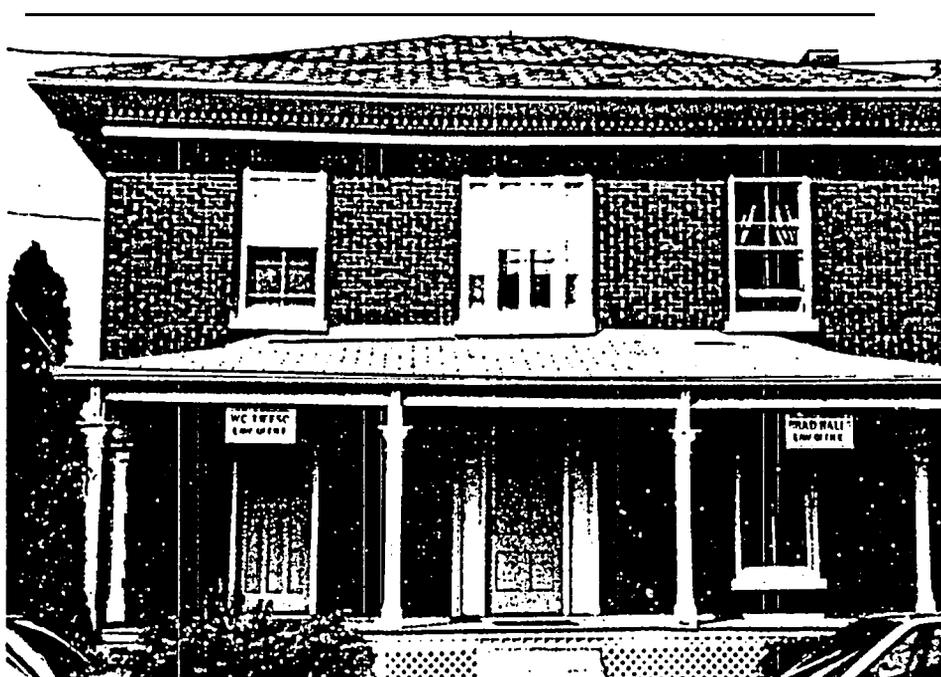


ADDRESS : **201 Durham Street**

INFORMATION: **House, Alfred Roberts bldr., 1875**

SIGNIFICANCE: **Individual**

COMMENTS :



ADDRESS; 203-205 Durham Street

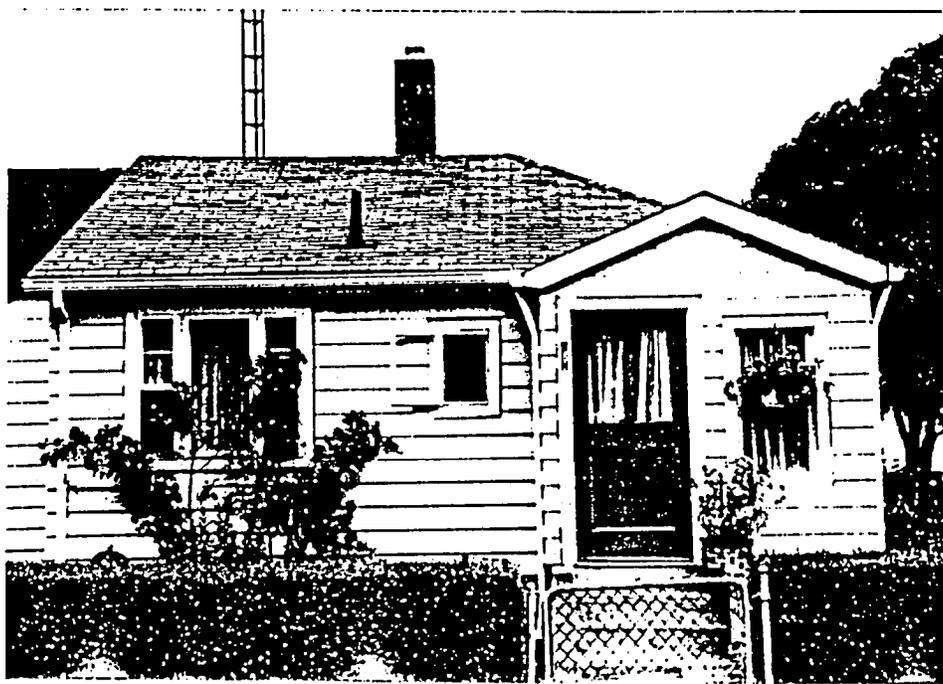
INFORMATION: House, 1873, Alfred Roberts bldr.

