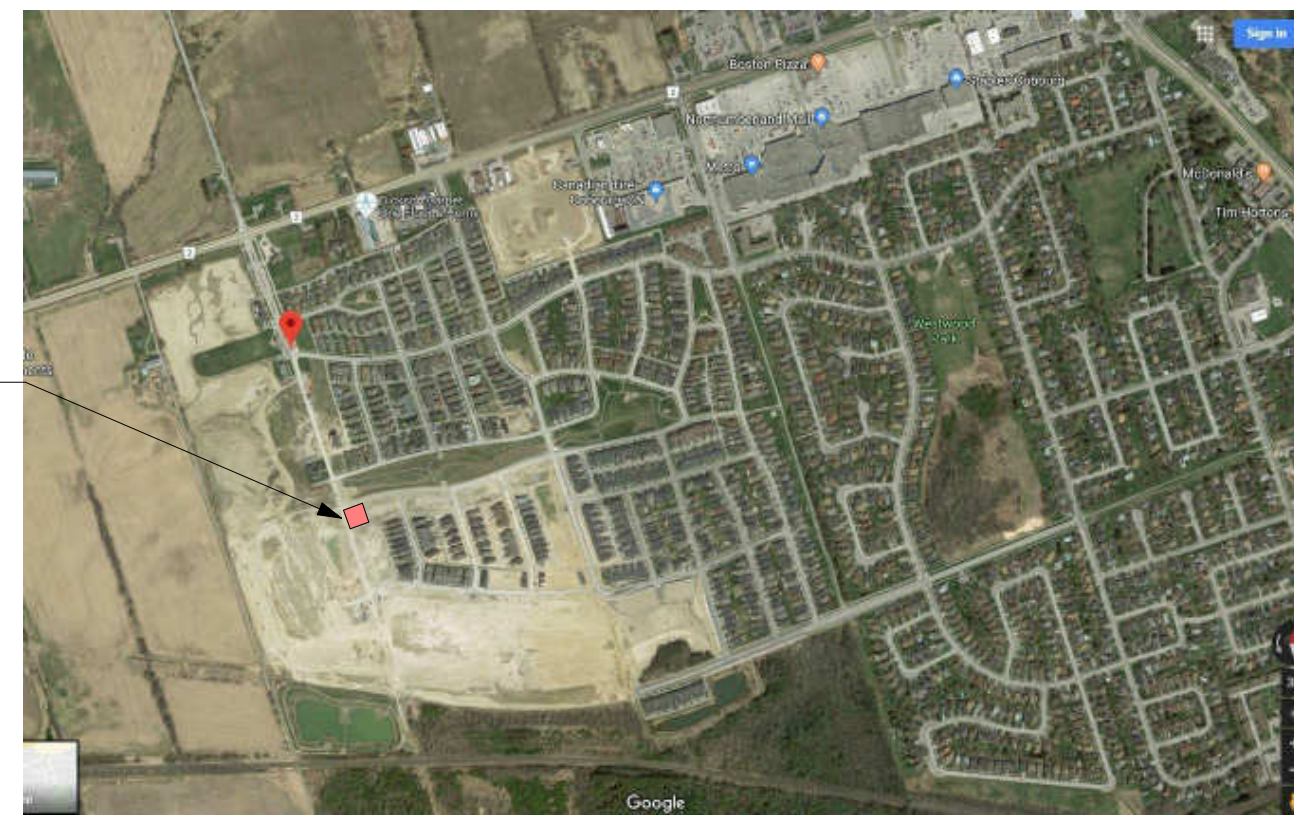
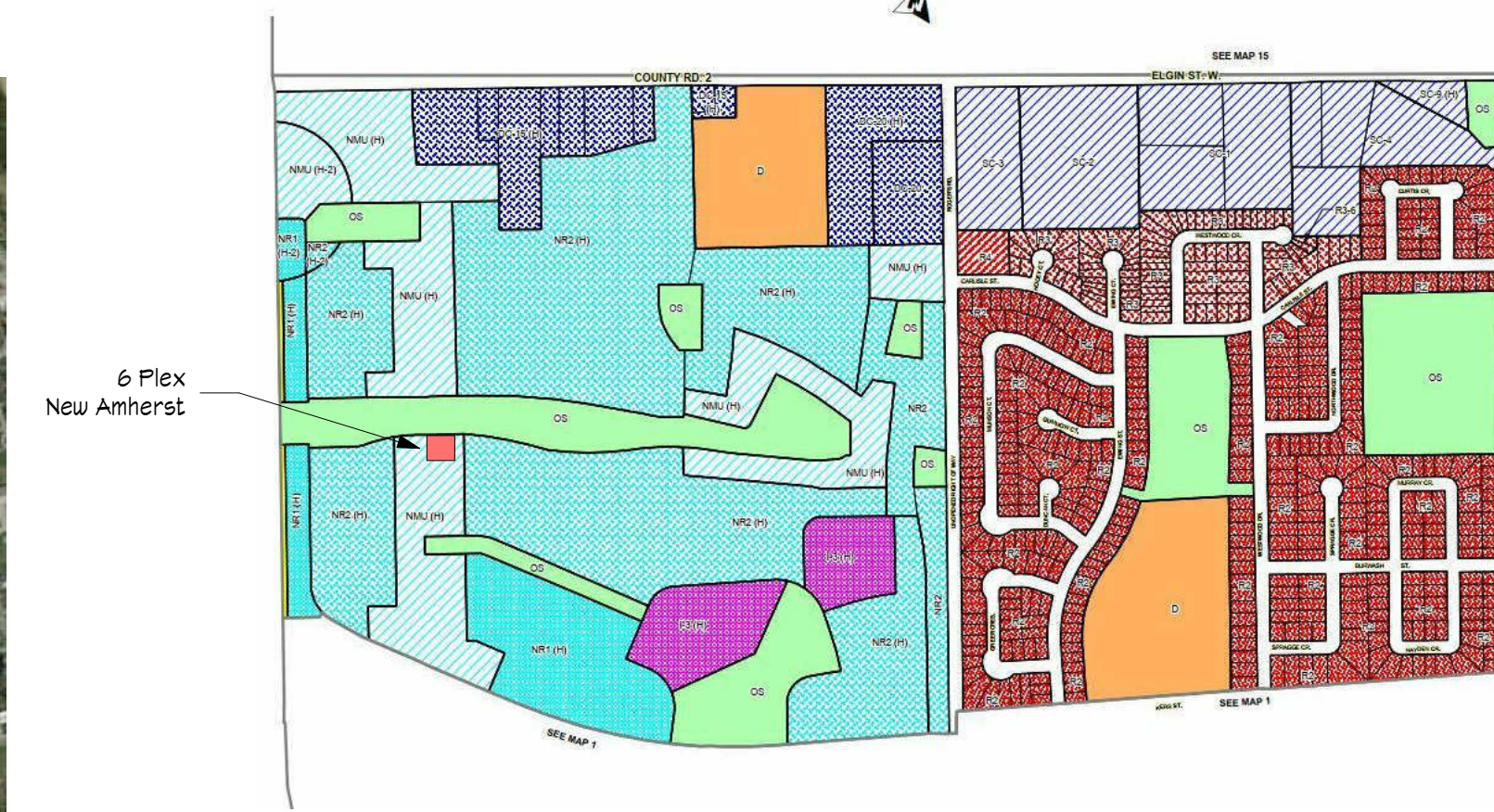


ROW	REGULATION	REQUIRED	PROPOSED	COMPLIES
A	MAXIMUM LOT AREA	N/A	994.46 SQ.M. OR 0.09946 HA	YES
B	MIN. LOT FRONTAGE	19.2 m	31.50 m	YES
C	MIN. REQUIRED FRONT YARD (NEW AMHERST)	3.0 m (4)	3.64 m	YES
D	MAX. FRONT YARD	N/A	N/A	YES
E	MIN. REQUIRED EXTERIOR SIDE YARD (NORTH)	2.4 m	2.4 m (CHARLES WILSON PKWY)	YES
F	MIN. REQUIRED INTERIOR SIDE YARD (EAST)	1.2 m	6.20 m	YES
G	MIN. REQUIRED INTERIOR SIDE YARD (SOUTH-LANE)	1.2 m	7.71 m	YES
H	MIN. REQUIRED REAR YARD	7.5 m	N/A	N/A
I	MAX. LOT COVERAGE	N/A	321.2m ² (33.1%)	YES
J	MIN. LANDSCAPED OPEN SPACE	N/A	41.7%	YES
K	FLOOR SPACE INDEX (F.S.I.)	1 (994.57 m ²) MAX.	(871.2 m ² Building + 24.4 m ² Garage) / 994.46 m ² Lot Area = 0.91	YES
L	MAX. MID ROOF HEIGHT	12.20 m	11.037 m	YES
M	MAX. BLDG HEIGHT	N/A	13.64 m	YES
N	15 SPACES PER DWELLING UNIT	6 UNITS X 15 = 9	9	YES
O	VISITOR PARKING: 0.25 PER UNIT ON STREET	6 UNITS X 0.25 = 1.5	N LEU	YES
P	ACCESSIBLE PARKING: 1 SPACE FOR THE FIRST 20 PARKING SPACES	1 (24 m ² AREA)	1 PROVIDED	YES
Q	REQUIRED DIMENSION: REGULAR PARKING ACCESSIBLE PARKING	2.7 m X 5.5 m 24 M ² / MIN. WIDTH 4m	2.7 m X 5.5 m 24 M ² / MIN. WIDTH 4m	YES
R	DISTANCE FROM STREET LINE (NEW AMHERST)	3 m	3 m	YES
S	DETACHED GARAGE FRONT LOT LINE - NEW AMHERST SIDE SIDE LOT LINE - LANE SIDE COVERAGE	3 m ZERO (ACCESS FROM LANE) 8% OF LOT AREA (74 m ²)	3 m ZERO (ACCESS FROM SIDE LANE) 2.6% (24 m ²)	YES

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 4	CBG REFERENCE
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 3 1.1.2 [DIV A] 1.10.1.3
2	MAJOR OCCUPANCY(S) Residential and Ancillary Building (Garage)	1.10.2
3	BUILDING AREA (m ²) EXISTING 0.00 m ² NEW 321.0 m ² TOTAL 321.0 m ²	1.4.1.2 [DIV A]
4	GROSS AREA EXISTING 0.00 m ² NEW 871.2 m ² TOTAL 871.2 m ²	1.4.1.2 [DIV A]
5	NUMBER OF STOREYS 3 ABOVE GRADE 3 BELOW GRADE 1	1.4.1.2 [DIV A] & 1.10.4
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 2	1.10.20
7	BUILDING CLASSIFICATION 3 2.2.47. Group C, up to 3 Storeys	1.10.2
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT COMPARTMENTS <input type="checkbox"/> N LEU OF ROOF RATINGS <input type="checkbox"/> NOT REQUIRED	1.10.8.2
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	N/A
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	1.10.18.2
11	WATER SERVICE / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	N/A
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	1.10.8
14	IMPORTANCE FACTOR <input type="checkbox"/> LOW <input checked="" type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> POST-DISASTER	1.4.1.1, 4.1.2.1(B), 8.2.2.1(2)
15	SITE CLASS (A,B,C,D,E FROM GEOTECHNICAL REPORT) STIFF SOIL: ? EARTHQUAKE IMPORTANCE FACTOR (I) ? ACCELERATION BASED COEFFICIENT (Fa) ? 5% SPECTRAL RESPONSE ACCELERATION Sa(0.2) ? SEISMIC HAZARD INDEX 1 FaSa(0.2) = DESIGN FOR SEISMIC REQUIRED FOR CATEGORIES 6 TO 21, TABLE 4.1.8.18. (EQUAL OR ABOVE 0.35?) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	1.4.1.1, 4.1.2.1(B), 8.2.2.1(2)
16	MEZZANINE(S) AREA m ² N/A TOTAL OCCUPANCY LOAD BASED ON <input checked="" type="checkbox"/> #2/PERSON <input type="checkbox"/> DESIGN OF BUILDING	1.10.4.1, 4.9.1.3
17	BASEMENT: OCCUPANCY LOAD 0 PERSONS 0 1ST FLOOR: OCCUPANCY LOAD 4 Bedroom PERSONS 8 2ND FLOOR: OCCUPANCY LOAD 4 Bedroom PERSONS 8 3RD FLOOR: OCCUPANCY LOAD 3 Bedroom PERSONS 6 11 Bedrooms 22	
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN)	1.10.13.4
19	REQUIRED HORIZONTAL ASSEMBLIES LISTED DESIGN NO. OR DESCRIPTION (56-2) FIRE RESISTANCE FLOORS 45 min. ROOF 45 min. MEZZANINE N/A HOURS FRR OF SUPPORTING MEMBERS 45 min. FLOORS 45 min. ROOF 0.00 HOURS MEZZANINE N/A HOURS	1.10.8, 1.10.9
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS WALL AREA OF EBF (m ²) L.D. (m) L/H OR MAX % OF OPENINGS PERMITTED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB CONST NON-COMB CONST	1.10.14, 1.10.15
21	OTHER - DESCRIBE	



