

# SUSTAINABLE NEIGHBOURHOOD MASTER PLAN FOR THE TANNERY DISTRICT DESIGN CONCEPTS WORKSHOP



**FOTENN** Planning  
+ Design

**URBAN  
EQUATION**

MARCH 28, 2018

# OVERVIEW

**PROJECT OVERVIEW**

**SITE ANALYSIS**

**WHAT WE'VE HEARD**

**VISION + PRIORITY DIRECTIONS**

**DRAFT DESIGN OPTIONS**

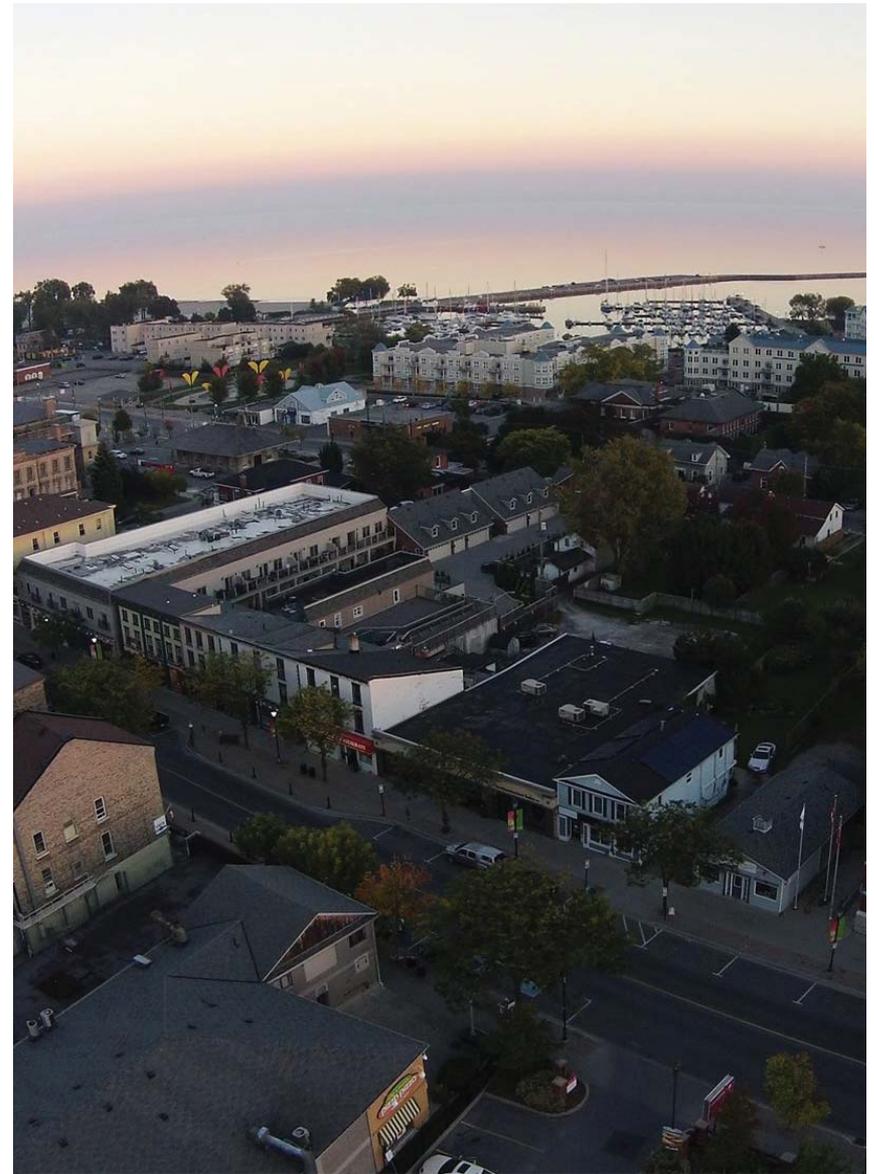
**WORKSHOP OVERVIEW**

**WRAP UP + NEXT STEPS**

# PROJECT OVERVIEW

## STUDY PURPOSE

Build on the Charette and CIP (2009) to establish an innovative and implementable vision for the Tannery District as a 'healthy, vibrant and sustainable neighbourhood.'



# PROJECT OVERVIEW

## ONE PLANET LIVING

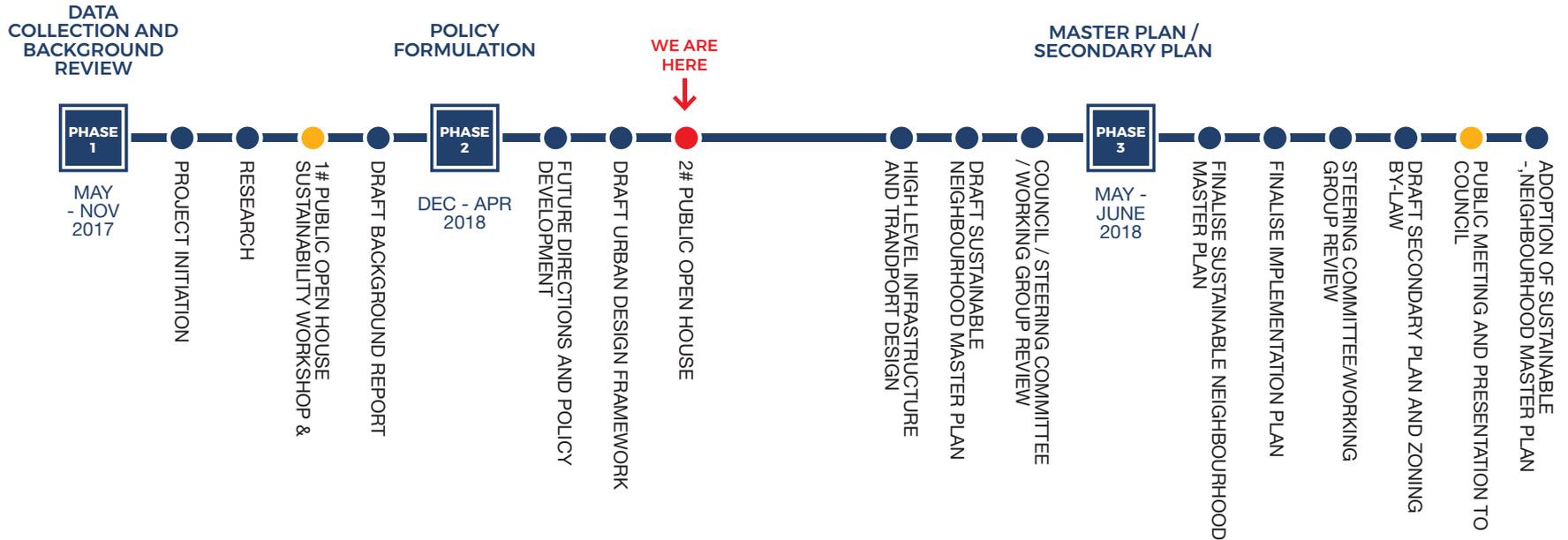
Apply the 10 Principles of One Planet Living to achieve four pillars of sustainability - social, environmental, economic, and cultural.