SIGNIFICANCE: Individual

COMMENTS:



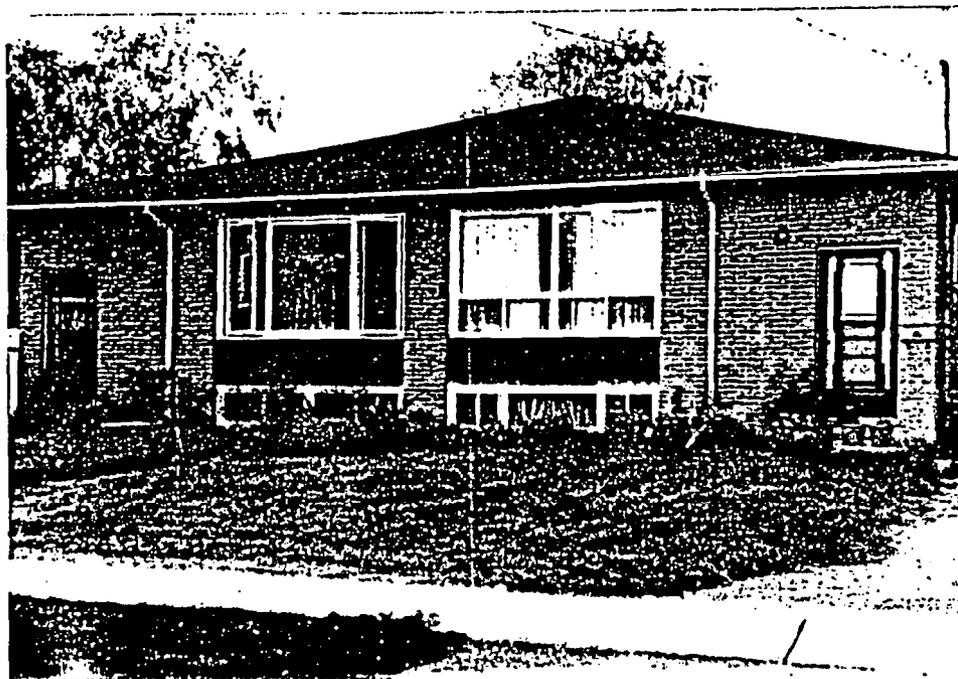
128



182 Durham.



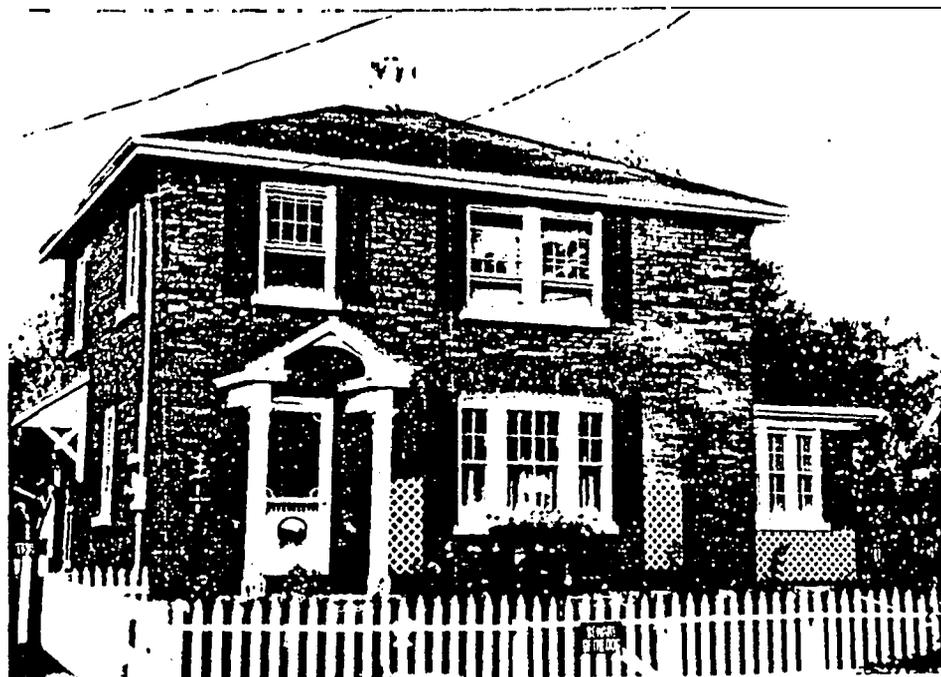
186 Durham Street.



ADDRESS: 110- 112 Bagot Street
INFORMATION: Semi-detached house, c.1960
SIGNIFICANCE: Contextual
COMMENTS:



ADDRESS: 118 Bagot
INFORMATION: House c.1950
SIGNIFICANCE: Contextual
COMMENTS:



ADDRESS: 122 Bagot street

INFORMATION: House, c.1930

SIGNIFICANCE: Contributing

COMMENTS:



ADDRESS : 138 Bagot Street

INFORMATION: Wm. McDougall. House, 1875

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 156 Bagot Street

INFORMATION: House, c.1905

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 160 Bagot Street

INFORMATION: House c.1905

SIGNIFICANCE: Individual

COMMENTS :



ADDRESS: 164 Bagot Street
 INFORMATION: House, c.1905
 SIGNIFICANCE: Individual
 COMMENTS:

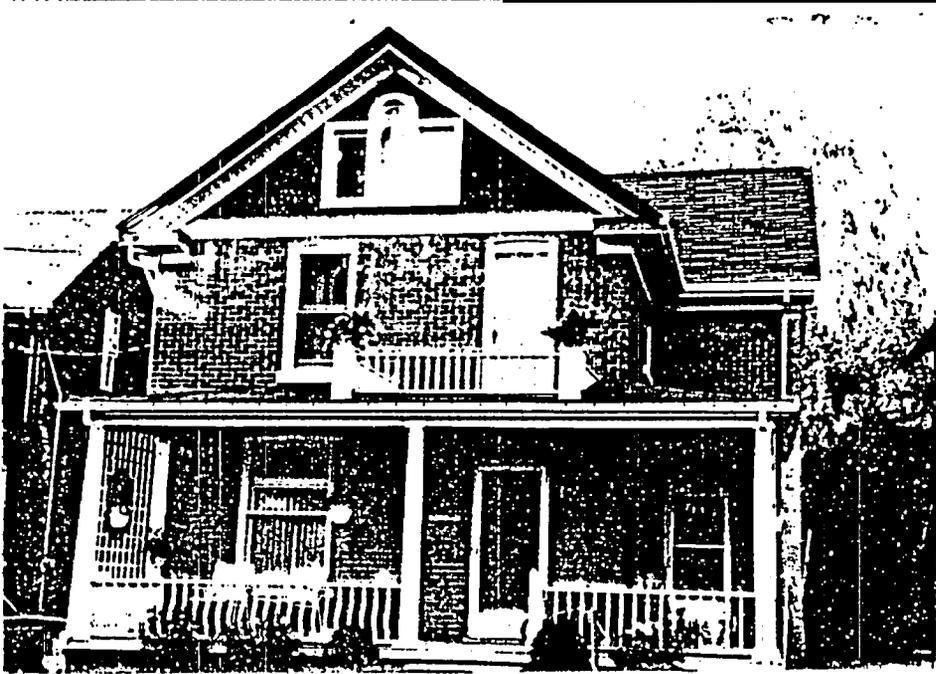


ADDRESS: 168-170 Bagot Street

FORMATION: Bagot St. School 1870, Sam Retellack, contractor
adds. 1899

SIGNIFICANCE: Individual

REMARKS:



ADDRESS : 174 Bagot Street

INFORMATION: House , c.1905

SIGNIFICANCE; Individual

COMMENTS :



ADDRESS: 178 Bagot Street

INFORMATION: House, c.1905

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 182 Bagot Street

INFORMATION: House, c.1900

SIGNIFICANCE: Individual

REMARKS:



ADDRESS: 198 Bagot Street

INFORMATION: House 1875, John Thompson bldr.

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 206 Bagot Street

INFORMATION: House, c.1960

SIGNIFICANCE: Contextual

COMMENTS:

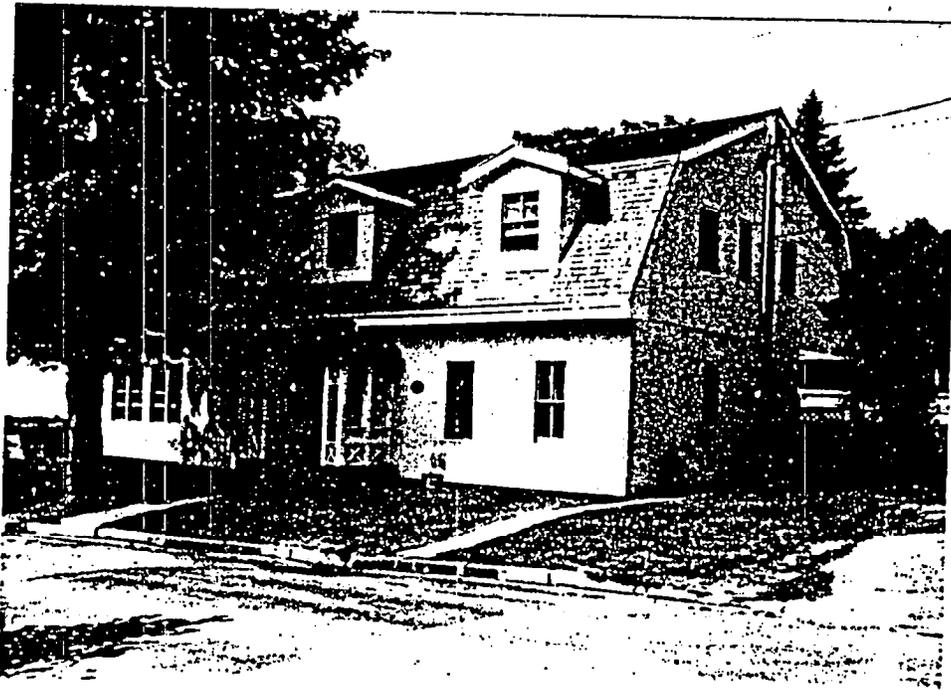


ADDRESS: 210 Bagot Street

INFORMATION: Wm Hill House, 1881

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS : 93 Bagot Street
INFORMATION: Fred. Jex House, 1850
SIGNIFICANCE: Contributing
COMMENTS :