2 Context Plan
A1.0 Not to Scale



3 Zoning Map
A1.0 Not to Scale

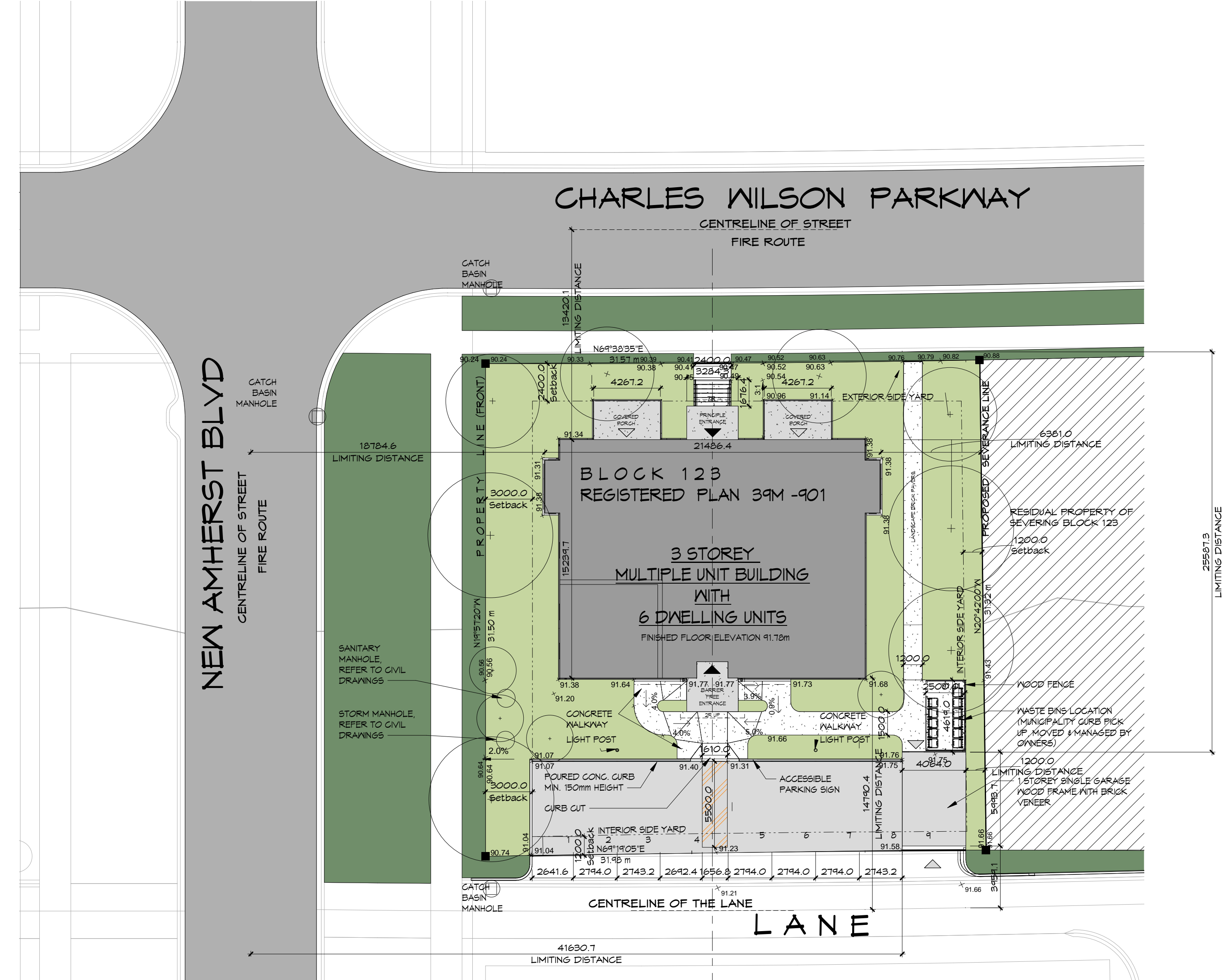
NET FLOOR AREA CALCULATIONS
MULTIPLE DWELLING STATISTICS

- NET AREA OF LOT: 994.46 SQ.M.
- LOT AREA PER UNIT: 994.46/6 = 175.74
- NUMBER OF UNITS

GROUND FLOOR: 2 2-BEDROOM UNITS
SECOND FLOOR: 2 2-BEDROOM UNITS
THIRD FLOOR: 1 1-BEDROOM UNIT, 1 2-BEDROOM UNIT

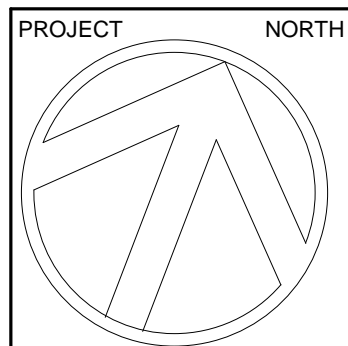
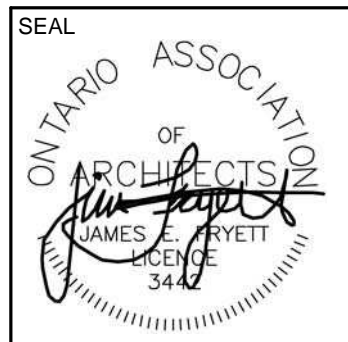
TOTAL: 6 UNITS

SITE STATISTICS	AREA	PERCENTAGE OF TOTAL
A. RESIDENTIAL BUILDING (LEVEL 1) AREA=	301.9 SQ.M.	30.3%
B. ACCESSORY BUILDING AREA GARAGES=	24.4	2.5%
C. PAVED AREAS PARKING= WALKWAYS/ WASTE BINS= PORCHES=	139.5 83.3 97.7	14% 8.4% 9.8%
D. LANDSCAPED AREAS SODDED AREA=	387.08	39%



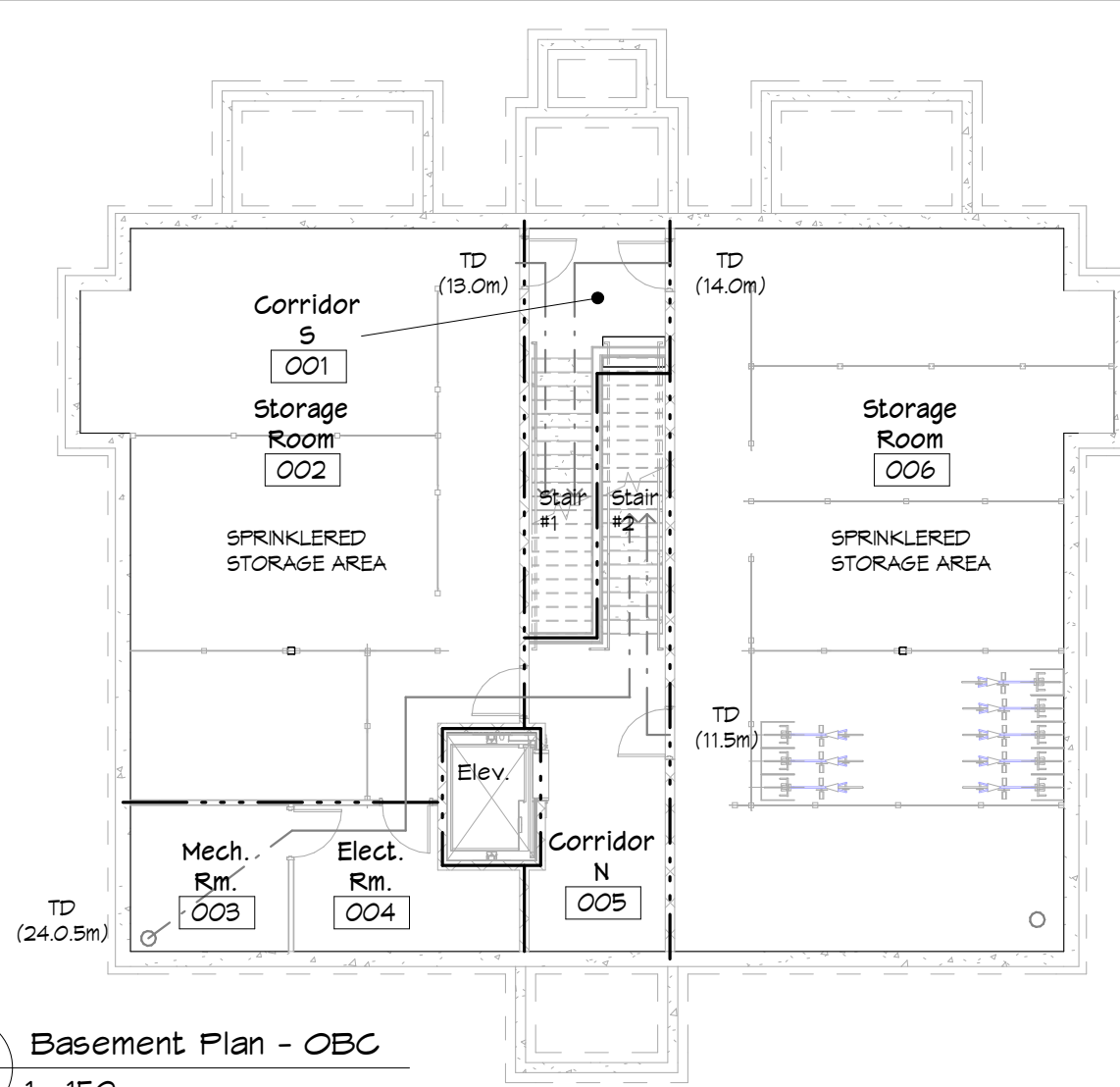
1 Site
A1.0 1:200

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS.
ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE USED AS A GUIDE TO THE WORK AND ARE TO BE RETURNED AT HIS REQUEST.
DO NOT SCALE DRAWINGS.

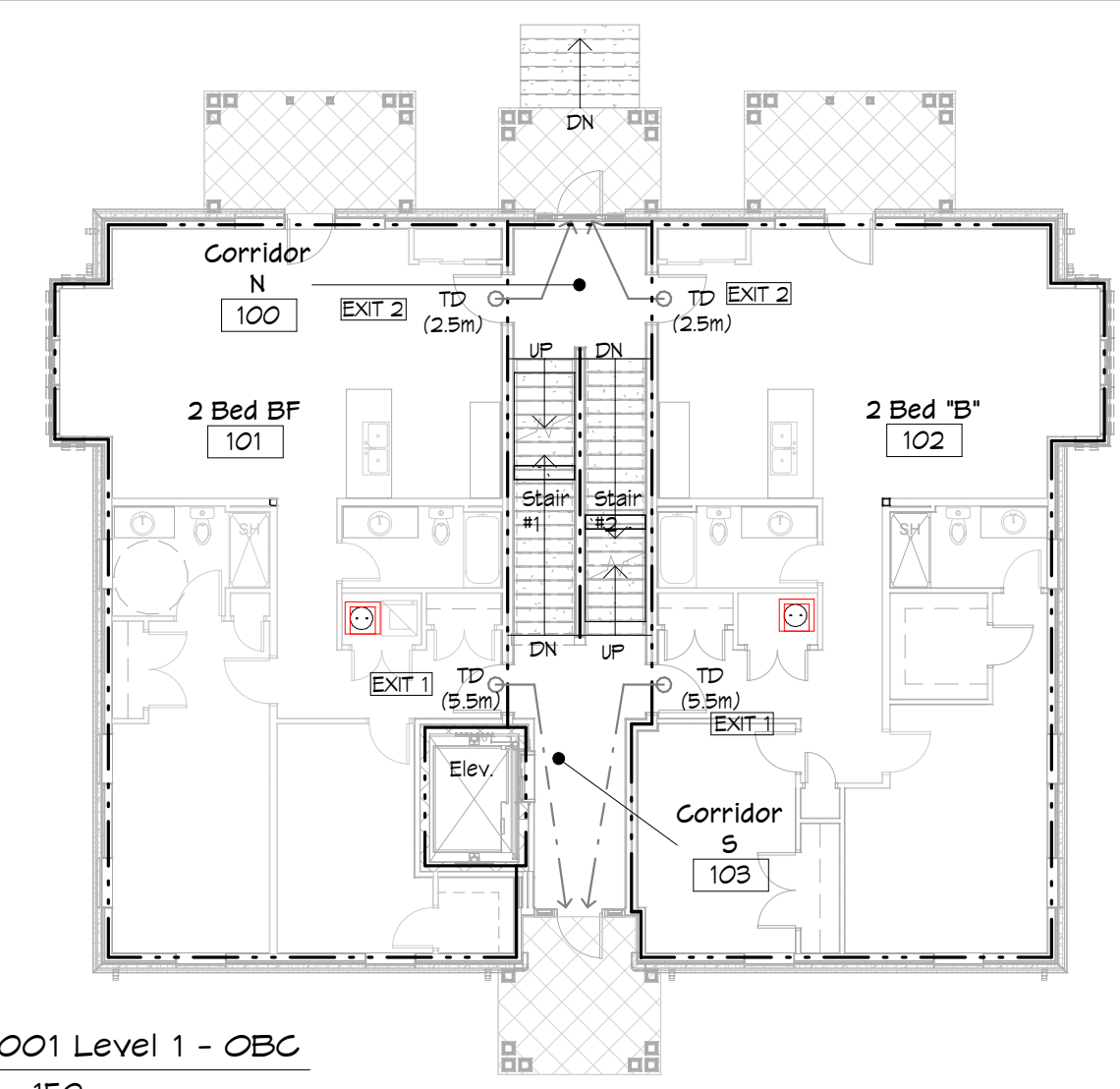


New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON
Site Plan

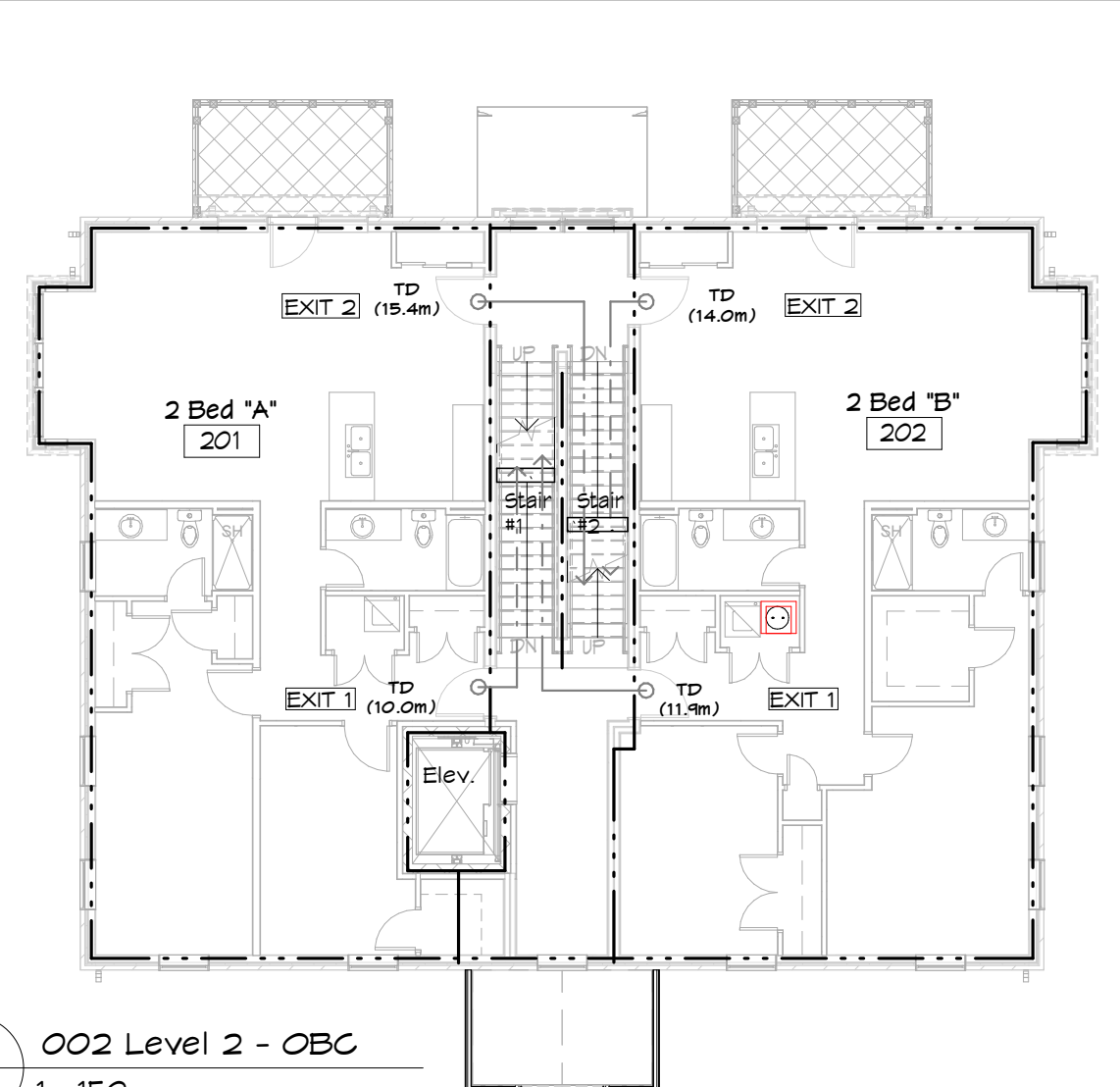
STATUS	SFA	PROJECT #	CHRD	PROJECT TITLE
STATUS	19056	J. Fryett	JMC	As indicated
DRAWN				20190326
SCALE				20200116
DATE DWN				
ISSUED				