- / Balance technical and urban design requirements
- / Establish measurable goals
- / Respond to resiliency
- / Augment local initiatives
- / Reflect local market and economy



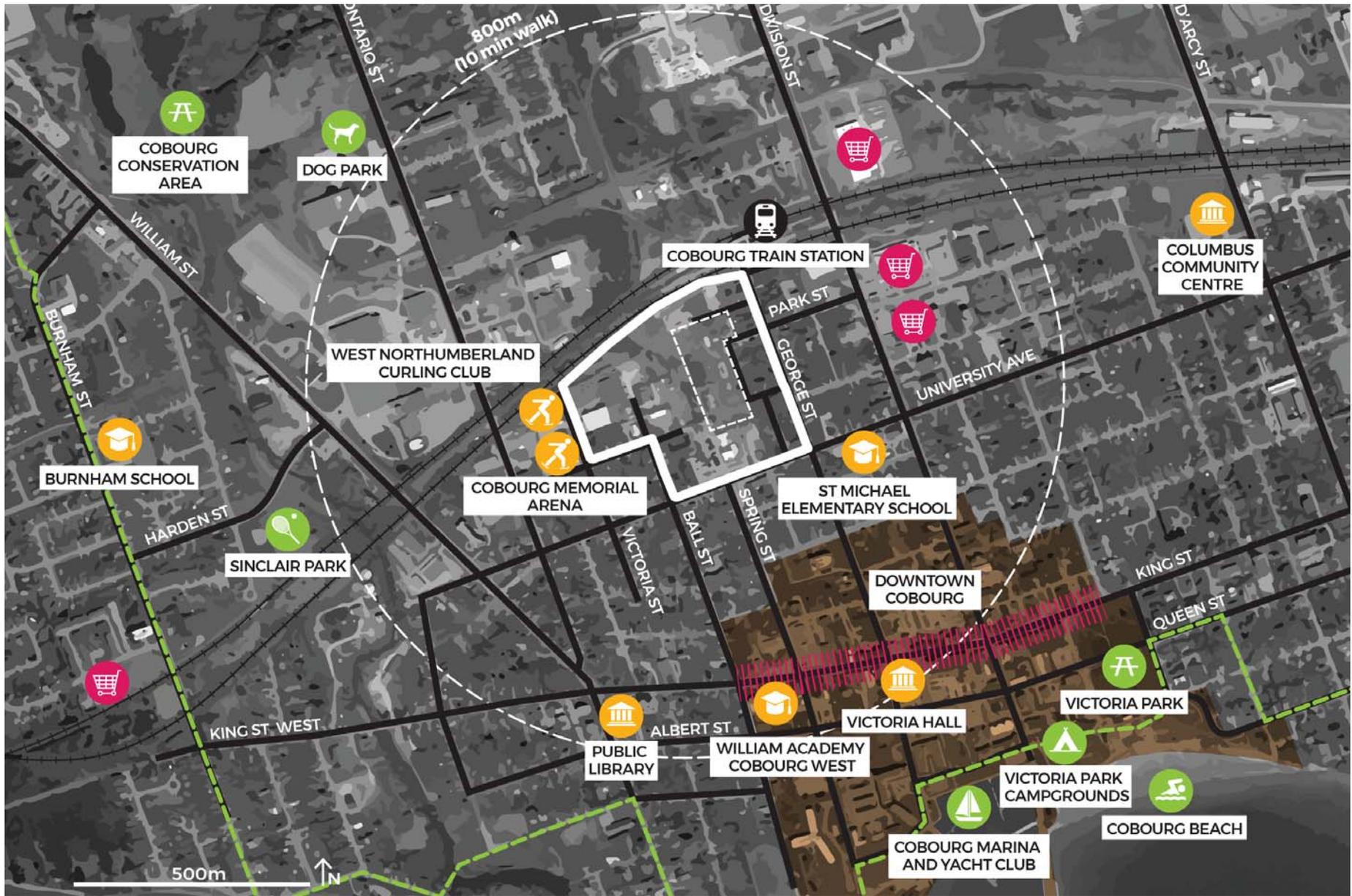
# PROJECT OVERVIEW

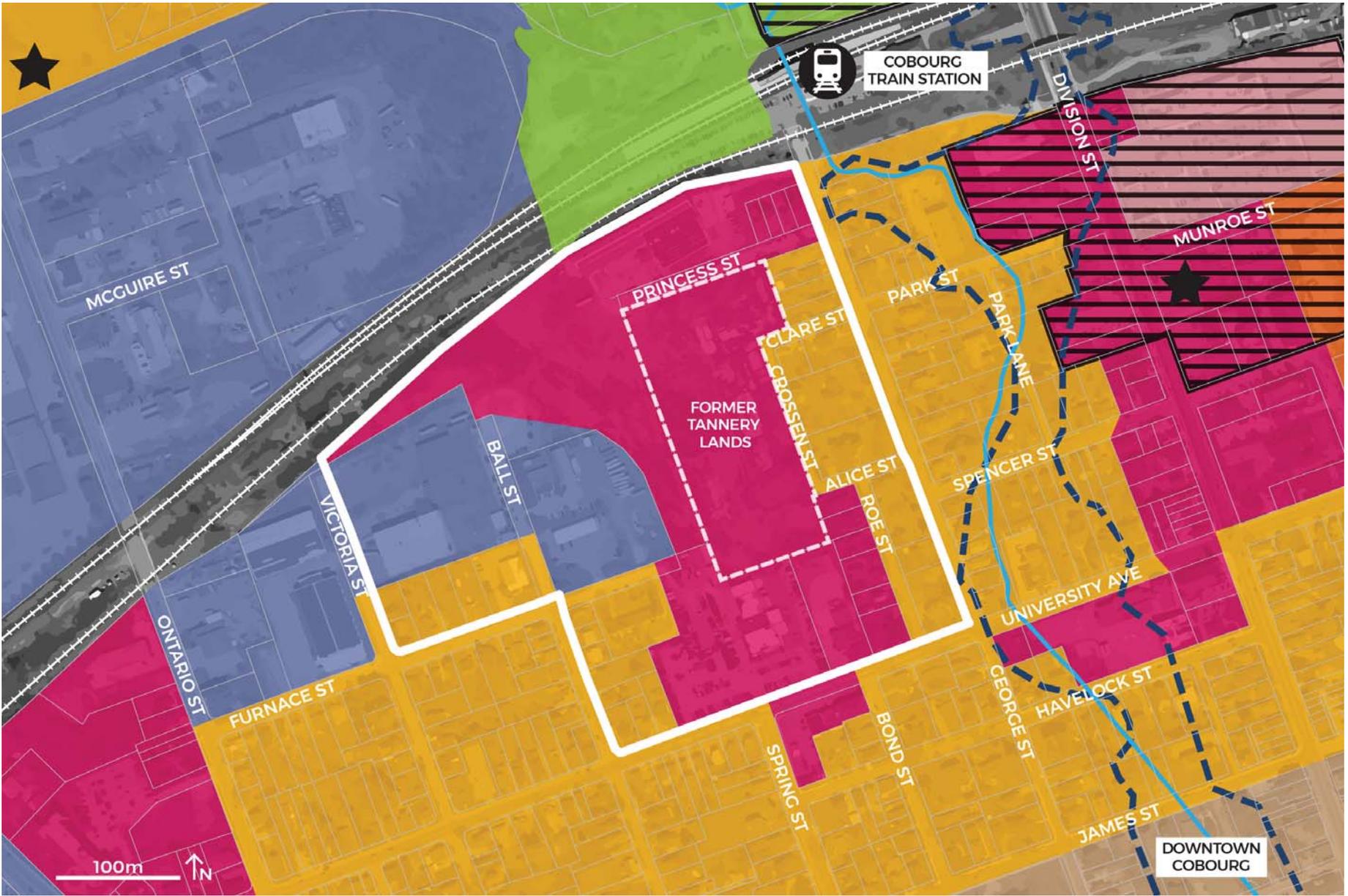
## STUDY TIMELINE



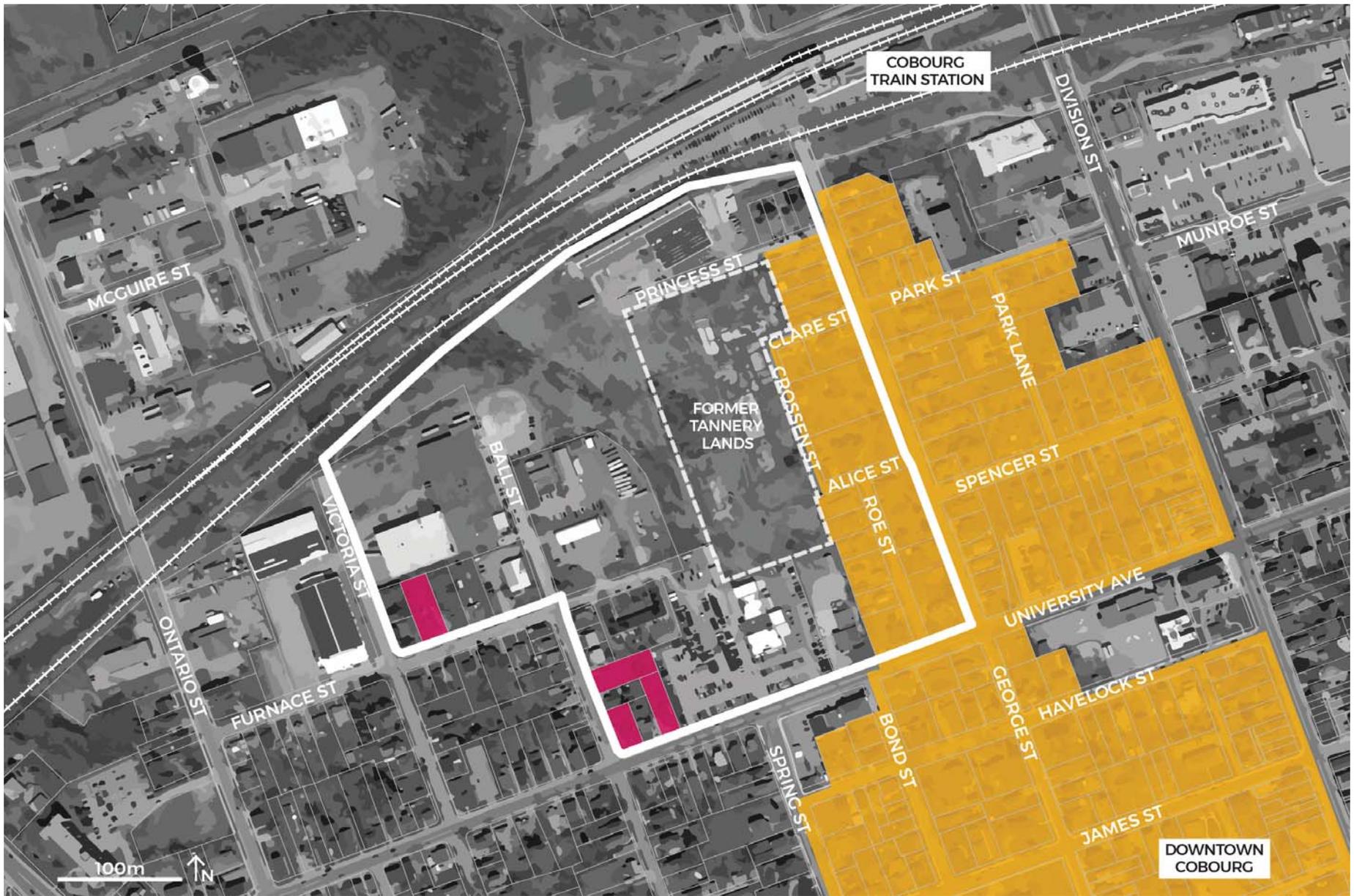
# SITE ANALYSIS



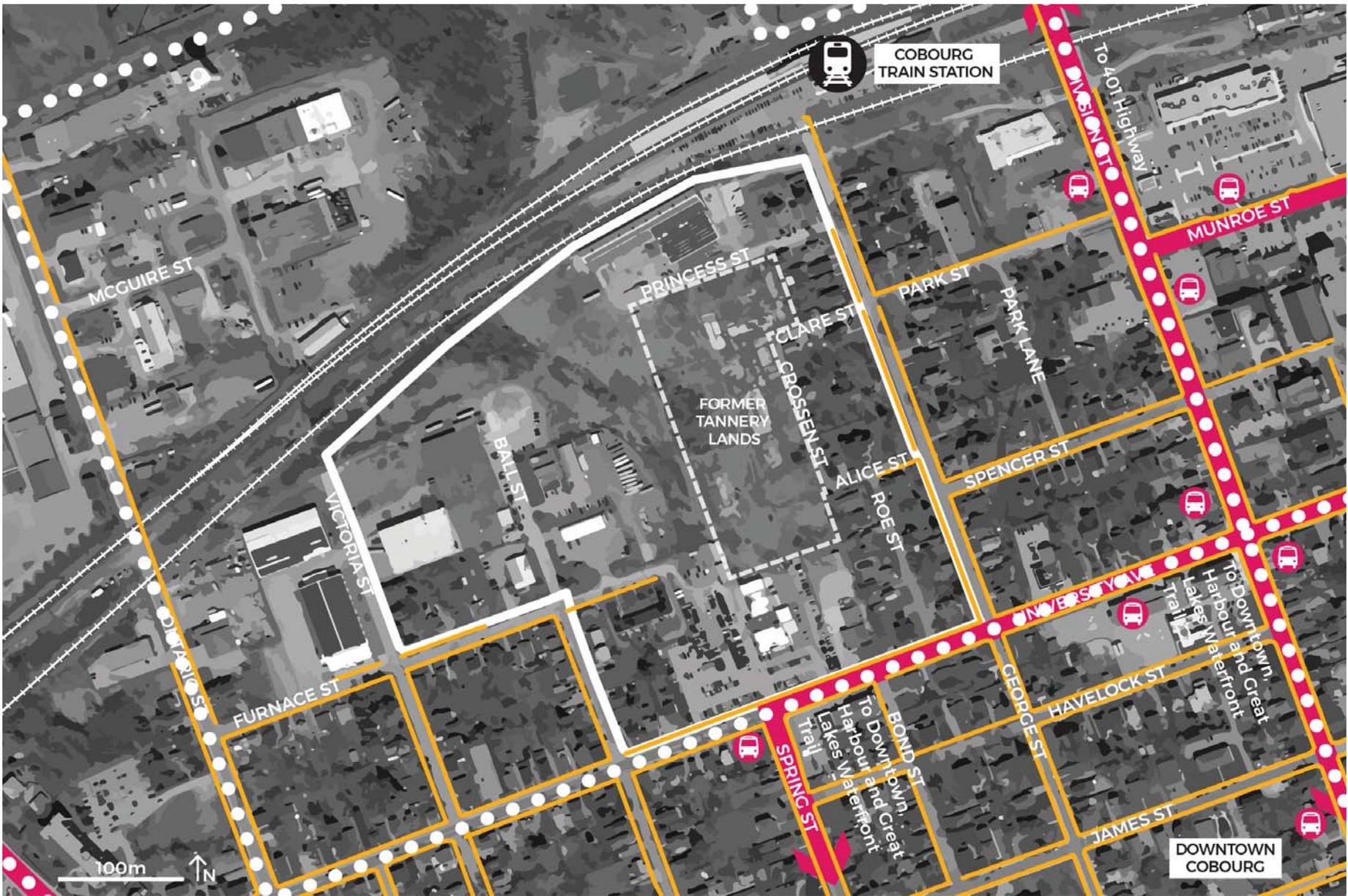
















# WHAT WE'VE HEARD

## SUSTAINABILITY WORKSHOP

At the workshop on June 22, 2017 the following key ideas and themes for sustainably focused development within the Tannery District emerged. These themes inform the vision for the site, the Priority Directions, and guide the overall site wide sustainability objectives.



## MIXED-USE DEVELOPMENT

 A **range of building types** (employment, residential, commercial/retail) to attract a diverse range of occupants in age, background and abilities

 **Affordable options** for a range of incomes and local work opportunities and training



 Fine-grained streets and local services to allow for a **walkable community**

## LOW CARBON LIVING

 **High performance buildings** with passive solar design and durable healthy materials that consider embodied carbon and life cycle assessment

 Focus on **waste as a resource** and minimize waste to landfill through infrastructure and onsite waste management solutions



## OPEN AND GREEN PUBLIC SPACE

 Places that are **accessible to all**, with space for active recreation, fun and imagination

 Green spaces that promote **social, physical and mental health**



 Community spaces to support **sharing economy** opportunities (shared gardens, seasonal and year-round farmer's markets)



## COMMUNITY ENERGY SYSTEMS

 Onsite **renewable generation** (geosource, solar, wind, biomass, waste heat recovery, triggen, etc), energy storage, district energy, micro-grids