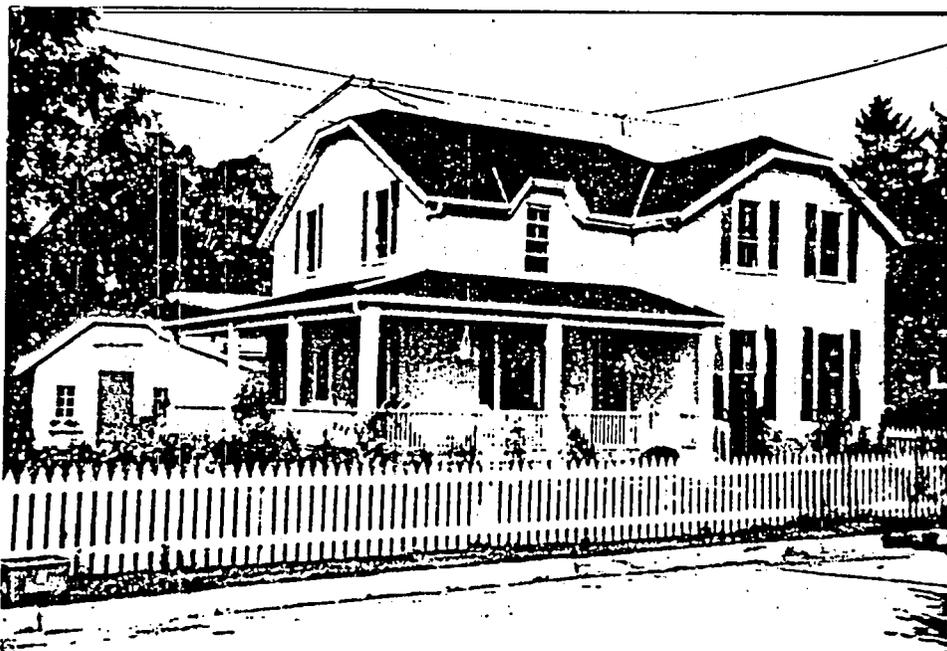


DRESS: 99 Bagot Street

FORMATION: House for Fred. or Martin Jex, c.1860

GNIFICANCE: Contextual

MMENTS:

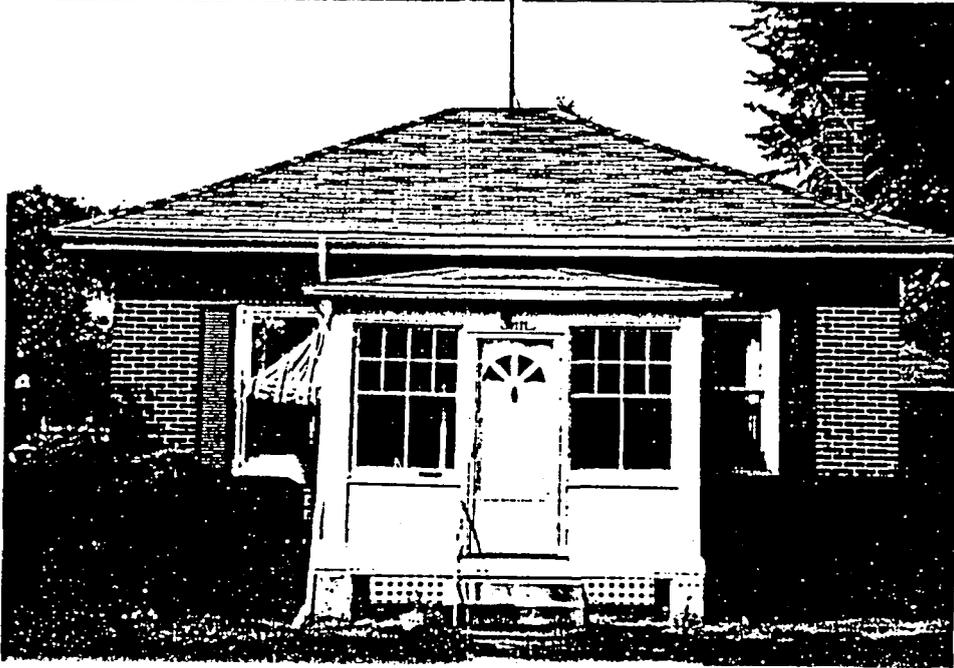


ADDRESS: 103 Baqot Street

INFORMATION: Wm. Holmes House, c.1890

SIGNIFICANCE: Individual

COMMENTS:

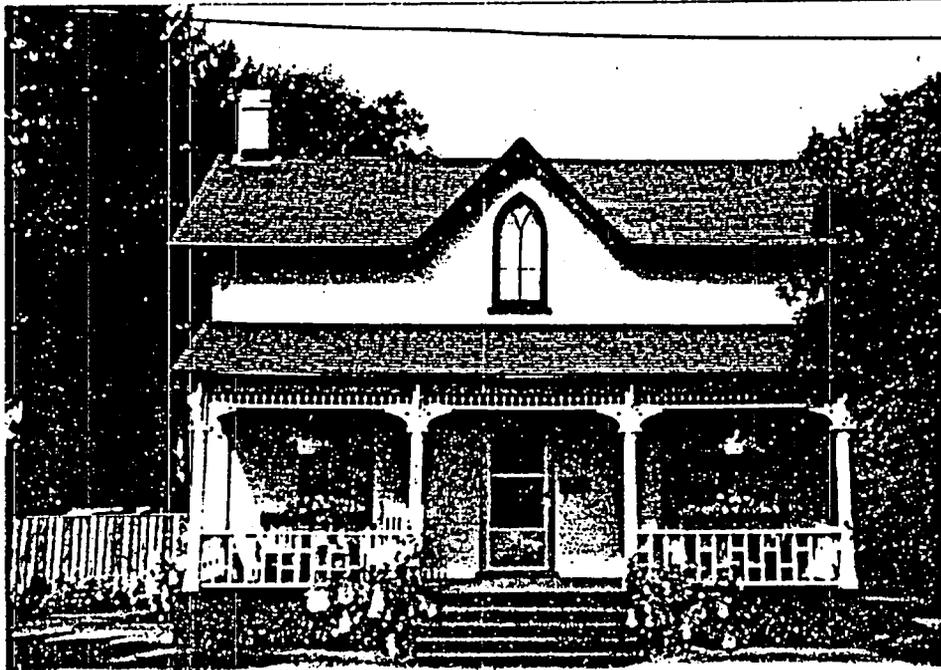


ADDRESS : 111 Bagot Street

INFORMATION: House

SIGNIFICANCE: Contributing

COMMENTS :

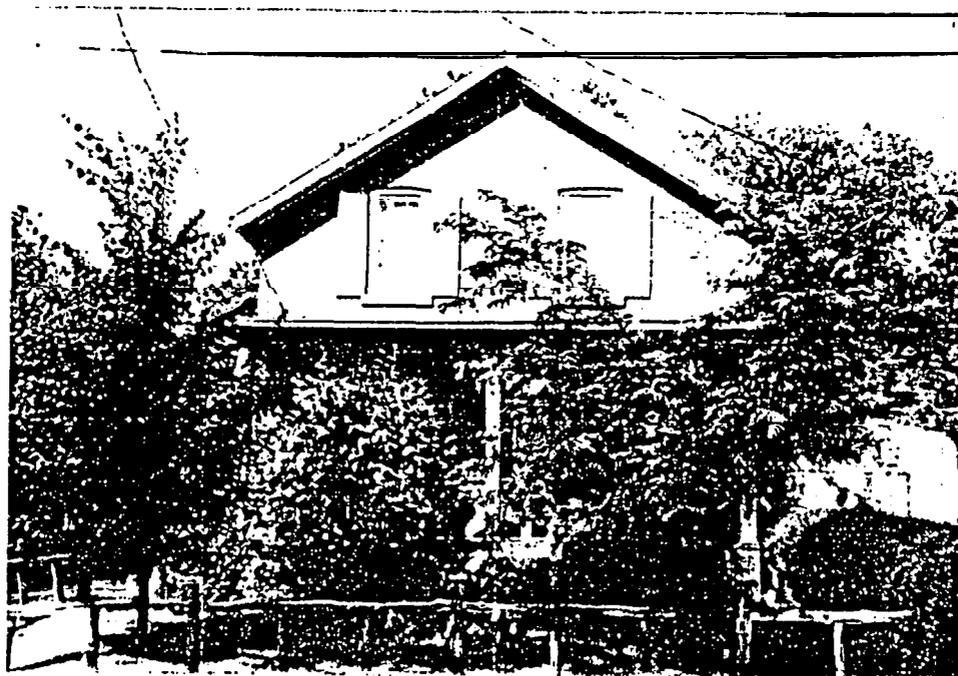


ADDRESS: 121 'Bagot Street

INFORMATION: House, c.1855

SIGNIFICANCE: Individual

COMMENTS:



DRESS : 127 Bagot Street

FORMATION : House, c.1905

GNIFICANCE : Contributing

YMENTS :



ADDRESS: 131 Bagot Street

DESCRIPTION: House, c.1860

SIGNIFICANCE: Contributing

REMARKS:



DRESS : 135 Bagot Street
FORMATION: House, c.1960
GNIFICANCE: Contextual
MMENTS :



ADDRESS : 139 Bagot Street
INFORMATION: John Lucy House, 1875
SIGNIFICANCE: Contributing
COMMENTS :



ADDRESS: 163 Bagot Street
FORMATION: Thos. Gilbard House, 1873
SIGNIFICANCE: Individual
COMMENTS:



ADDRESS: 171 Bagot Street

INFORMATION: House 1876, Hugh Harper bldr.