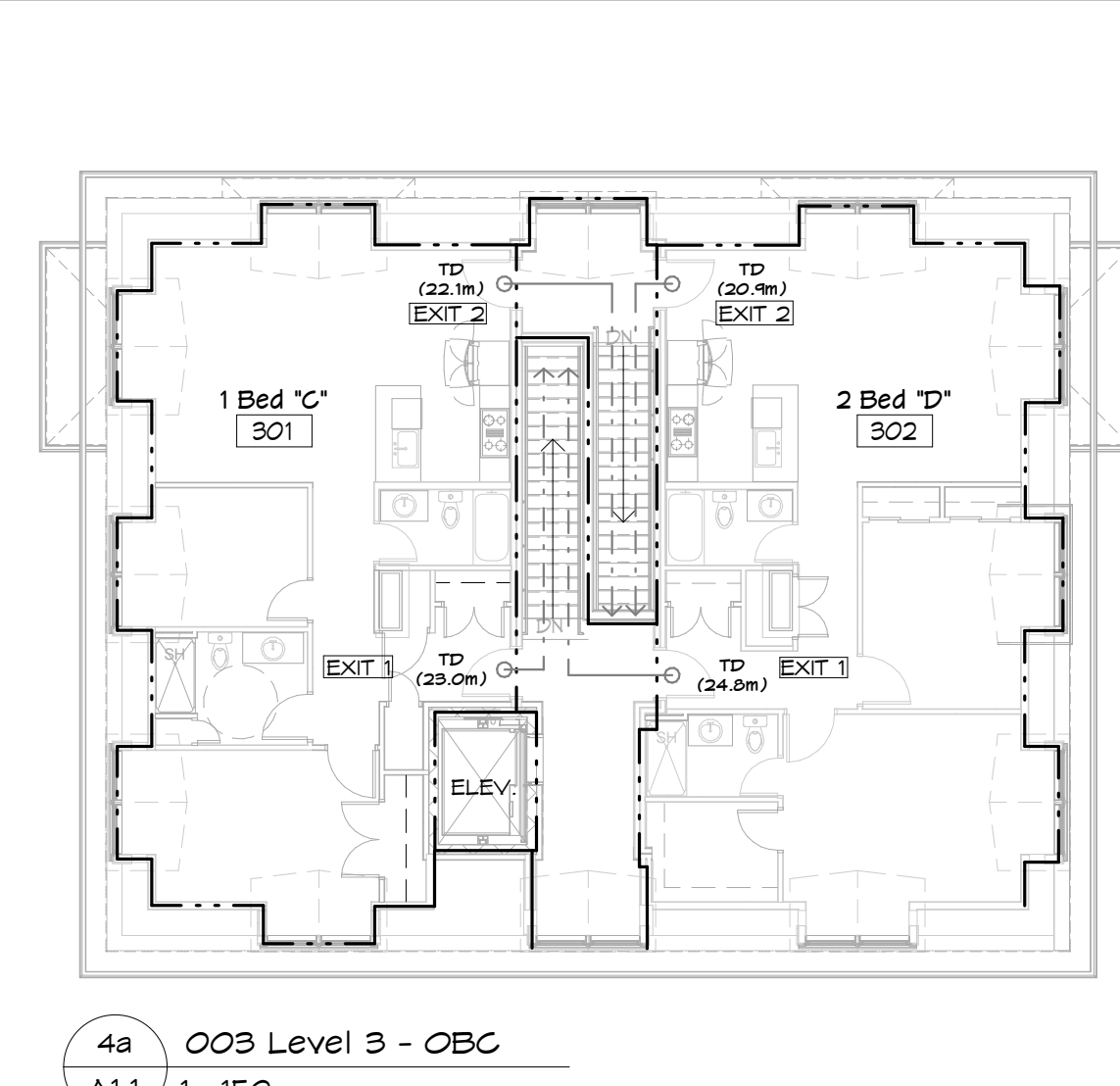
1a Basement Plan - OBC
A1.1 1: 150



2a 001 Level 1 - OBC
A1.1 1: 150



3a 002 Level 2 - OBC
A1.1 1: 150



4a 003 Level 3 - OBC
A1.1 1: 150

OBC LEGEND

FIRE SEPARATIONS/FIRE RESISTANCE RATINGS

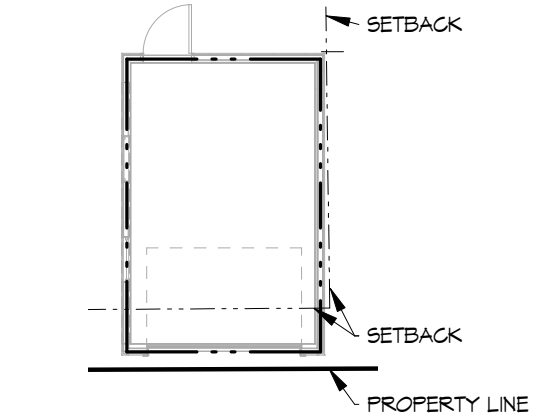
- 0 HR F.R.R. - FIRE SEPARATION
OBC 3.3.1.20.(5), 3.3.1.21.(3), 3.3.3.5.(4)
- 45 min. F.R.R. - FIRE SEPARATION
- 1 HR F.R.R. - FIRE SEPARATION
OBC 3.6.2.1.(1), (6), 3.3.3.5.(5)

TRAVEL DISTANCES / EXITING

- 45m MAX TRAVEL DISTANCE TO ONE EXIT.
OBC 3.4.2.5.(1)(c)
- 45m MAX TRAVEL DISTANCE TO NEXT FIRE COMPARTMENT.
OBC 3.3.3.5.(1)
- EXISTING TRAVEL DISTANCE
- OCCUPANT LOAD FOR EXIT

OTHER REGULATIONS

- REQUIRED AREA OF 2.5m²/PERSON FOR ADDITIONAL OCCUPANT LOAD FROM ADJACENT FIRE COMPARTMENT
OBC 3.3.3.5.(8)



5a 001 Level 1 - Garage OBC
A1.1 1: 150



1 Limiting Distance - North Elevation
A1.1 1: 100



2 Limiting Distance - East Elevation
A1.1 1: 100



3 Limiting Distance - South Elevation
A1.1 1: 100



4 Limiting Distance - West Elevation
A1.1 1: 100

Residential
L.D. = 19.42 Allowable Openings = 71%
Area of EBF Main Building = 230.8 m²
Opening Area = 48.7 m²
Proposed Opening Area = 21.1%
TABLE 9.10.14.5 F.R.R. WALL - 45 Min. Required Construction - Combustible or Noncombustible Cladding - Combustible or Noncombustible

Low Hazard Industrial (Garage)
L.D. = 25.55 Allowable Openings 100%
Area of EBF Garage = 10.9 m²
Opening Area = 2.4 m²
Proposed Opening Area = 24%
TABLE 9.10.14.5 F.R.R. WALL - 1 Hr. Required Construction - Combustible or Noncombustible Cladding - Noncombustible

Residential
L.D. = 14.79 Allowable Openings = 80.1%
Area of EBF Main Building = 230.8 m²
Opening Area = 36.1 m²
Proposed Unprotected Openings = 15.7%
TABLE 9.10.14.5 F.R.R. WALL - 45 Min. Required Construction - Combustible or Noncombustible Cladding - Combustible or Noncombustible

Low Hazard Industrial (Garage)
L.D. = 3.9 Allowable Openings 86.8%
Area of EBF Garage = 10.9 m²
Opening Area = 6 m²
Proposed Unprotected Openings 60%
TABLE 9.10.14.5 F.R.R. WALL - 1 Hr. Required Construction - Combustible or Noncombustible Cladding - Combustible or Noncombustible

Residential
L.D. = 6.36 Allowed Openings = 27.1%
Area of EBF - Main Building = 170.14 m²
Opening Area = 33.35 m²
Proposed Unprotected Openings = 14.6%
TABLE 9.10.14.5 F.R.R. WALL - 45 Min. Required Construction - Combustible or Noncombustible Cladding - Combustible or Noncombustible

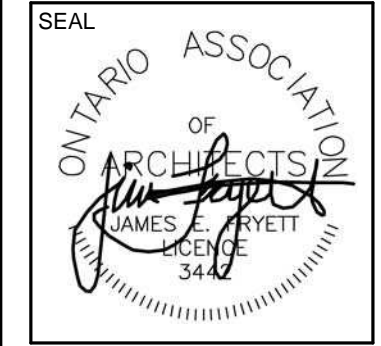
Low Hazard Industrial (Garage)
L.D. = 1.2 Allowed Openings = 9%
Area of EBF - Garage = 16.7 m²
Opening Area = 0.00 m²
Proposed Unprotected Openings = 0.00%
TABLE 9.10.14.5 F.R.R. WALL - 2 Hr. Required Construction - Noncombustible Cladding - Noncombustible

Residential
L.D. = 18.78 Allowed Openings = 92%
Area of EBF - Main Building = 170.14 m²
Opening Area = 35.6 m²
Proposed Unprotected Openings = 19.05%
TABLE 3.2.3.7 F.R.R. WALL - 45 Min. Required Construction - Combustible or Noncombustible Cladding - Combustible or Noncombustible

Low Hazard Industrial
L.D. = 41.6 Allowed Openings = 100%
Area of EBF - Garage = 16.7 m²
Opening Area = 2.25 m²
Proposed Unprotected Openings = 13.5%
TABLE 3.2.3.7 F.R.R. WALL - 1 Hr. Required Construction - Combustible or Noncombustible Cladding - Combustible or Noncombustible

2020-01-20 10:58:38 AM

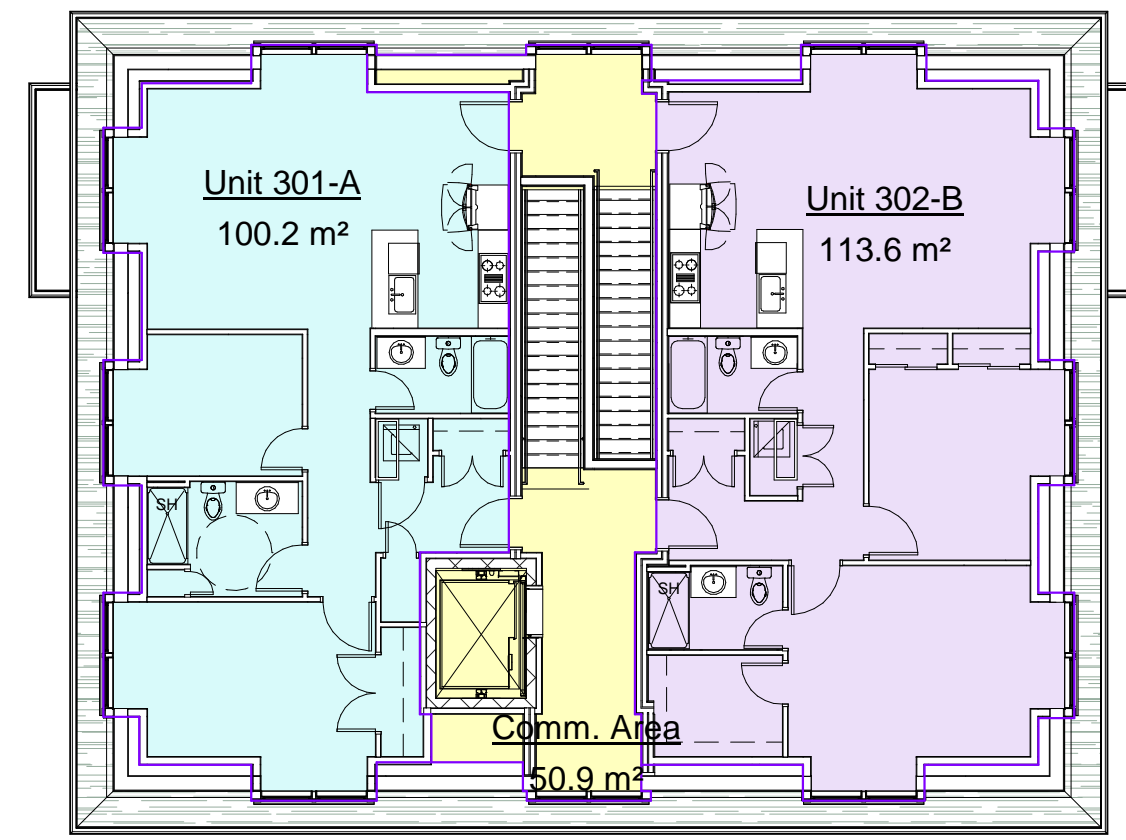
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE DEEMED TO BE CORRECT AND TO BE RETURNED AT HIS REQUEST. DO NOT SCALE DRAWINGS.