 Consider **ownership by community** cooperative/collective

## GREEN INFRASTRUCTURE

 Green and blue strategies that balance **beauty, water management** and safe active transportation via walking and cycling



 **LID systems** that clean and manage stormwater, sufficient to support green features



 Visible **interactive infrastructure** that connects the community with water systems



 Planting to attract pollinators, **native species**, support and restore ecology

 Opportunities for local gardens and **urban agriculture**



# VISION + PRIORITY DIRECTIONS

## DESIGN VISION

The Tannery District is an **innovative, sustainable neighbourhood** that celebrates its rich history as an industrial destination in the Town of Cobourg, while looking toward the future. Grounded in the **10 One Planet principles** for measuring ecological and carbon footprinting, the Tannery District supports a healthy and vibrant sense of community, and a **diverse mix of people, places, cultures and experiences**. A range of **housing options** ensure a diverse population, affording the opportunity to age-in-place, and establish roots in the community. Compact blocks, a well-connected network of streets and trails, and convenient access to the train station encourage **active living** and promote **alternative modes of transportation**. Engaging and **attractive parks and public spaces** support both casual gathering, and active recreation, within an extensive natural setting that prioritizes and celebrates **ecological functionality** and sustainability. All of this is founded on a strong local economy where neighbourhood entrepreneurs, artists, and other specialists compliment the Downtown businesses, supporting a Town-wide culture of **locally-sourced goods and services**.