SIGNIFICANCE: Individual

COMMENTS:

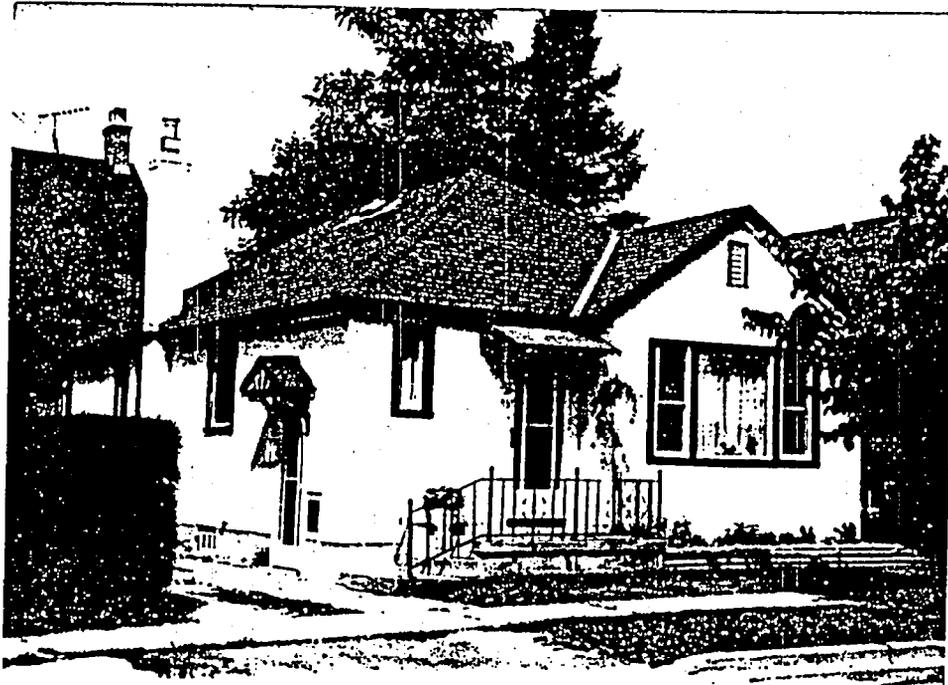


ADDRESS: 181 Bagot Street

INFORMATION: House 1876, Hugh Harper bldr.

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 203 Bagot Street

INFORMATION: House c.1845

SIGNIFICANCE: Individual

COMMENTS:



ADDRESS: 205 Bagot Street

INFORMATION: Office for Drs. Gear & Mikel, 1947

SIGNIFICANCE: Contextual

COMMENTS:



ADDRESS : 209 Bagot Street

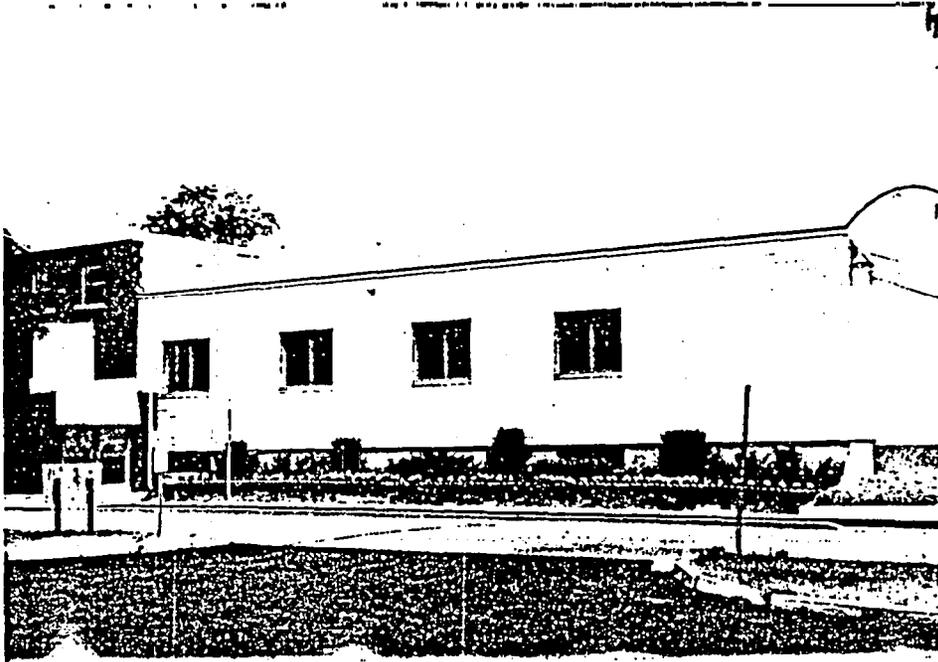
INFORMATION: House for Rev. Wm. Stanvemeck 1854

SIGNIFICANCE:

COMMENTS :