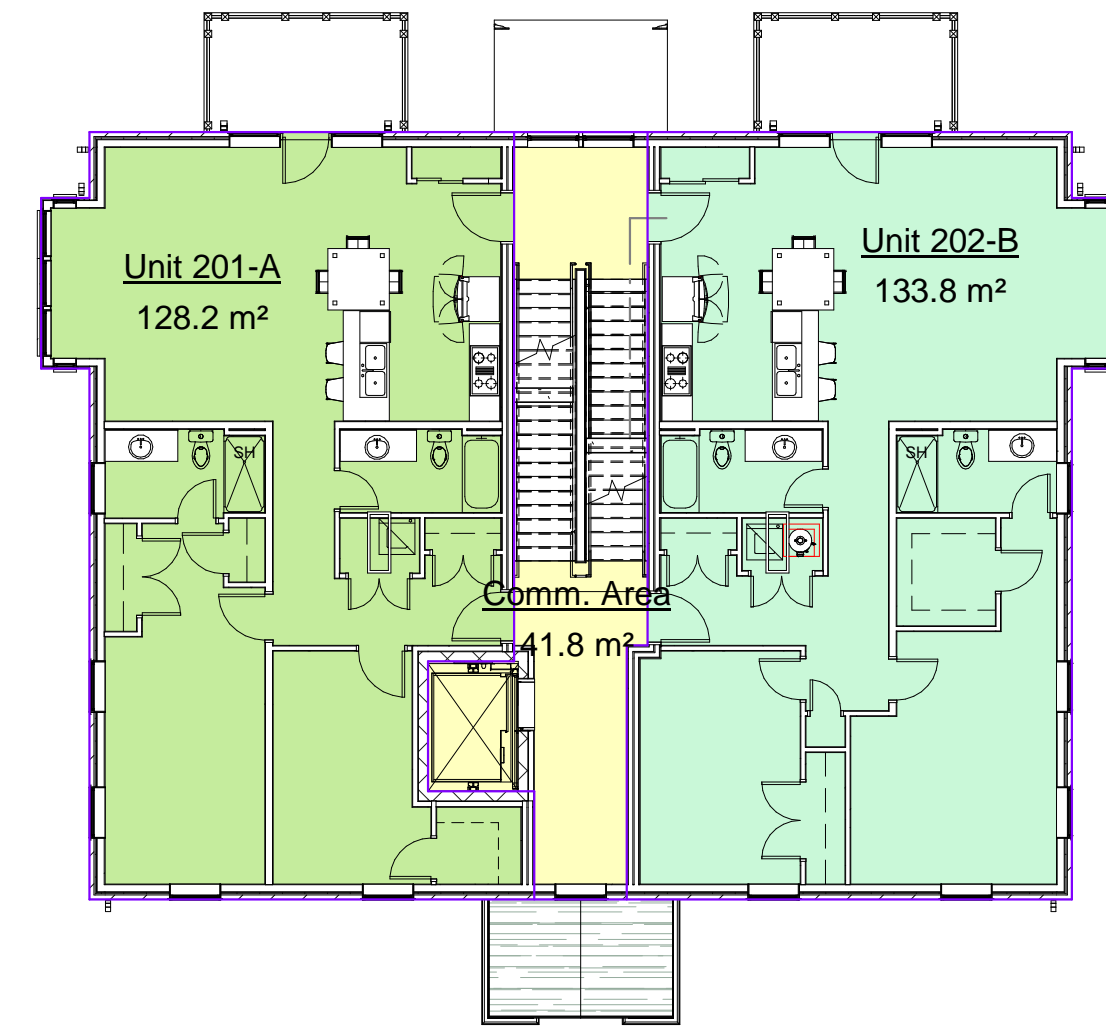
PROJECT NORTH

New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON
OBC Floor Plans and Limiting Distance Elevations

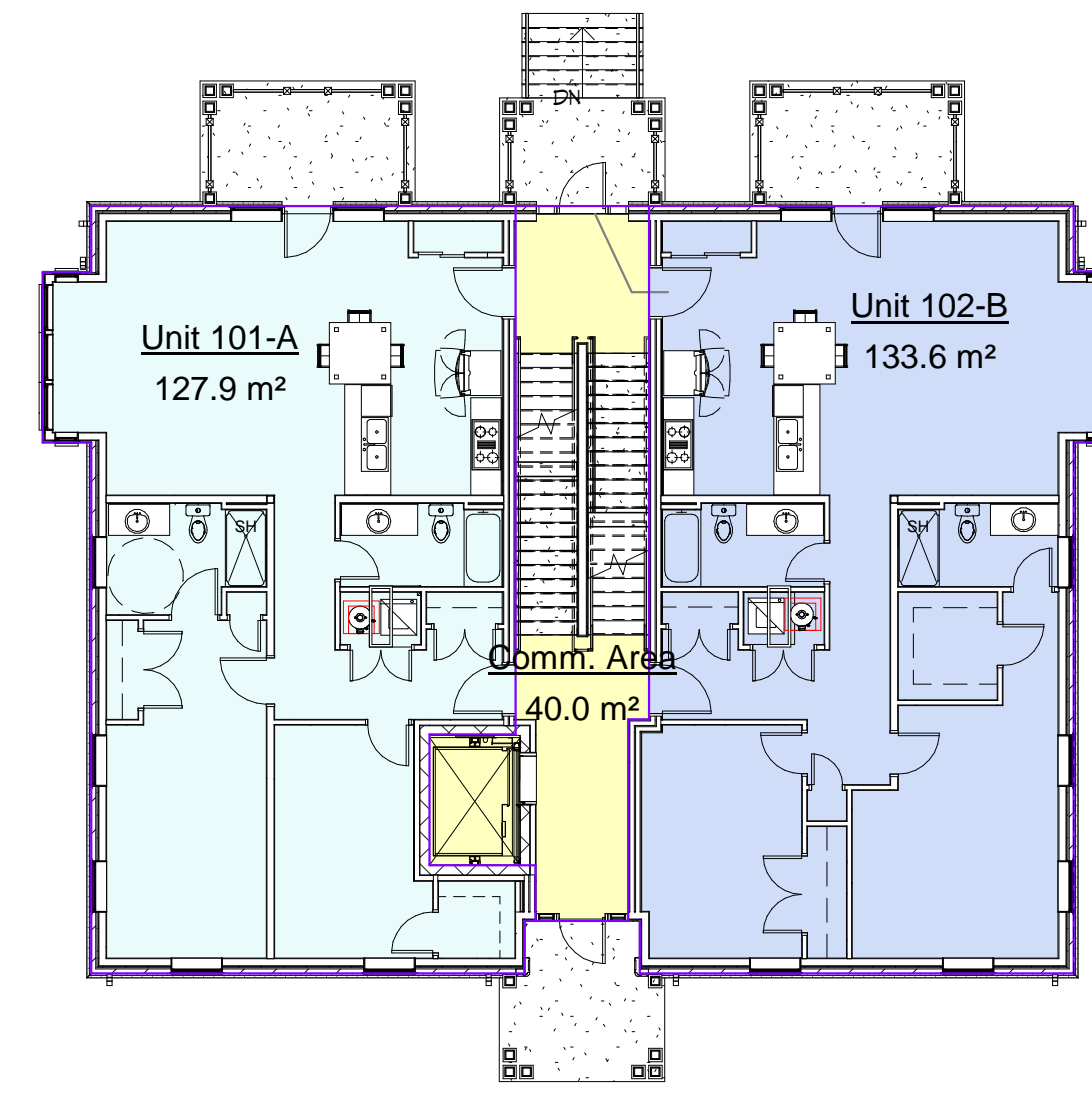
STATUS	SFA
PROJECT #	19056
CHKD	JEF
DRAWN	JMC
SCALE	As indicated
DATE DWN	02/07/14
ISSUED	20200116
SHEET #	