# VISION + PRIORITY DIRECTIONS

## PRIORITY DIRECTIONS

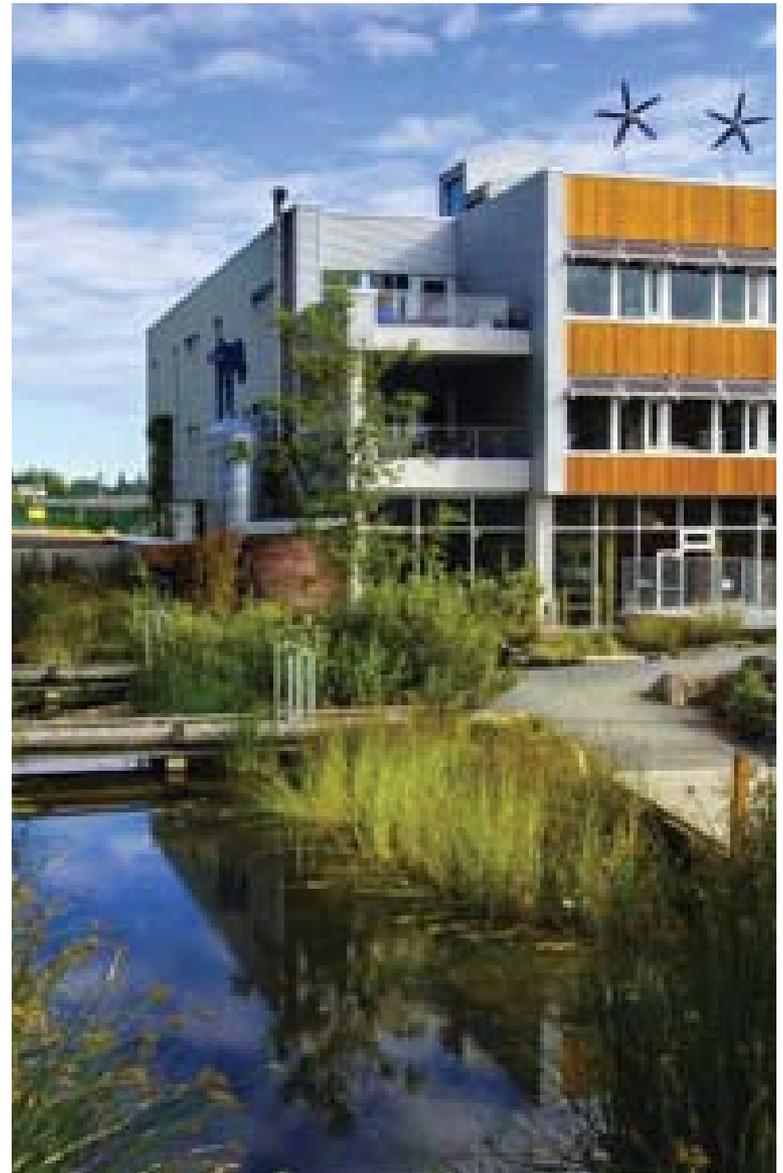
									
<b>Health and happiness</b>		Encouraging active, social, meaningful lives to promote good health and wellbeing							
<b>Equity and local economy</b>		Creating safe, equitable places to live and work which support local prosperity and international fair trade							
<b>Culture and community</b>		Nurturing local identity and heritage, empowering communities and promoting a culture of sustainable living							
<b>Land and nature</b>		Protecting and restoring land for the benefit of people and wildlife							

# DRAFT DESIGN OPTIONS

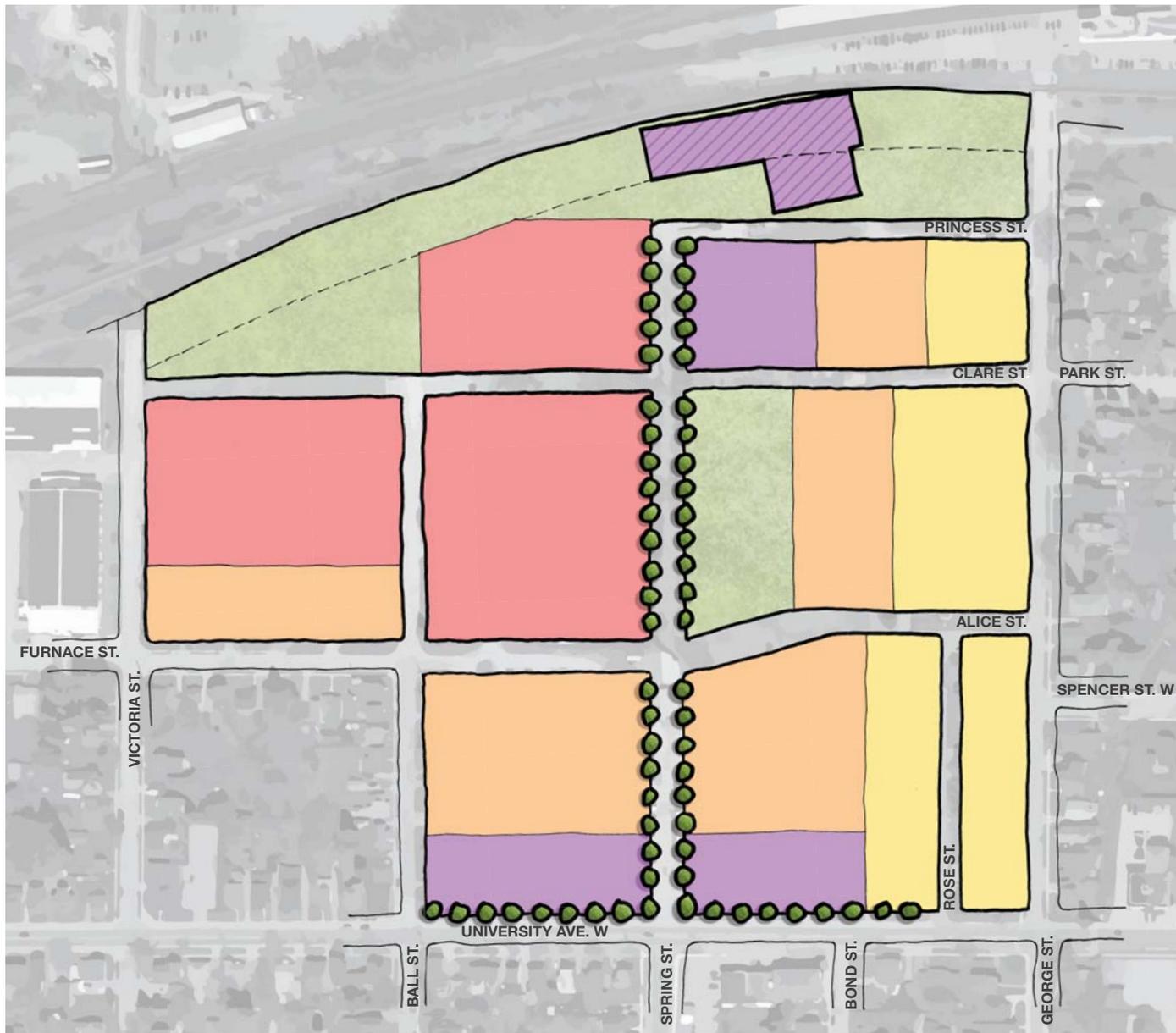
## KEY FEATURES

Five Draft Design options have been prepared. Elements that are generally common in all five options include.