ADDRESS: **215 Baqot Street**
INFORMATION: **Hugh Crossen House 1848**
SIGNIFICANCE: **Individual**
COMMENTS:



ADDRESS: 138 Orr Street

INFORMATION: Legion Hall 1

SIGNIFICANCE: Contextual

COMMENTS :

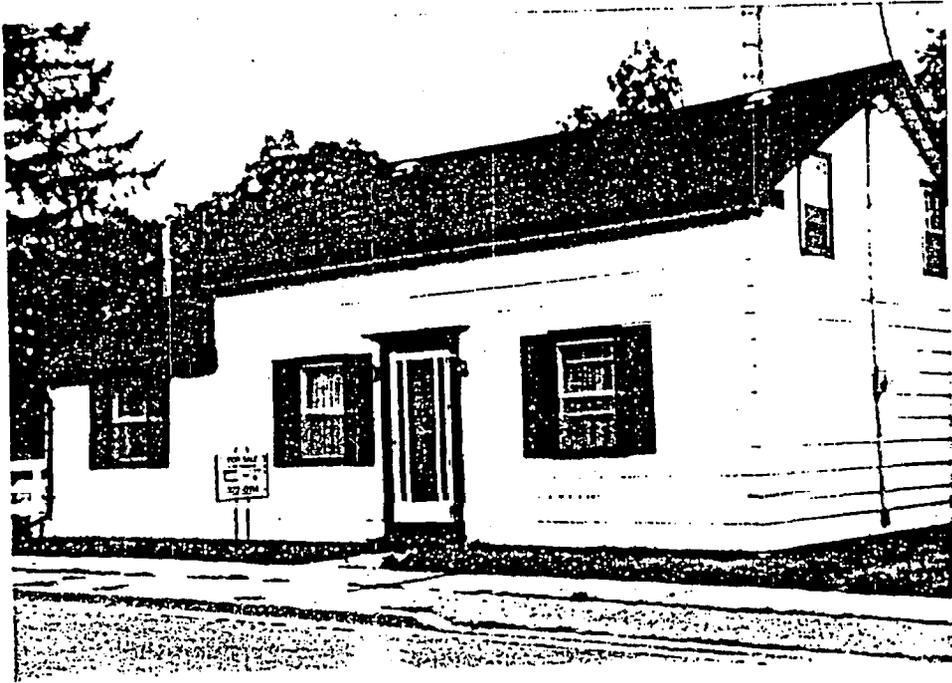


ADDRESS: 142 01-r Street

INFORMATION: House, 'c. 1850

SIGNIFICANCE: Contributing

COMMENTS ;



ADDRESS: 144 Orr street

INFORMATION: House, c.1845

SIGNIFICANCE: Contributing

COMMENTS :

Appendix D Comments on the Heritage Tree Planting Programme

For street tree planting to be effective, trees must be planted within the boulevard. Historically, trees have been planted along the boulevard between the curb and sidewalk. Where no sidewalk existed trees were planted as close to the road as possible. There were reasons for this.

First boulevard trees were, and are, used to beautify a municipality. The **spacial** relationship of the street to the boulevard trees is important. As trees grow they form a canopy over the street that lessens the separation between the two sides of-the street.

Also, the road may be bordered on either side with buildings irregularly placed or set far back from the street. The resulting wide space around the road makes pedestrians feel vulnerable and unsafe. Studies show that the removal of street trees may be the first step in the breakdown of the street from a community space to merely a roadway for automobiles. The removal of trees, particularly when combined with street widening, often leads to the breakdown of a residential community along with it. There appears to be an ideal relationship between the width of a street, boulevards with trees and buildings located along it. Once this is destroyed the healthy complex function of a street deteriorates. Examples of this in Cobourg include; Division Street, William Street and University Avenue. Street planting along University in recent years should help to restore the latter's character.

Boulevard trees then provide an environmental benefits - - shady strees and sidewalks reducing the heat and the humidity and providing oxygen. On top of this they beautify the Town and mask buildings of a less appealing nature.

Trees make a town attractive and an attractive town encourages tourism.

From the 1860s and 1870s Cobourg's streets were lined with boulevard trees, sometimes so densely planted it gave the appearance of a woods. Since the late 1950s the boulevard trees have been drastically reduced. In recent years tree planting has resumed on the boulevards of Cobourg and this should be commended. The Town has established a tree planting policy, this is a step in the right direction. However, the policy needs to be reassessed and the policy for boulevard planting strengthened.

Throughout North America communities have recognized the need for boulevard tree planting and developed policies and programmes to encourage it. Tree roots can be a concern to underground services, however, other communities have developed successful ways of dealing with this problem. It is recommended that other communities with aggressive tree planting programmes be contacted

and their policies studied.