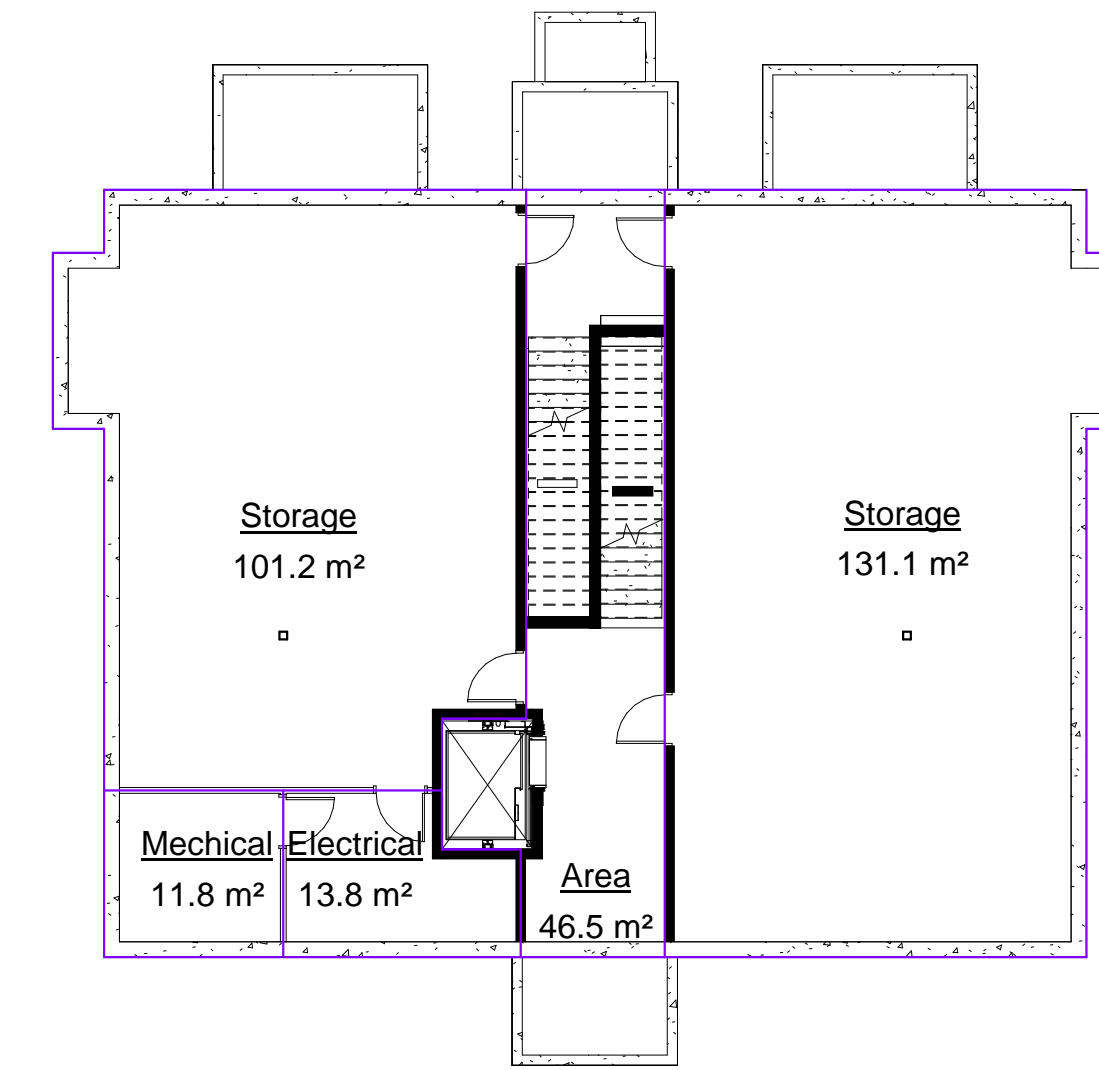
1 003 Level 3
A1.2 1: 150



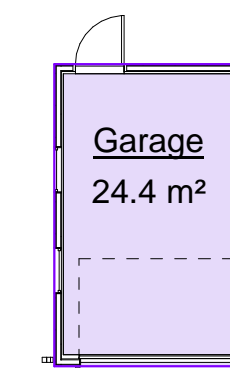
2 002 Level 2
A1.2 1: 150



3 001 Level 1
A1.2 1: 150

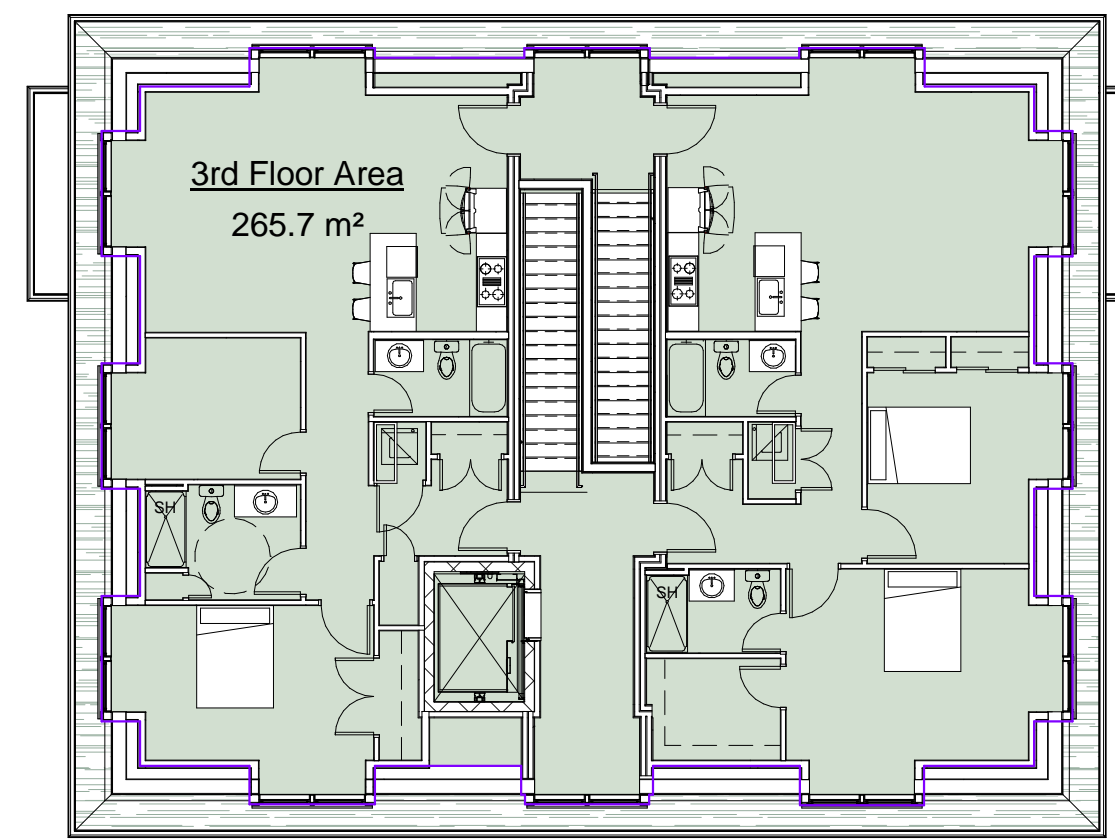


4 000 Basement
A1.2 1: 150

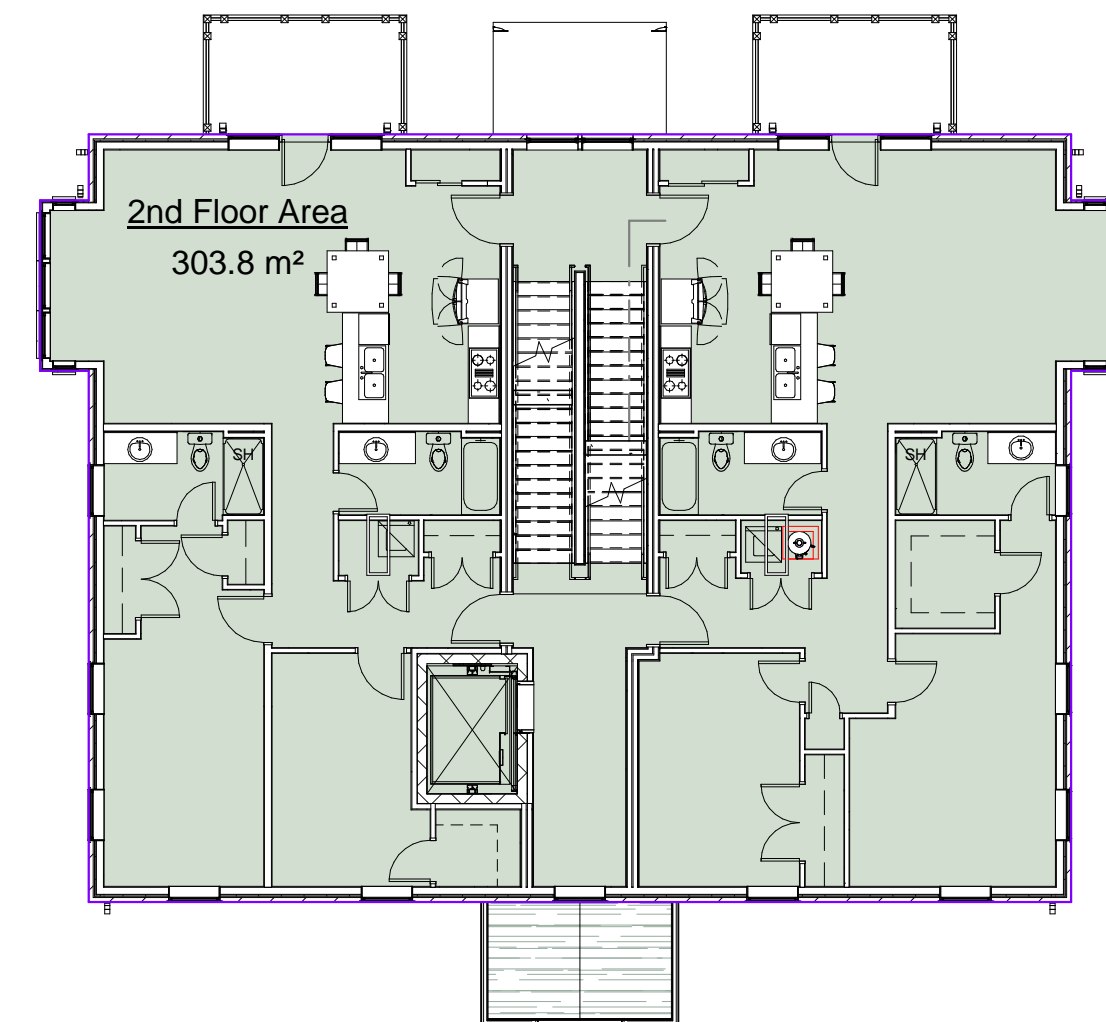


Garage
24.4 m²

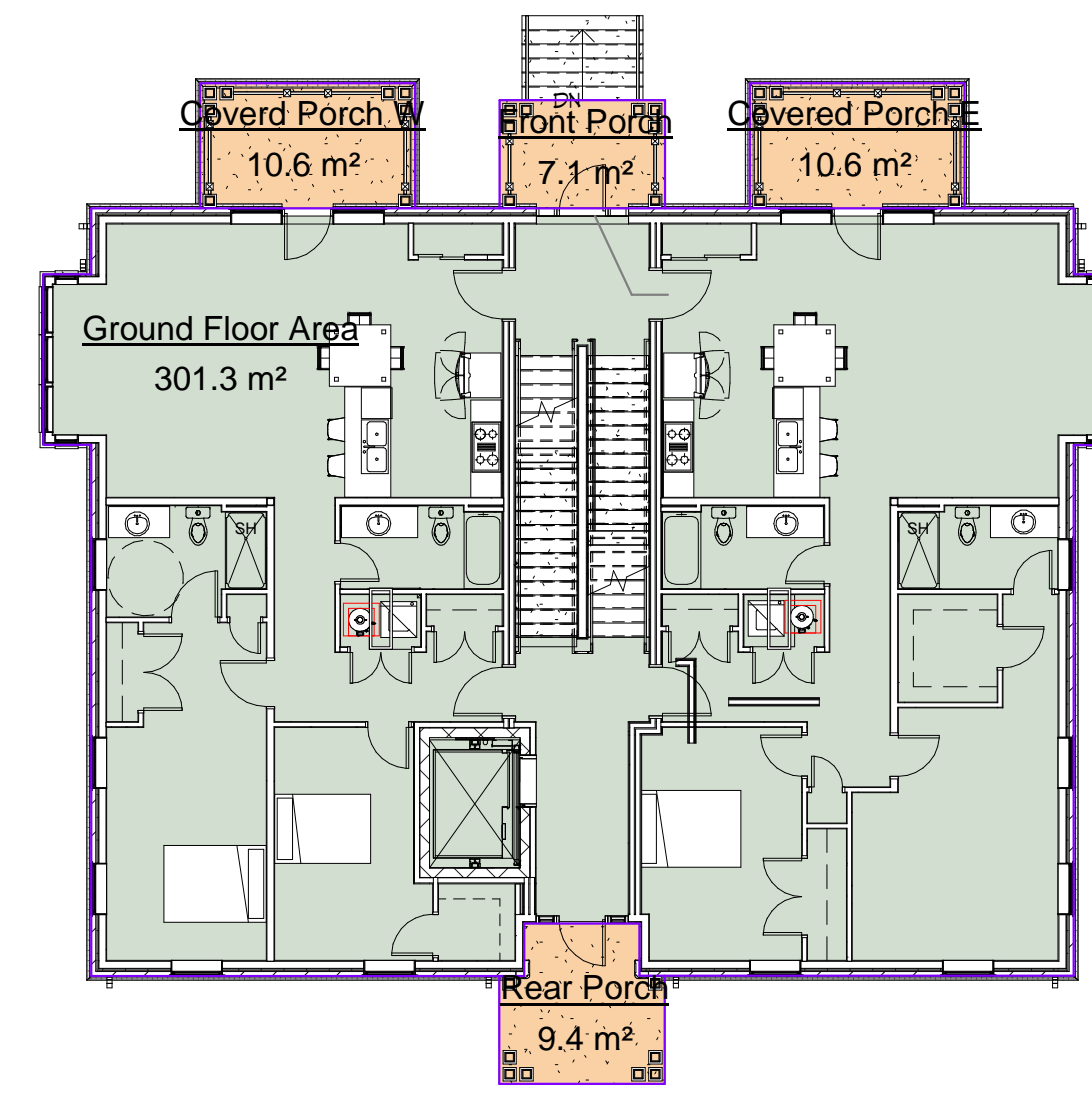
Area Schedule - Totals (Units)			
Level	Name	Area	Area SF
000 Basement	Storage	131 m²	1412 ft²
000 Basement	Storage	101 m²	1089 ft²
000 Basement	Mechanical	12 m²	127 ft²
000 Basement	Electrical	14 m²	148 ft²
000 Basement	Area	46 m²	500 ft²
000 Basement		304 m²	3276 ft²
001 Level 1	Unit 101-A	128 m²	1376 ft²
001 Level 1	Unit 102-B	134 m²	1438 ft²
001 Level 1	Comm. Area	40 m²	430 ft²
001 Level 1	Garage	24 m²	262 ft²
001 Level 1		326 m²	3507 ft²
002 Level 2	Unit 201-A	128 m²	1380 ft²
002 Level 2	Unit 202-B	134 m²	1440 ft²
002 Level 2	Comm. Area	42 m²	450 ft²
002 Level 2		304 m²	3270 ft²
003 Level 3	Unit 301-A	100 m²	1078 ft²
003 Level 3	Comm. Area	51 m²	548 ft²
003 Level 3	Unit 302-B	114 m²	1223 ft²
003 Level 3		265 m²	2849 ft²
Grand total: 15		1199 m²	12902 ft²



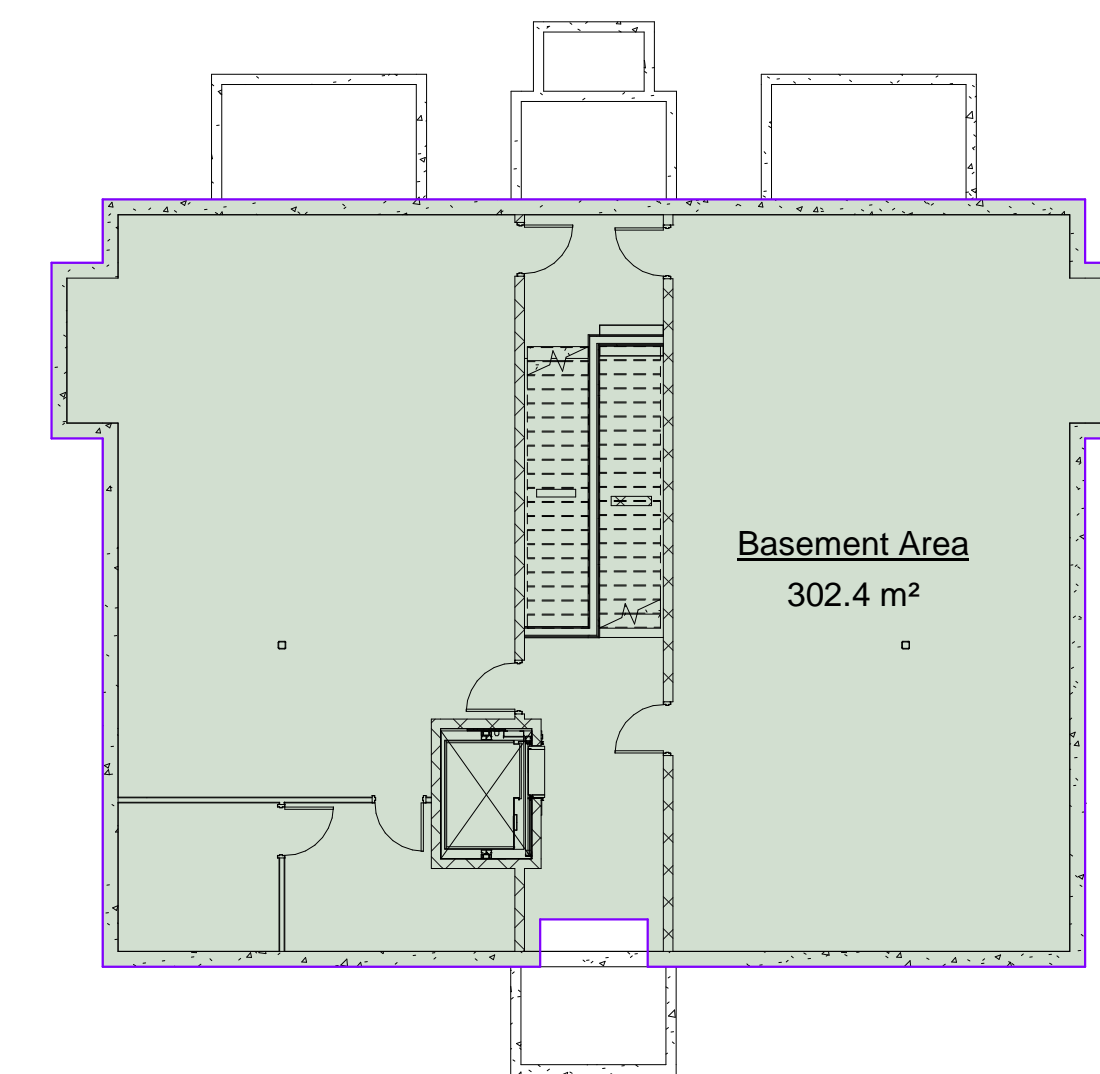
5 003 Level 3
A1.2 1: 150



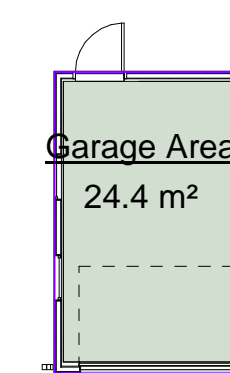
6 002 Level 2
A1.2 1: 150



7 000 Garage Level
A1.2 1: 150



8 000 Basement
A1.2 1: 150



Garage Area
24.4 m²

Area Schedule (Gross Building)			
Name	Area	Area SF	Area Total
Ground Floor Area	301 m²	3244 ft²	301 m²
Garage Area	24 m²	262 ft²	24 m²
2nd Floor Area	304 m²	3270 ft²	304 m²
3rd Floor Area	266 m²	2860 ft²	266 m²
Basement Area	302 m²	3255 ft²	302 m²
Grand total		1198 m²	

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE WORK UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE USED AS THE BASIS FOR CONSTRUCTION. DIMENSIONS AND SPECIFICATIONS ARE TO BE RETURNED AT HIS REQUEST. © COPYRIGHT



PROJECT NORTH

New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON
Area Plans

STATUS	SFA
PROJECT #	19056
CHKD	Checker
DRAWN	Checker
SCALE	1: 150
DATE DWN	08/20/19
ISSUED	20200116