- / Tree-lined 'Main Street'
- / 16.6 metre right-of-way for key streets
- / 10 metre woonerf for all other streets
- / 30 metre buffer from the rail corridor
- / Protect and maintain George Street HCD
- / Linear park along the rail corridor (within the 30 metre buffer)



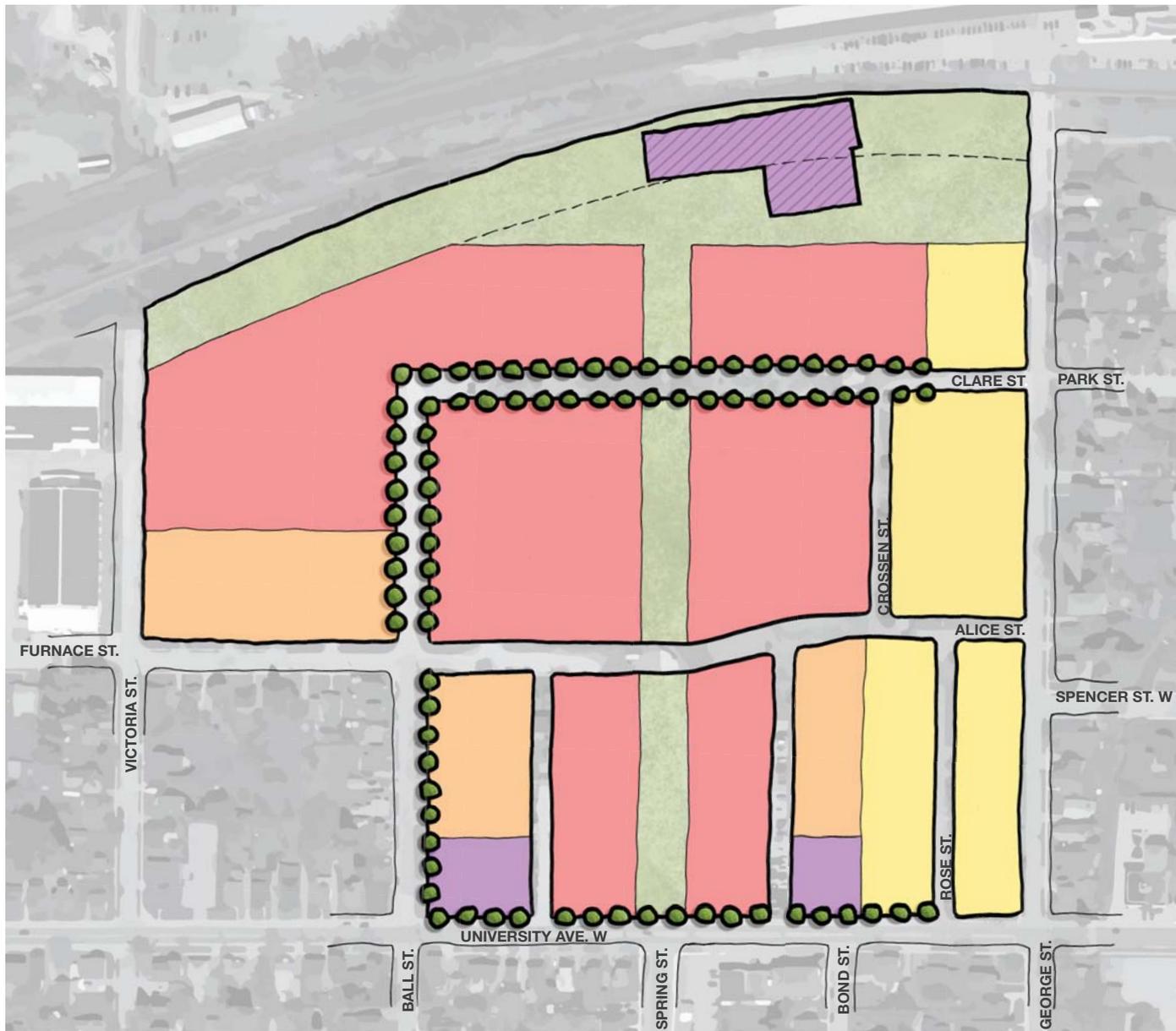
# OPTION 1: THE EXTENDED GRID



- Standard grid network
- Spring Street as 'Main Street'
- Medium overall density
- Mid-rise residential at HCD
- Small concentration of high-rise residential
- Mixed-use 'face' along University Avenue
- Mixed-use at Princess Street/ Clare Street
- Mid-rise residential uses frame open spaces
- Re-use of the existing shed along the rail corridor
- Large central park located on Spring Street

- MIXED-USE
- ADAPTIVE RE-USE
- PARK
- RESIDENTIAL HIGH-RISE
- RESIDENTIAL MID-RISE
- RESIDENTIAL LOW-RISE
- MAINSTREET
- 30M RAIL SETBACK

## OPTION 2: THE GREEN EXTENSION



North-south open space terminates at Spring Street

Local street circulation through Furnace Street

Clare Street as tree-lined 'Main Street'

High density with a focus on high-rise residential

Mid-rise residential transition to George Street HCD

Small mixed-use 'pockets' on University Avenue

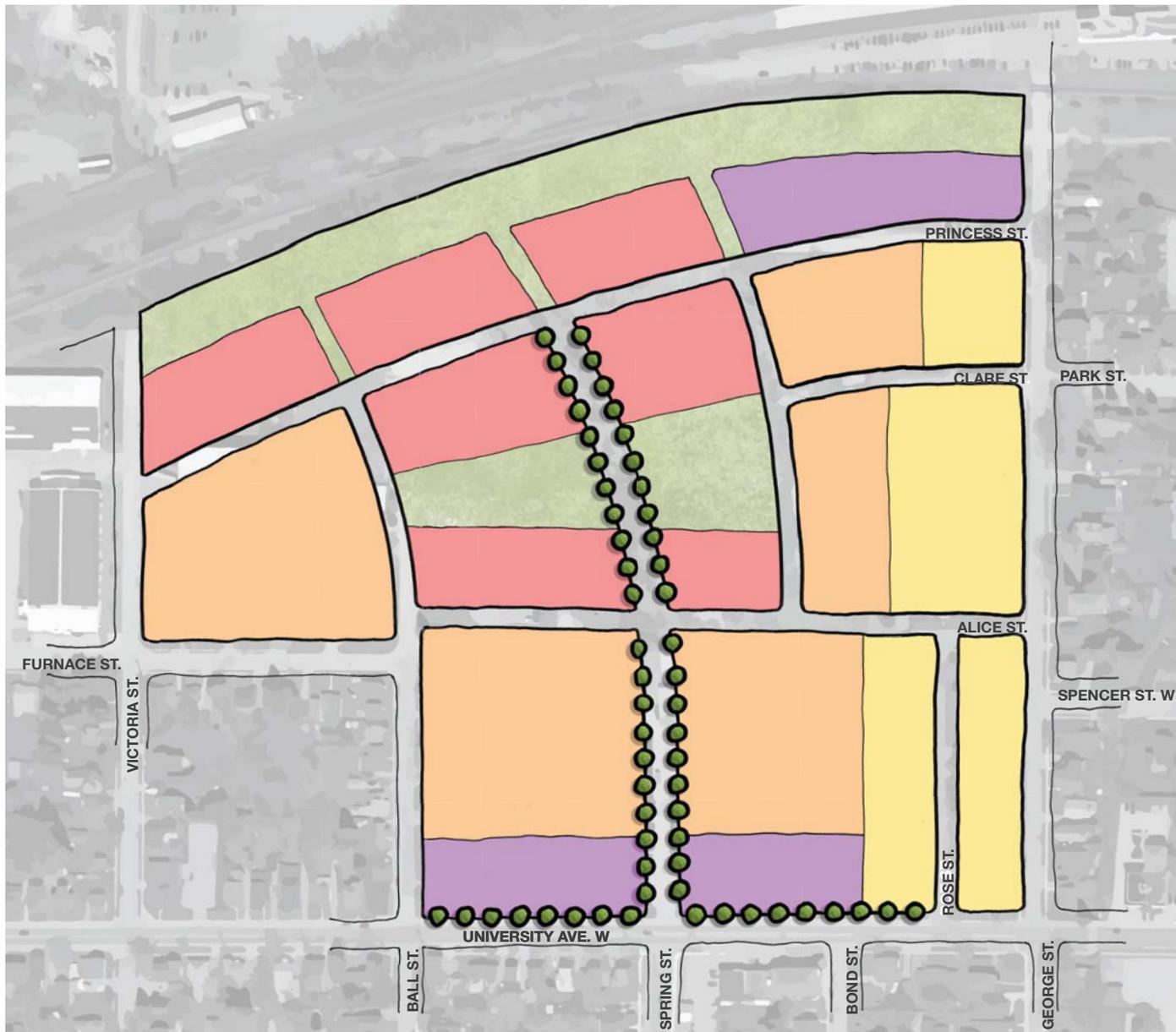
High-rise residential frame the central open space