It is also recommended that:

all two hundred trees purchased annually should be designated for the boulevard tree planting programme.

the **alloted** number of trees be increased annually.

that an organized system of replanting all boulevards be instituted for the Town.

developers of all new subdivisions be required to **plant** boulevard trees in their developments.

where no sidewalks exist (therefore no boulevard exist) trees be planted close to the street.

in one block, both sides of the street should be planted at the same time, using the same species of tree. Preferably one whole street should be planted at one time.

trees should be planted about 15 feet apart.

when a tree is removed it should be replaced as close to the original site as is possible.

heritage tree planting policy should be removed from the transportation service **and placed** under the jurisdiction of the Community Services Department. Boulevard street trees have far more value to the community than simply supporting a transportation system.

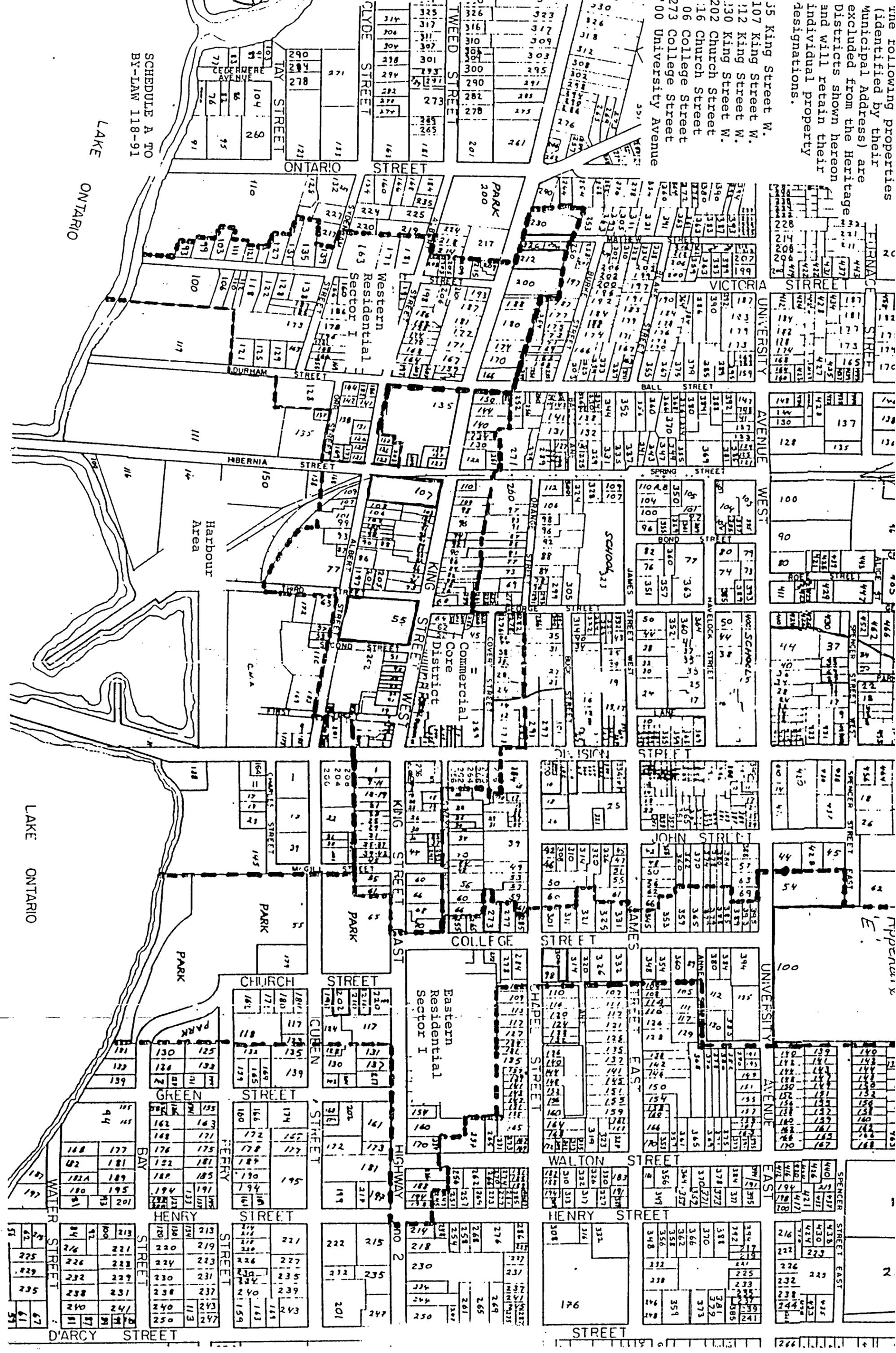
priority planting should be given to arterial and collector roads and particularly to roads that are entrances or "gateways" to the Town.

Boulevards should never be paved over but always be planted with grass.

The following properties (identified by their Municipal Address) are excluded from the Heritage Districts shown hereon and will retain their individual property designations.

- 107 King Street W.
- 112 King Street W.
- 130 King Street W.
- 202 Church Street
- 16 Church Street
- 06 College Street
- 273 College Street
- 100 University Avenue

SCHEDULE A TO
BY-LAW 118-91



D'ARCY STREET