2020-01-20 10:58:44 AM

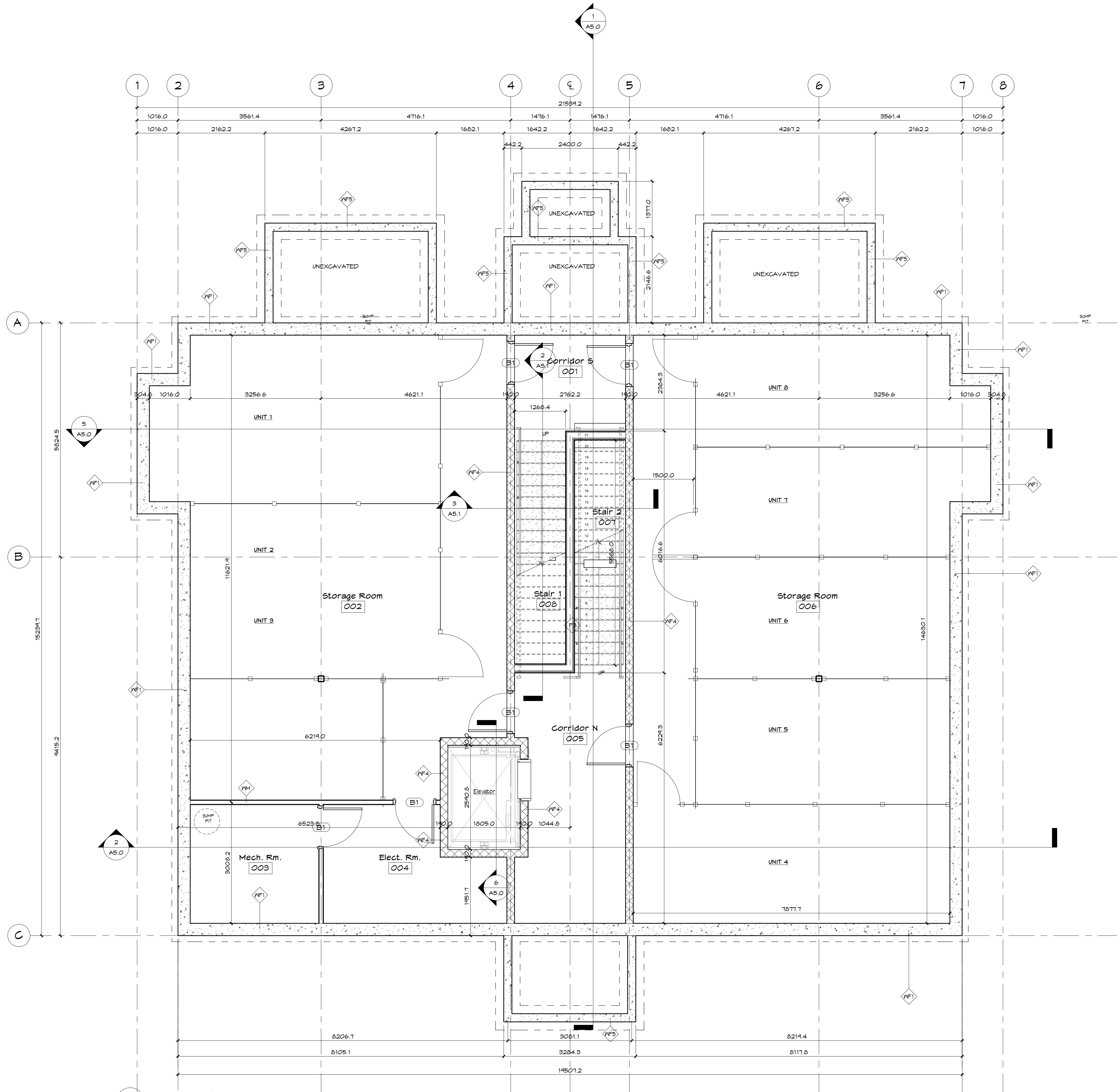
Elevators
Elevators must be approved by the Technical Standards & Safety Authority (TSSA) prior to their operation, as required by the Technical Safety Act and provide a copy of report to the building inspector. Elevator dimensions must conform to CBC 3.5.4.1.

Passenger elevators shall conform to Appendix E of ASME A17.1/CSA-B44, "Safety Code for Elevators and Escalators"; (Article B-9.5.2.2. of the CBC).

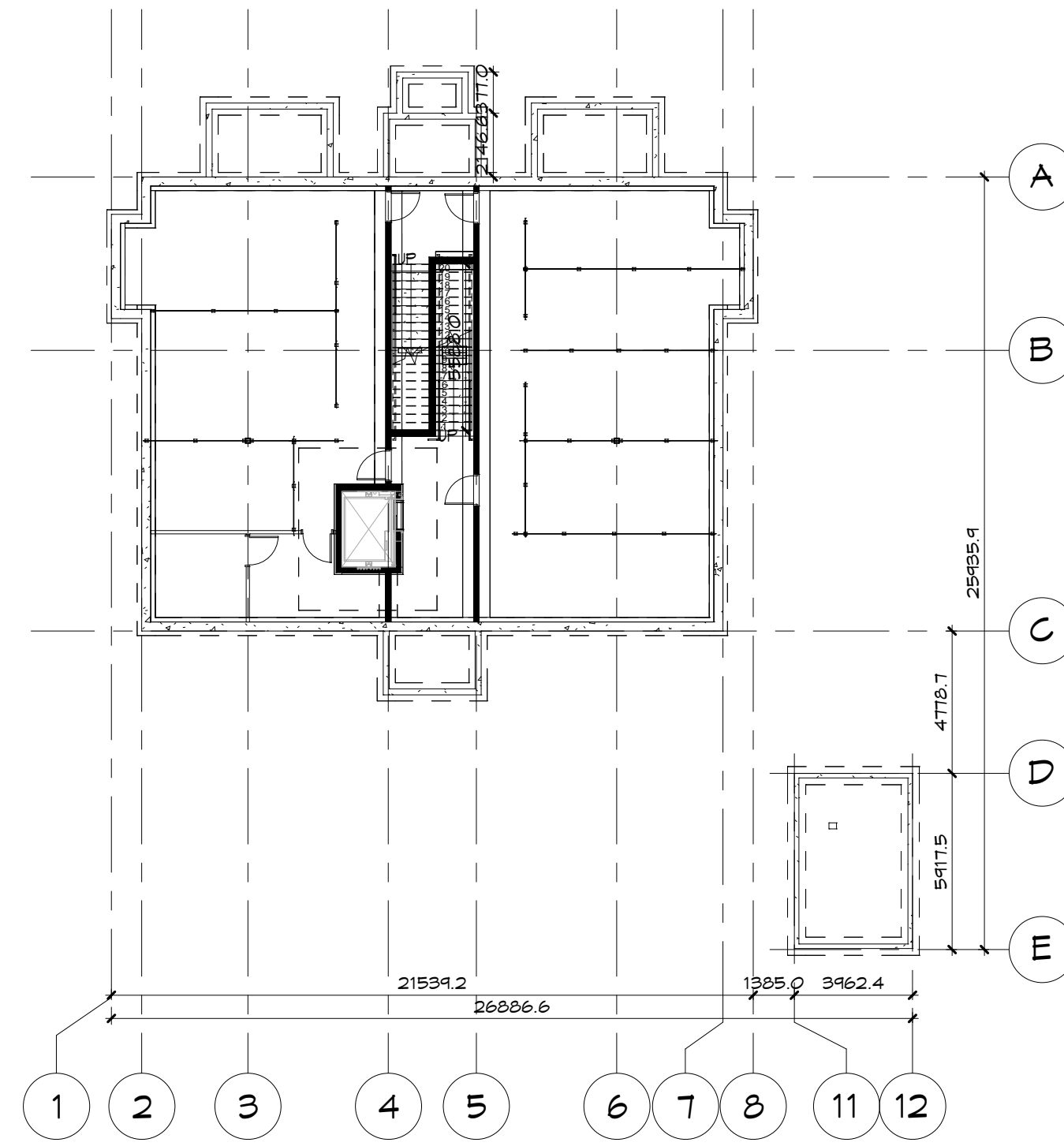
3.1.19.11. Elevator cars
(1) The wall and ceiling surfaces of elevator cars shall have a flame-spread rating of not more than 75.
(2) The wall, ceiling and floor surfaces of elevator cars shall have a smoke developed classification not more than 450.

PLAN LEGEND
(1) 1X HR. WALL TYPES SEE A1.1
XX = FIRE RESISTANCE RATING
(WINDOW TYPES SEE A1.2)
DOOR TYPES SEE A1.2
INTERIOR ELEVATIONS SEE A1.0

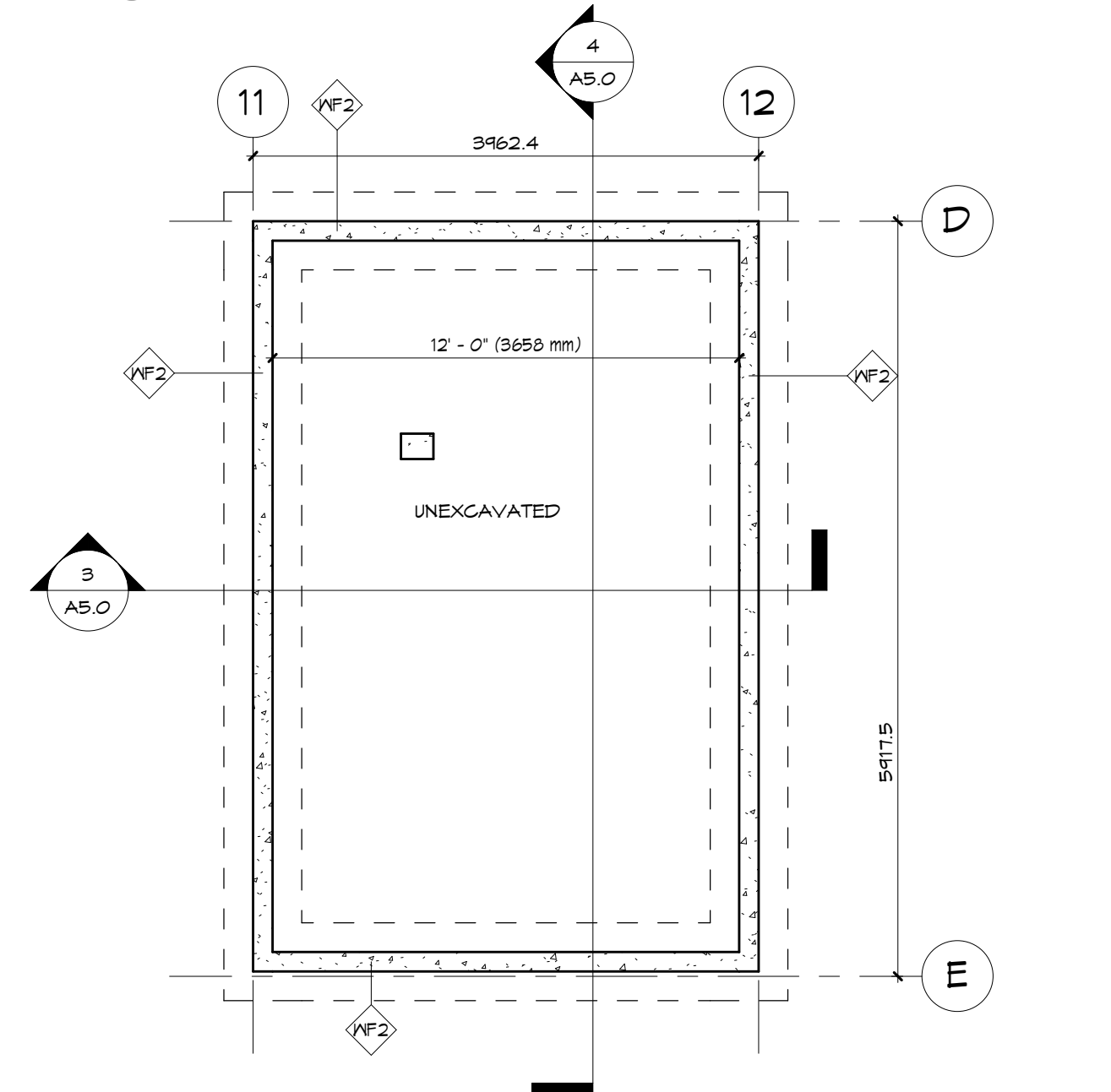
NOTES:
1) STRUCTURAL ELEMENTS SHOWN FOR COORDINATION PURPOSES ONLY - REFER TO STRUCTURAL DWGS FOR ALL STRUCTURAL ITEMS.
2) ALL BEAMS, WALLS AND COLUMNS SUPPORTING 2HR. RATED FLOORS ABOVE SHALL BE 2HR. F.R.R.
3) ALL INTERIOR STEEL BEAMS SUPPORTING PRE-CAST FLOOR TO BE FLUSH BEAMS U.O. SEE STRUCTURAL DWGS.
4) ROD AND SHELF TYPICAL ALL CLOSETS.



1 000 Basement
A2.0 1:50



3 000 Basement - Key Plan
A2.0 1:200



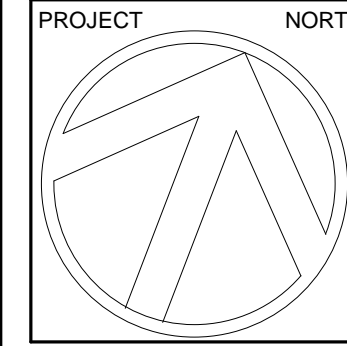
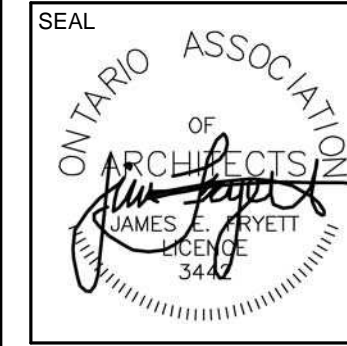
2 000 Basement - Garage
A2.0 1:50

1 Site Plan Approval
REVISIONS DATE 20200116

STATUS SHEET #

SFA	19056
PROJECT #	JIEF
CHKD	JMC
DRAWN	JMC
SCALE	As indicated
DATE DWN	08/20/19
ISSUED	20200116

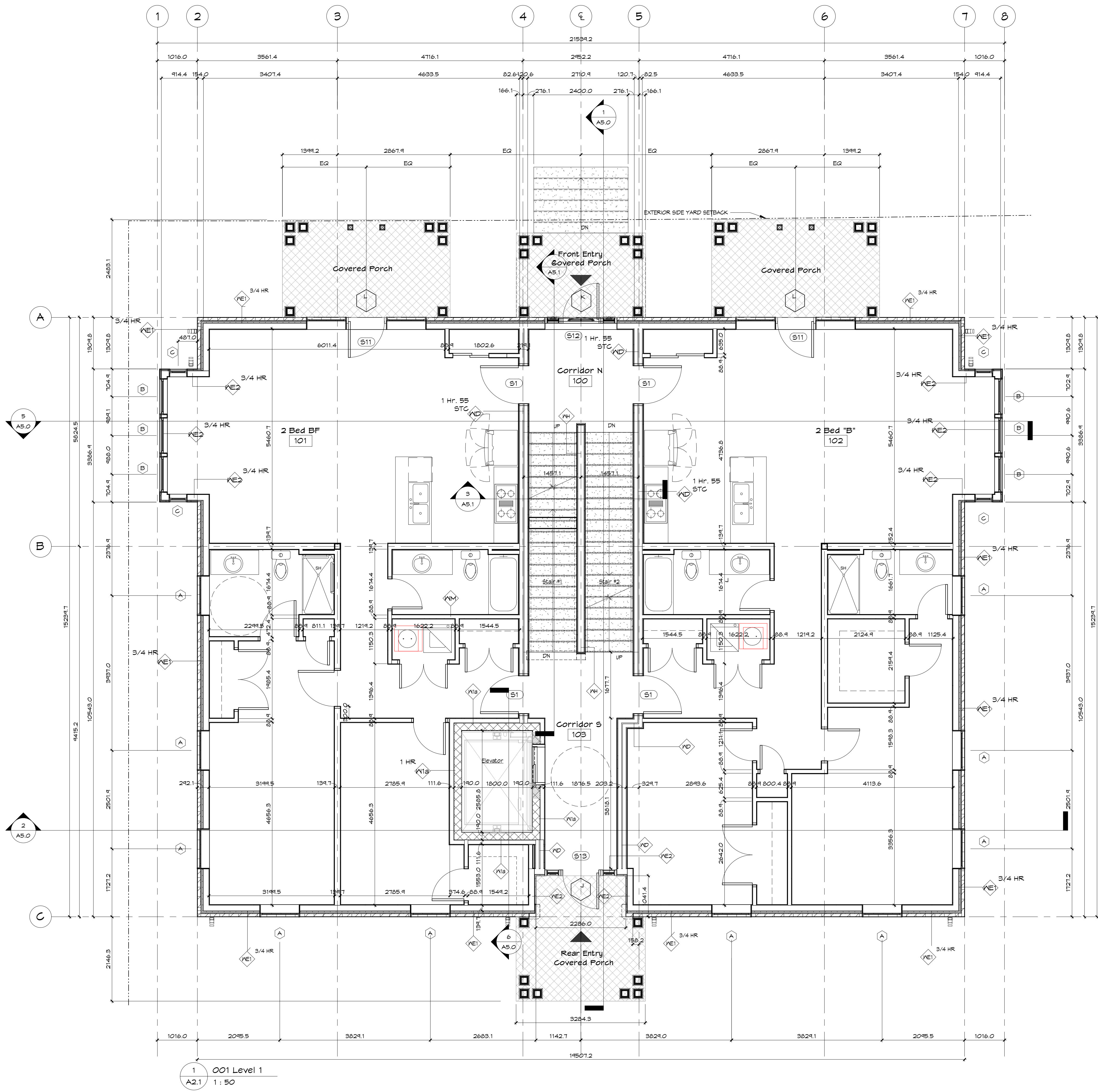
New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON
Basement Plans