Re-use of the existing shed along the rail corridor

- MIXED-USE
- ADAPTIVE RE-USE
- PARK
- RESIDENTIAL HIGH-RISE
- RESIDENTIAL MID-RISE
- RESIDENTIAL LOW-RISE
- MAINSTREET
- 30M RAIL SETBACK



## OPTION 4: THE CENTRAL PARK



Grid network modified to reflect the historic spur

Furnace Street off-set to slow vehicle traffic

Spring Street as tree-lined 'Main Street'

Medium overall density

Mid-rise residential at HCD

Small concentration of high-rise residential

Mixed-use 'face' along University Avenue

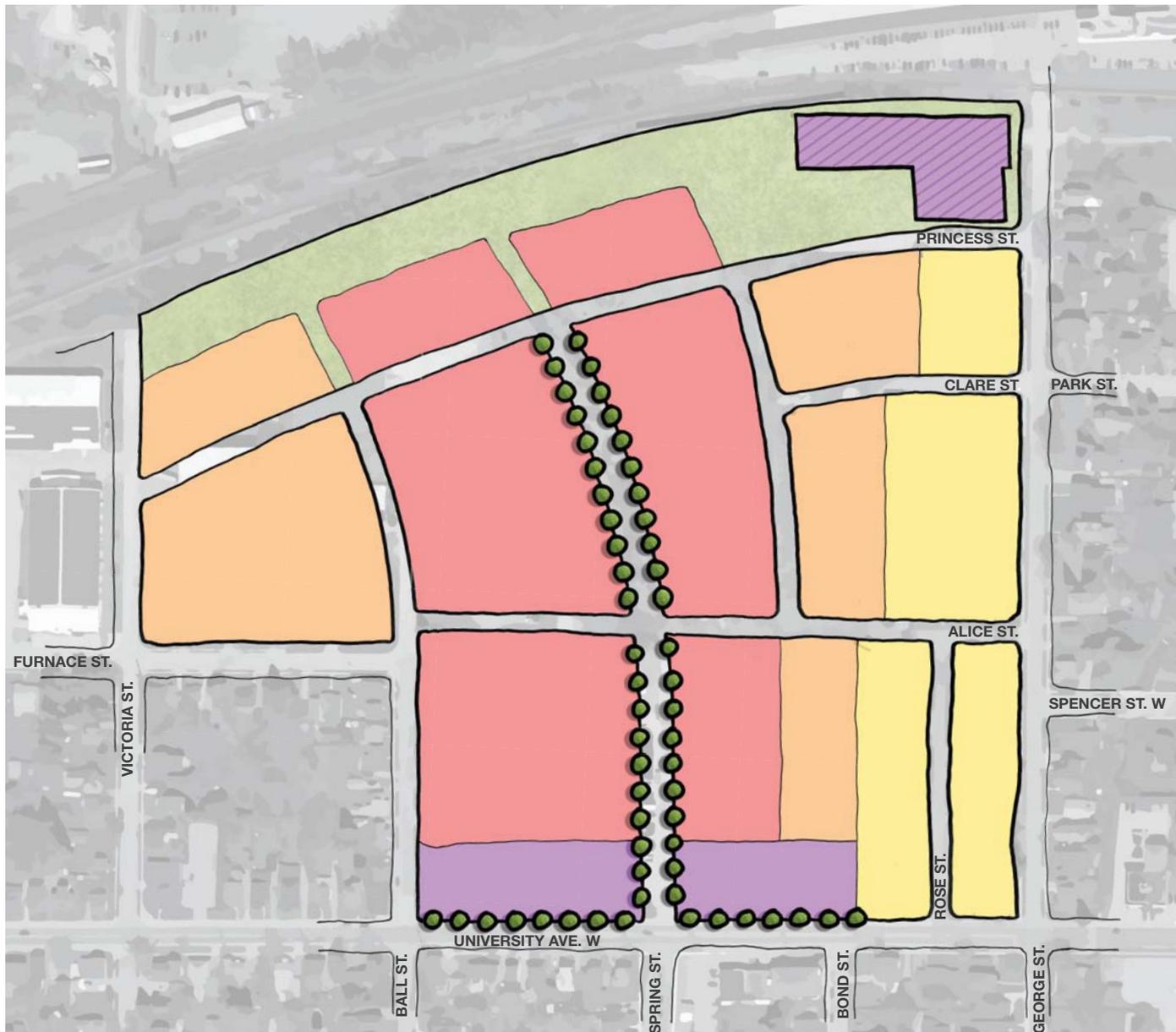
Mixed-use at Princess Street

Large central open space straddles Spring Street

Green connections provide pedestrian access to linear park

- MIXED-USE
- ADAPTIVE RE-USE
- PARK
- RESIDENTIAL HIGH-RISE
- RESIDENTIAL MID-RISE
- RESIDENTIAL LOW-RISE
- MAINSTREET
- 30M RAIL SETBACK

## OPTION 5: THE MODIFIED GRID



Extend the existing grid network

Grid network modified to reflect the historic spur

Furnace Street off-set to slow vehicle traffic

Spring Street as tree-lined 'Main Street'

Medium-high overall density

Mid-rise residential at HCD

High-rise residential at the centre of the site

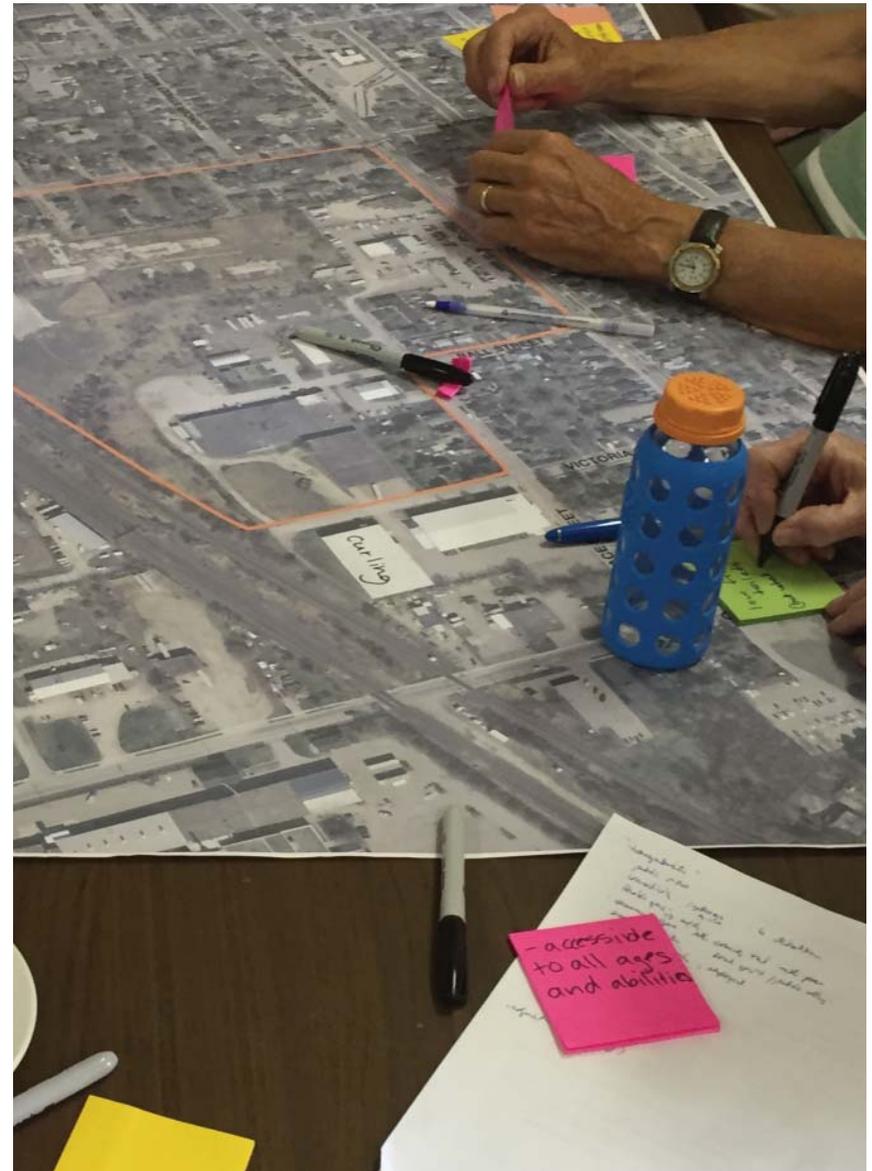
Mixed-use 'face' along University Avenue