JAMES FRYETT ARCHITECT INC.
115 Metcalfe Street
Egira, Ontario N0B 1S0
www.fryettarchitect.com
Tel: 519-846-2201
Fax: 519-846-0343

A2.0

2020-01-20 10:58:46 AM



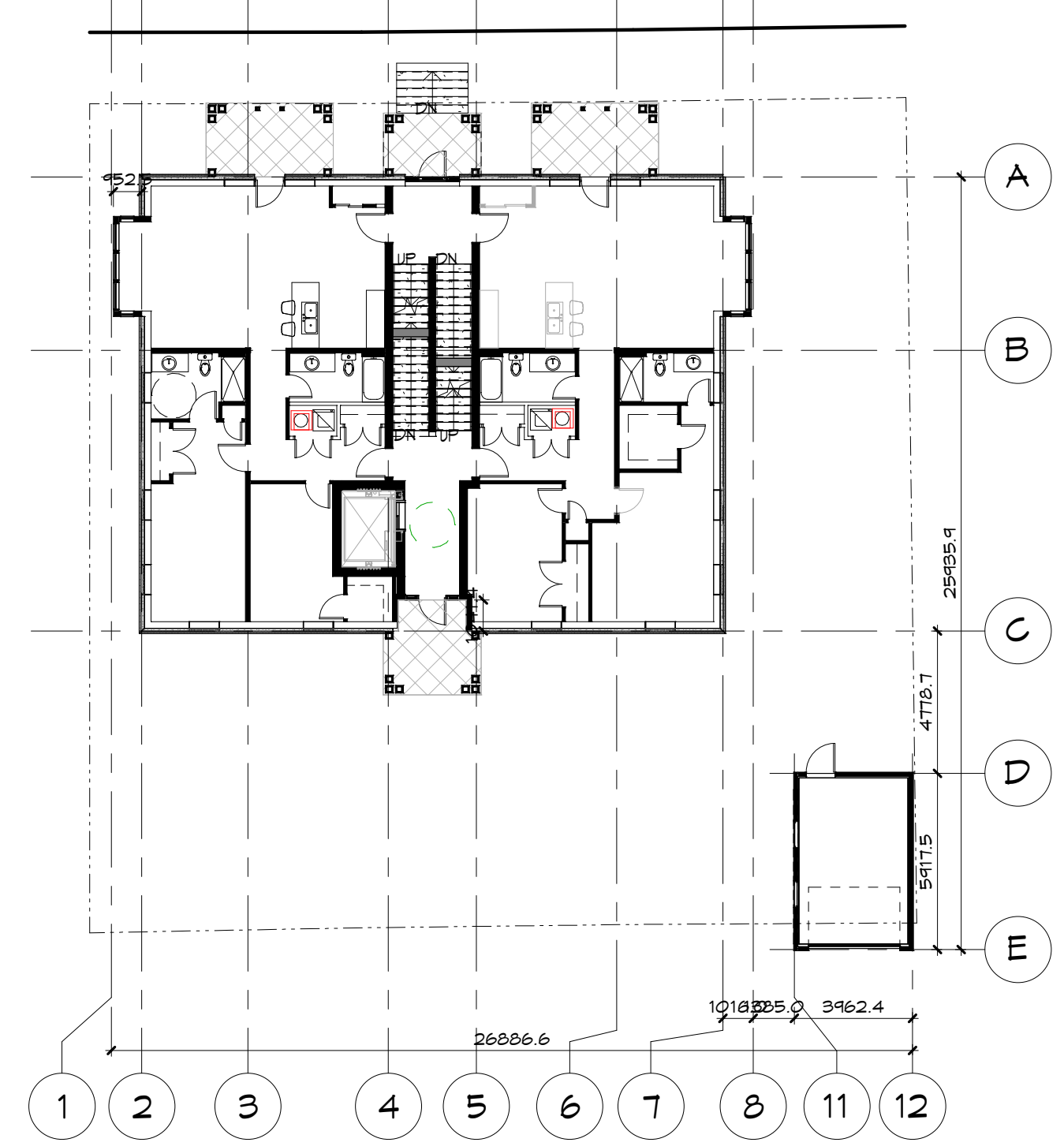
1 OO1 Level 1
A2.1 1:50

PLAN LEGEND

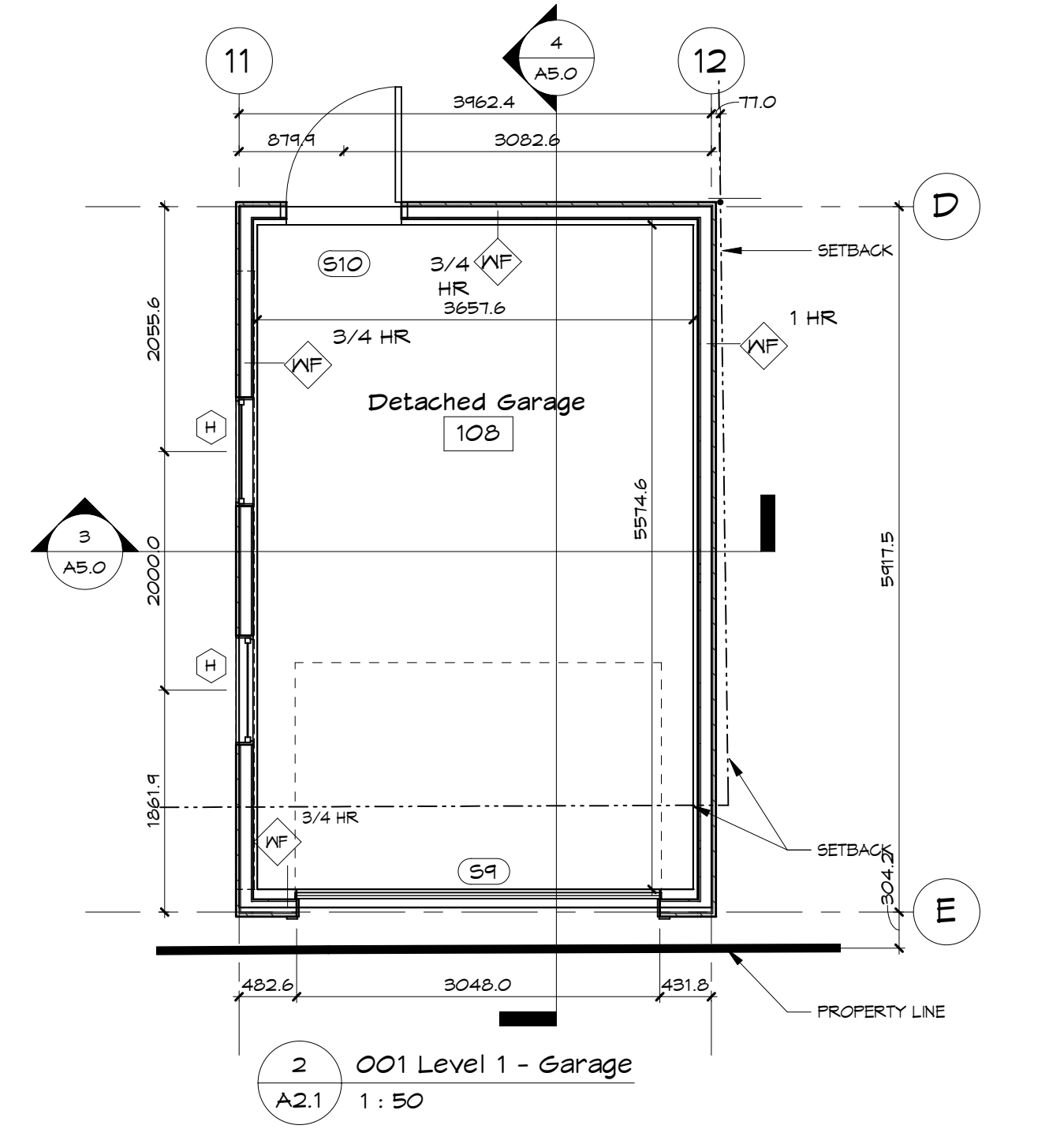
- ⬡^{xx} HR WALL TYPES SEE A1.1
xx = FIRE RESISTANCE RATING
- ⬡ WINDOW TYPES SEE A1.2
- ⬡ DOOR TYPES SEE A1.2
- ⬡ INTERIOR ELEVATIONS SEE A1.0

NOTES

- 1) STRUCTURAL ELEMENTS SHOWN FOR COORDINATION PURPOSES ONLY - REFER TO STRUCTURAL DWGS FOR ALL STRUCTURAL ITEMS.
- 2) ALL BEAMS, WALLS AND COLUMNS SUPPORTING 2-HR. RATED FLOORS ABOVE SHALL BE 2-HR. F.R.R.
- 3) ALL INTERIOR STEEL BEAMS SUPPORTING PRE-CAST FLOOR TO BE FLUSH BEAMS U.N.O. SEE STRUCTURAL DWGS.
- 4) ROD AND SHELF TYPICAL ALL CLOSETS.

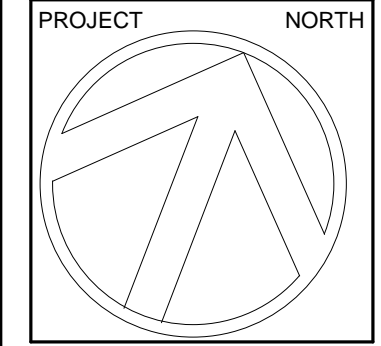
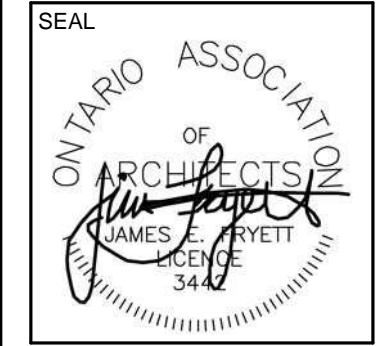


3 OO1 Level 1 - Key Plan
A2.1 1:200



2 OO1 Level 1 - Garage
A2.1 1:50

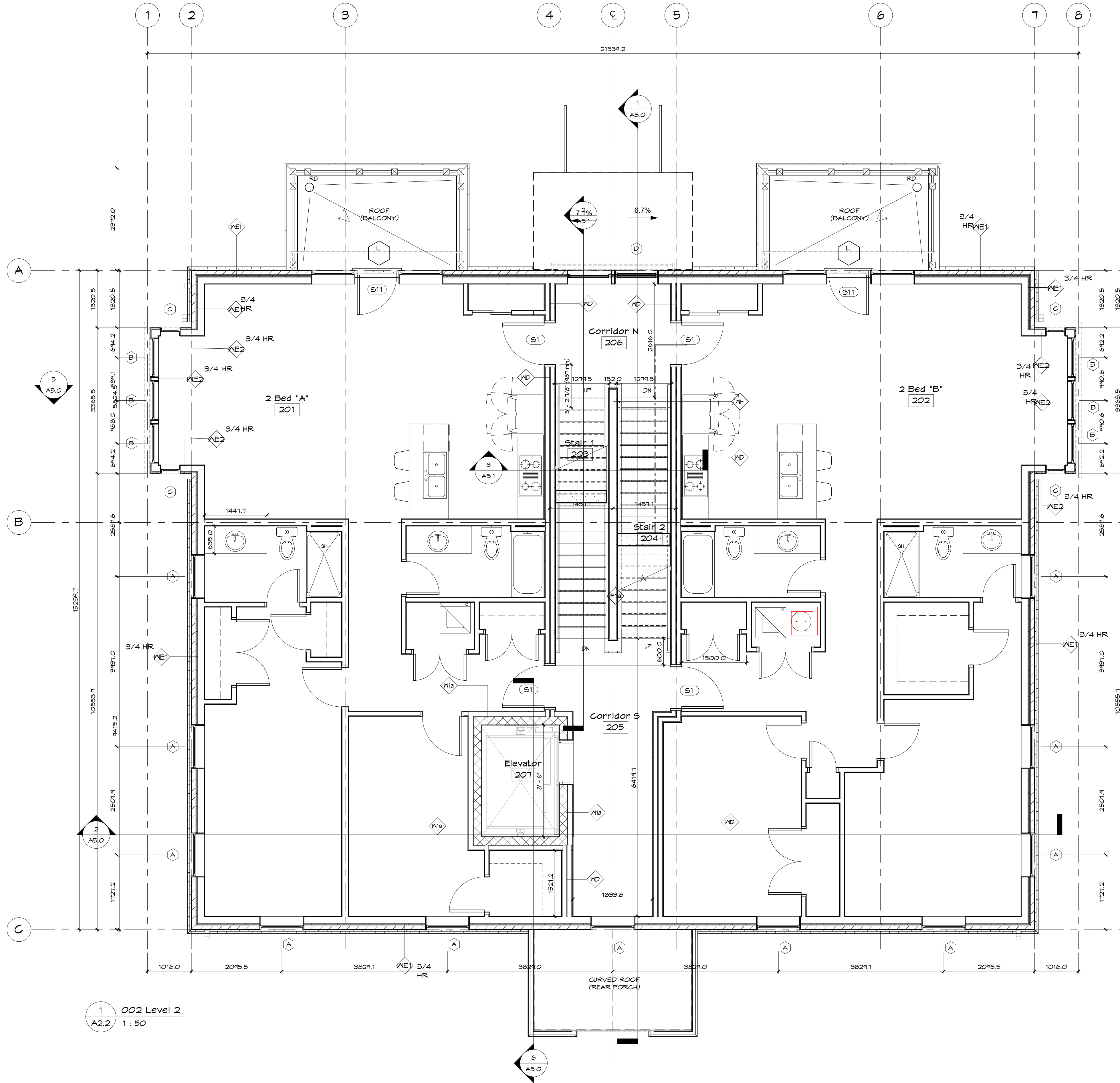
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.
 ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT OR HIS EMPLOYEES OR AGENTS ARE TO BE RETURNED AT HIS REQUEST.
 © COPYRIGHT 2020