Re-use of the existing shed along the rail corridor

- MIXED-USE
- ADAPTIVE RE-USE
- PARK
- RESIDENTIAL HIGH-RISE
- RESIDENTIAL MID-RISE
- RESIDENTIAL LOW-RISE
- MAINSTREET
- 30M RAIL SETBACK

# WORKSHOP OVERVIEW

- / As a group, please complete the worksheet activities provided
- / A member of the Consultant Team will be available to help as needed
- / Assign a note-taker for your group
- / Recommended timing is noted on the sheets



THANK YOU

**FOTENN** Planning + Design

 **Build Green**  
SOLUTIONS

# WRAP UP + NEXT STEPS

## WORKSHOP SUMMARY

Prepare a summary of the key findings to inform the development of a Preferred Master Plan.

### THE TOWN OF COBOURG SUSTAINABLE NEIGHBOURHOOD MASTER PLAN FOR THE TANNERY DISTRICT



## SUSTAINABILITY WORKSHOP SUMMARY

Prepared by: **URBAN EQUATION**  
June 22, 2017

**URBAN  
EQUATION**

**FOTENN** Planning  
+ Design



**FCM**

# WRAP UP + NEXT STEPS

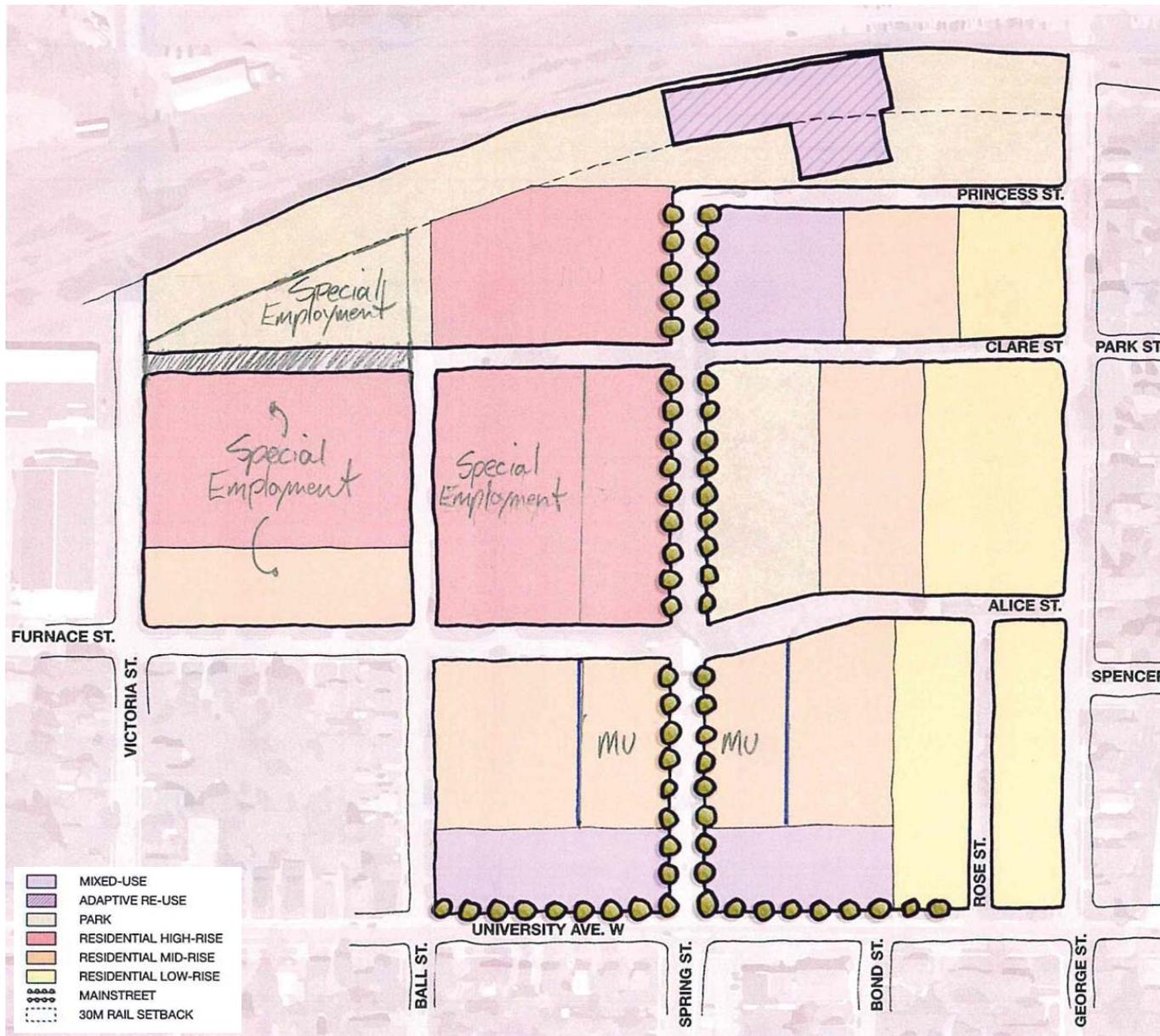
## PSAC/TDPSC FEEDBACK

In November, the Draft Design Plans were reviewed by PSAC and the Steering Committee.

- / Include neighborhood energy supply solutions
- / Street design to fit with likely enduring/existing uses
- / Consider transitions and phasing related to ownership/retentions
- / Showing anticipated types of built form



## OPTION 1A: THE EXTENDED GRID



Extension of Clare Street westward to Ball Street

The extension of the Mixed Use northward along Spring Street

Spring Street would have a 20-23m right-of-way

Alice/Furnace Streets and Spring Street would function as key transportation corridors (complete streets)

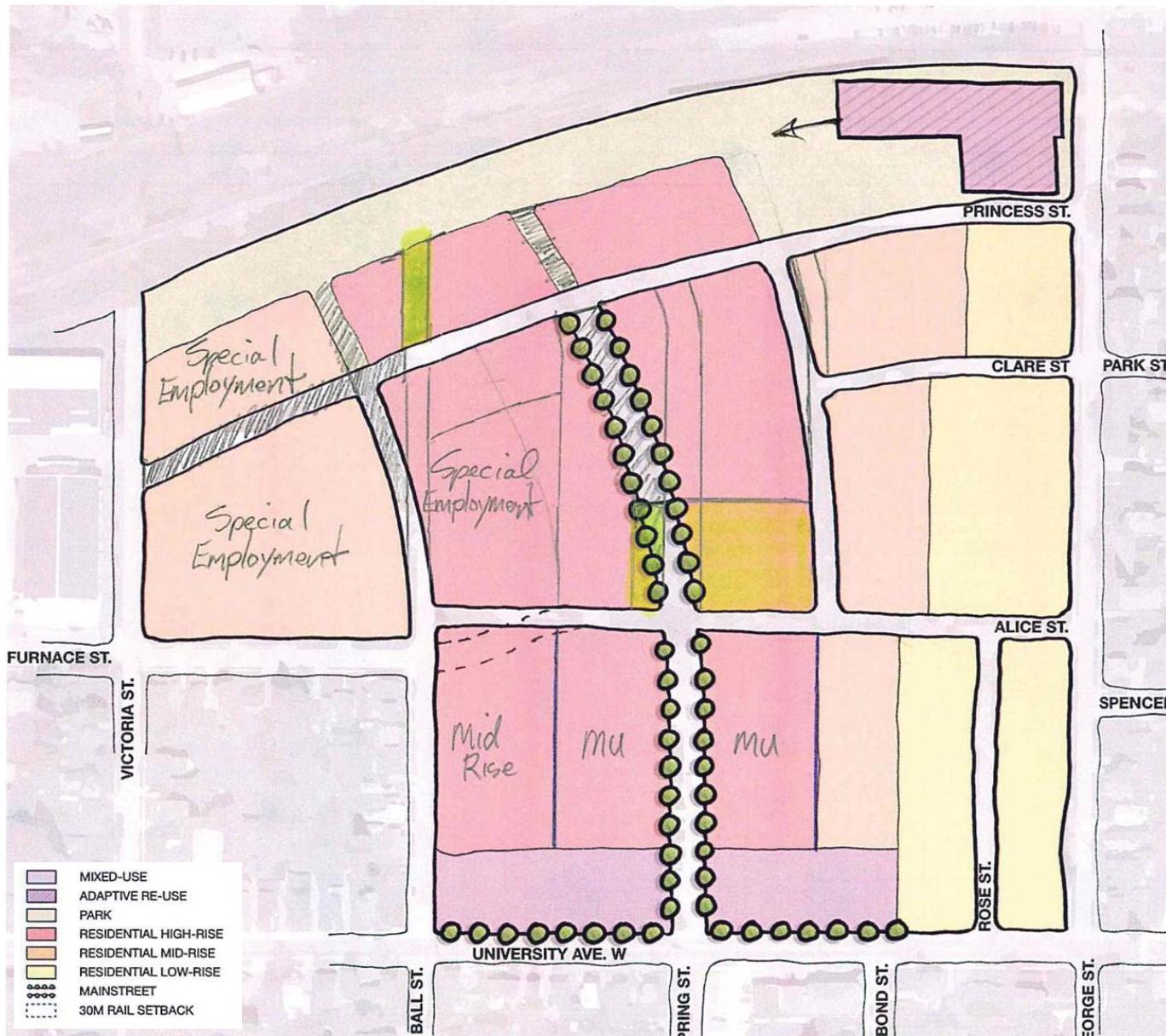
Medium overall density with a balance of mid-high rise and mixed use areas

High-rise residential in the central-north areas where impacts are minimal;

Special Employment Area designation to reflect existing employment uses

Adaptive re-use of the existing industrial building in the north-east area

## OPTION 5A: THE MODIFIED GRID



Extension of Princess Street westward to Ball Street

North-south linear road alignments

The extension of the Mixed Use northward along Spring Street

Spring Street would have a 20-23m right-of-way

Furnace Street includes a slight meander for interest

Alice/Furnace Street, Spring Street and Princess Street would function as key transportation corridors (complete streets)

Medium-high overall density with a focus on high-rise residential in the central quadrant

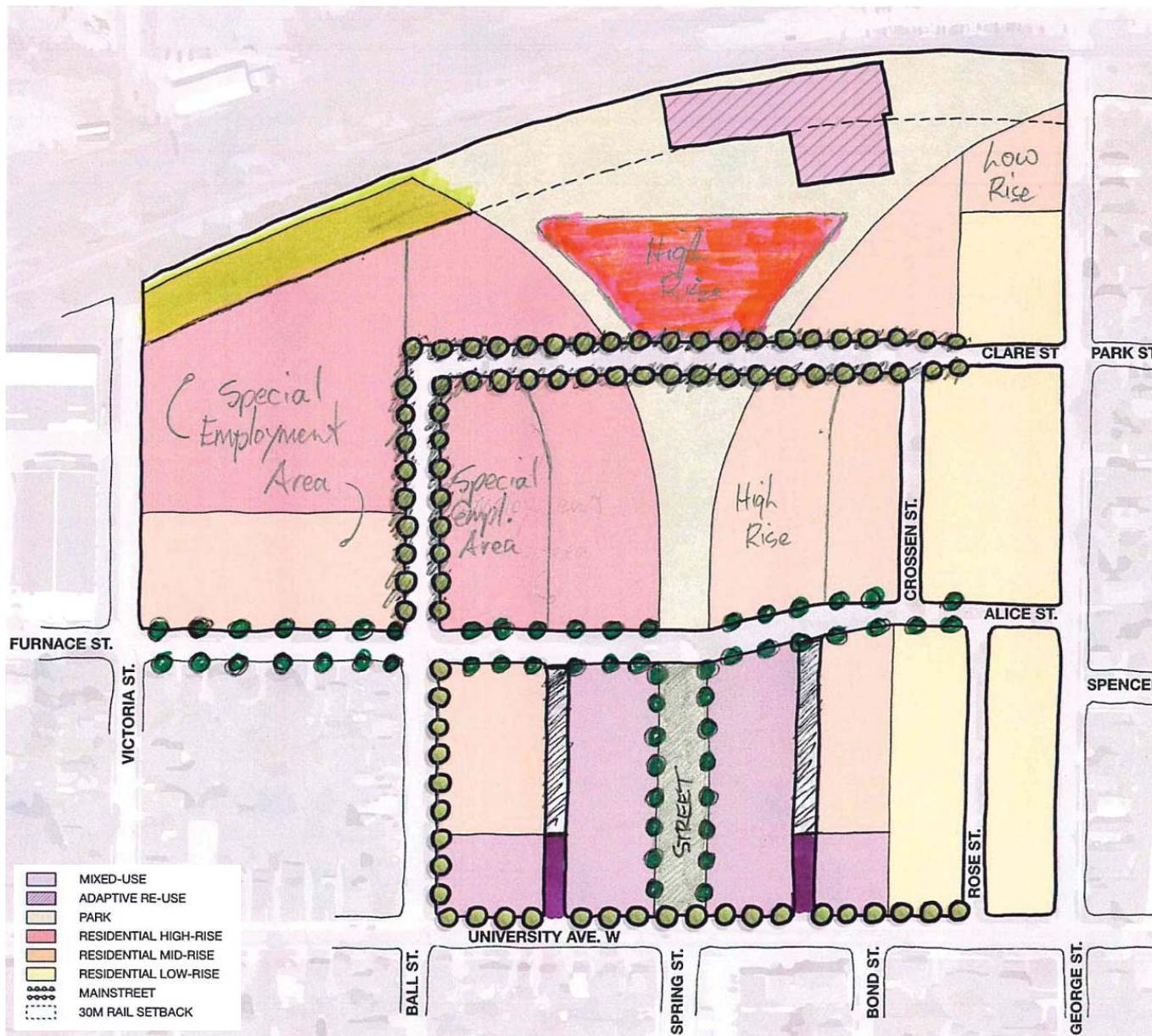
Mid-rise designation along east side of Ball Street, south of Furnace Street

Special Employment Area designation to reflect existing employment uses

Adaptive re-use of the existing industrial building in the north-east area

Central park oriented to intersection of Alice Street and Spring Street

## OPTION 3A: THE GREEN SPUR



The extension of Spring Street north and terminate at Alice/Furnace Streets

The removal of the side streets on University Avenue West

Spring Street would have a 20-23m right-of-way

Alice/Furnace Street and Spring Street would function as key transportation corridors (complete streets), possibly Clare Street and Ball Street as well;

High-rise on east and west side of linear park to frame open space

High-rise on north side of Clare Street extension to terminate Spring Street open space/view corridor, with open space links to resemble rail spurs, framed by adjacent residential

Low-rise on west side of George Street

Special Employment Area designation to reflect existing employment uses

Adaptive re-use of the existing industrial building in the north-east area

30 m linear open space buffer along railway.

# WRAP UP + NEXT STEPS

## PREFERRED MASTER PLAN

The feedback received from PSAC will be combined with the feedback from tonight, will be used to refine a Preferred Master Plan.



# WRAP UP + NEXT STEPS