New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON
Level 1 Plans

STATUS	SFA
PROJECT #	19056
CHKD	Checker
DRAWN	Author
SCALE	As indicated
DATE DWN	11/13/19
ISSUED	20200116

2020-01-20 10:58:47 AM



1 002 Level 2
 A2.2 1:50

PLAN LEGEND

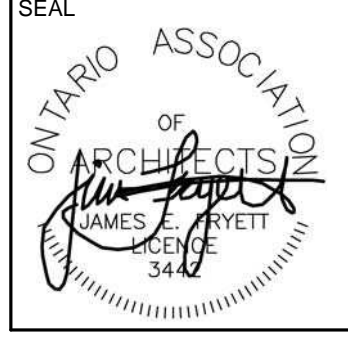
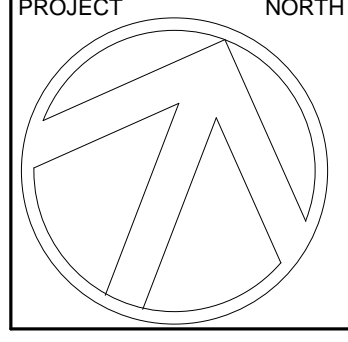
(M) xx HR WALL TYPES SEE AT.1
 xx = FIRE RESISTANCE RATING
 (A) WINDOW TYPES SEE AT.2
 (D1) DOOR TYPES SEE AT.2
 (A5.0) INTERIOR ELEVATIONS SEE AT.0

NOTES:

- 1) STRUCTURAL ELEMENTS SHOWN FOR COORDINATION PURPOSES ONLY - REFER TO STRUCTURAL DWGS FOR ALL STRUCTURAL ITEMS.
- 2) ALL BEAMS, WALLS AND COLUMNS SUPPORTING 2-HR. RATED FLOORS ABOVE SHALL BE 2-HR. F.R.R.
- 3) ALL INTERIOR STEEL BEAMS SUPPORTING PRE-CAST FLOOR TO BE FLUSH BEAMS U.N.O. SEE STRUCTURAL DWGS.
- 4) ROD AND SHELF TYPICAL ALL CLOSETS.

STATUS	SFA
PROJECT #	19056
CHKD	Checker
DRAWN	Author
SCALE	As Indicated
DATE DWN	12/04/19
ISSUED	20200116

New Amherst, 6 Plex
 Block 123- New Amherst, Cobourg, ON
 Level 2 Plan



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE ONLY - REFER TO STRUCTURAL DWGS FOR ALL STRUCTURAL ITEMS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

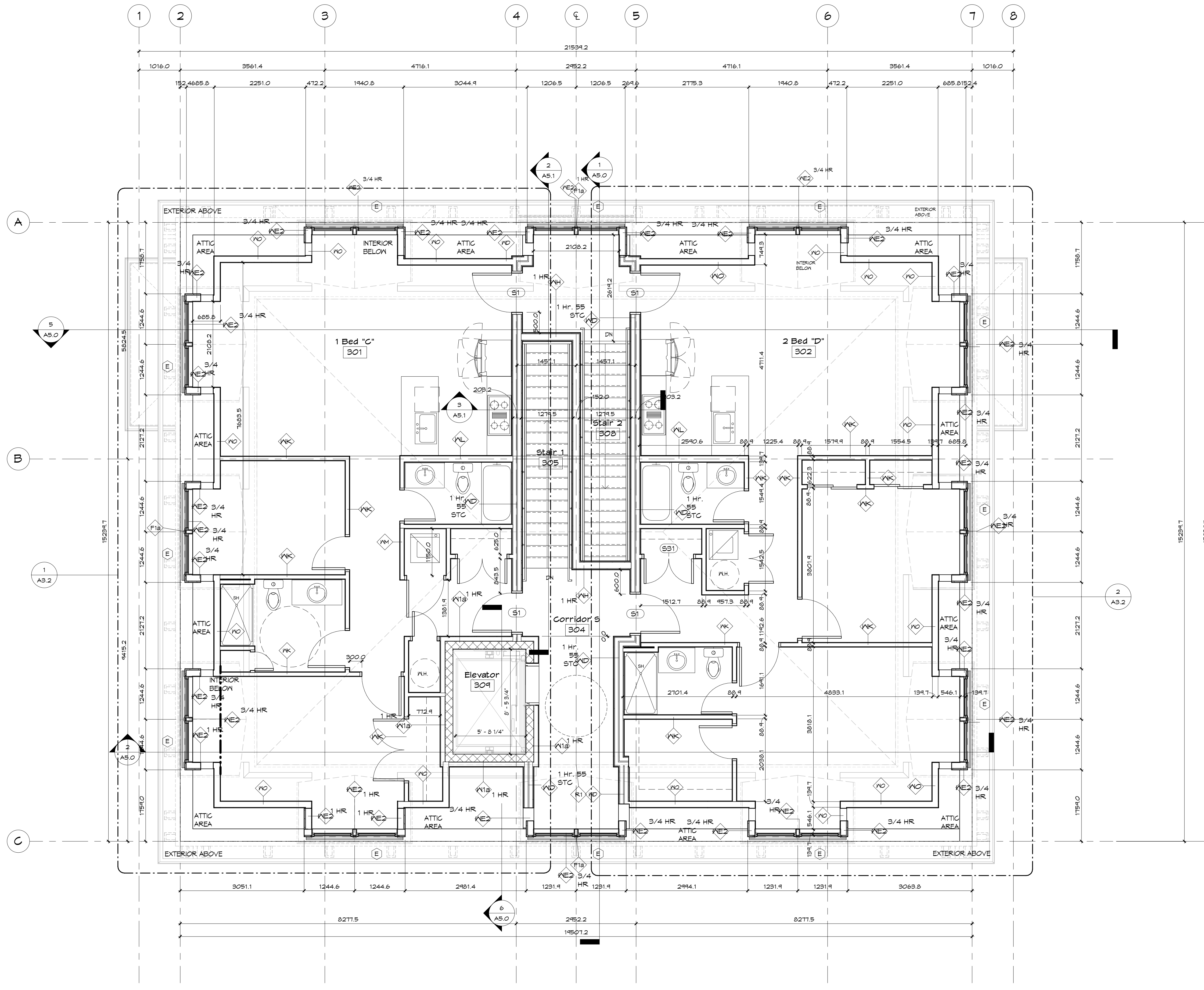
ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT ARE TO BE RETURNED AT HIS REQUEST AND ARE TO BE RETURNED AT HIS REQUEST.

DO NOT SCALE DRAWINGS.

JAMES FRYETT ARCHITECT INC.
 115 Metcalfe Street
 Elora, Ontario N0B 1S0
 Tel: 519-846-2201
 Fax: 519-846-0343
 www.fryettarchitect.com

2020-01-20 10:58:50 AM

1 003 Level 3
A2.3 1:50



PLAN LEGEND

- WALL TYPES SEE A1.1
- XX = FIRE RESISTANCE RATINGS
- WINDOW TYPES SEE A1.2
- DOOR TYPES SEE A1.2
- INTERIOR ELEVATIONS SEE A1.0

NOTES

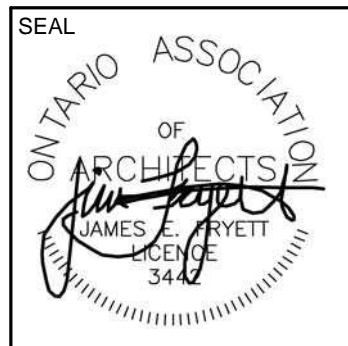
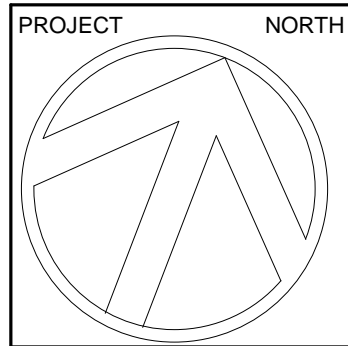
- 1) STRUCTURAL ELEMENTS SHOWN FOR COORDINATION PURPOSES ONLY - REFER TO STRUCTURAL DWGS FOR ALL STRUCTURAL ITEMS.
- 2) ALL BEAMS, WALLS AND COLUMNS SUPPORTING 2-HR. RATED FLOORS ABOVE SHALL BE 2-HR. F.R.R.
- 3) ALL INTERIOR STEEL BEAMS SUPPORTING PRE-CAST FLOOR TO BE FLUSH BEAMS U.O. SEE STRUCTURAL DWGS.
- 4) ROD AND SHELF TYPICAL ALL CLOSETS.

STATUS	SFA
PROJECT #	19056
CHKD	Checker
DRAWN	Author
SCALE	As Indicated
DATE DWN	12/04/19
ISSUED	20200116

PROJECT TITLE

New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON

Level 3 Plan



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

ALL DRAWINGS AND SPECIFICATIONS PREPARED BY THE ARCHITECT ARE THE PROPERTY OF JAMES FRYETT ARCHITECT INC. AND ARE TO BE RETURNED AT HIS REQUEST.

© COPYRIGHT 2020

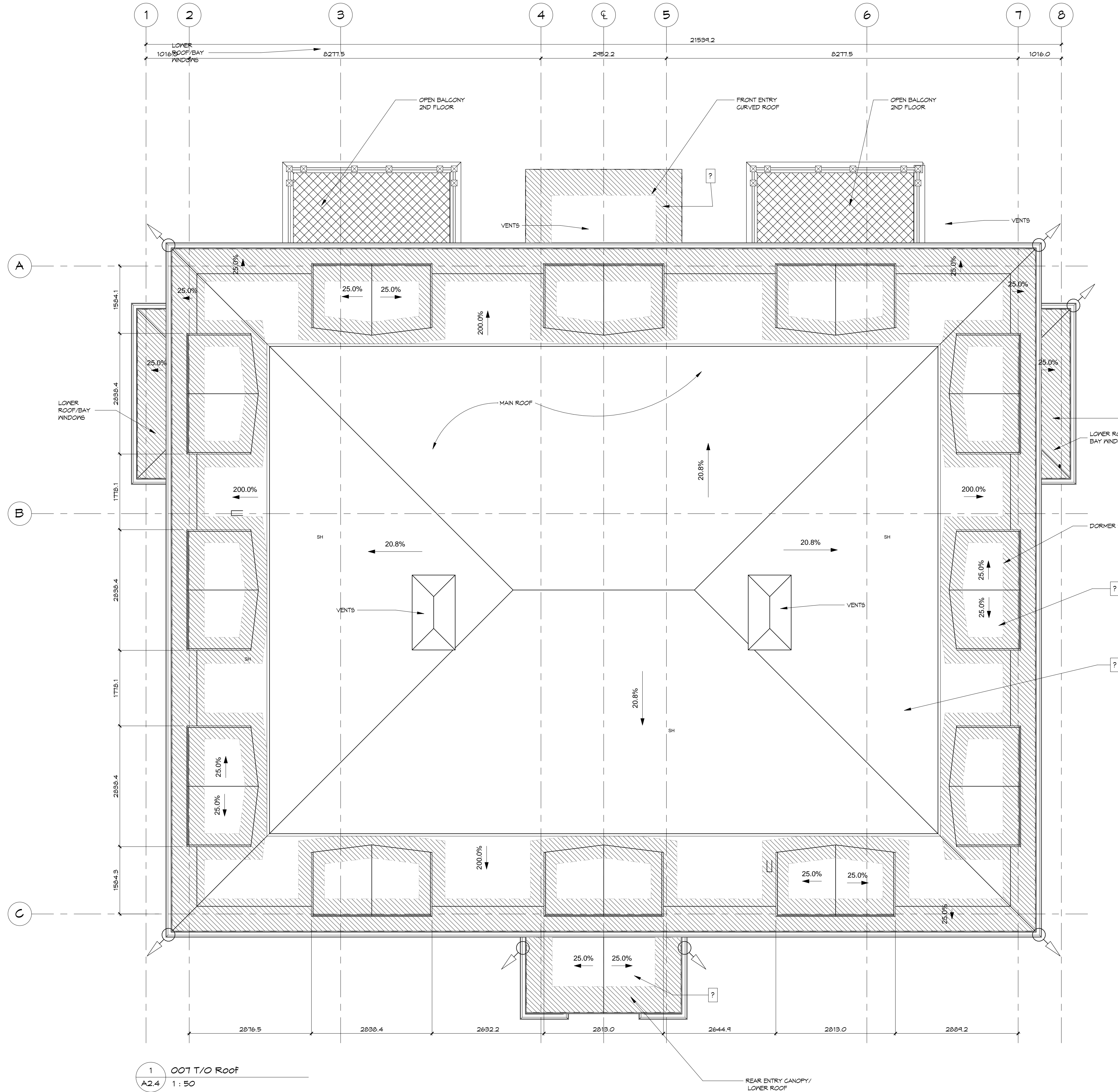
JAMES FRYETT ARCHITECT INC.
115 Metcalfe Street
Elora, Ontario N0B 1S0
www.fryettarchitect.com

Tel: 519-846-2201
Fax: 519-846-0343

1 Site Plan Approval
REVISIONS DATE

A2.3

2020-01-20 10:58:51 AM



ROOF PLAN NOTES

HATCHED AREA INDICATES EAVE PROTECTION AREA
PROVIDE ICE & WATER SHIELD FOR EAVE PROTECTION FROM EDGE OF EAVE TO MIN. 1'-0" BEYOND INNER FACE OF EXTERIOR WALL AT ALL VALLEYS & AT ALL AREAS SHOWN HATCHED (TYP.)

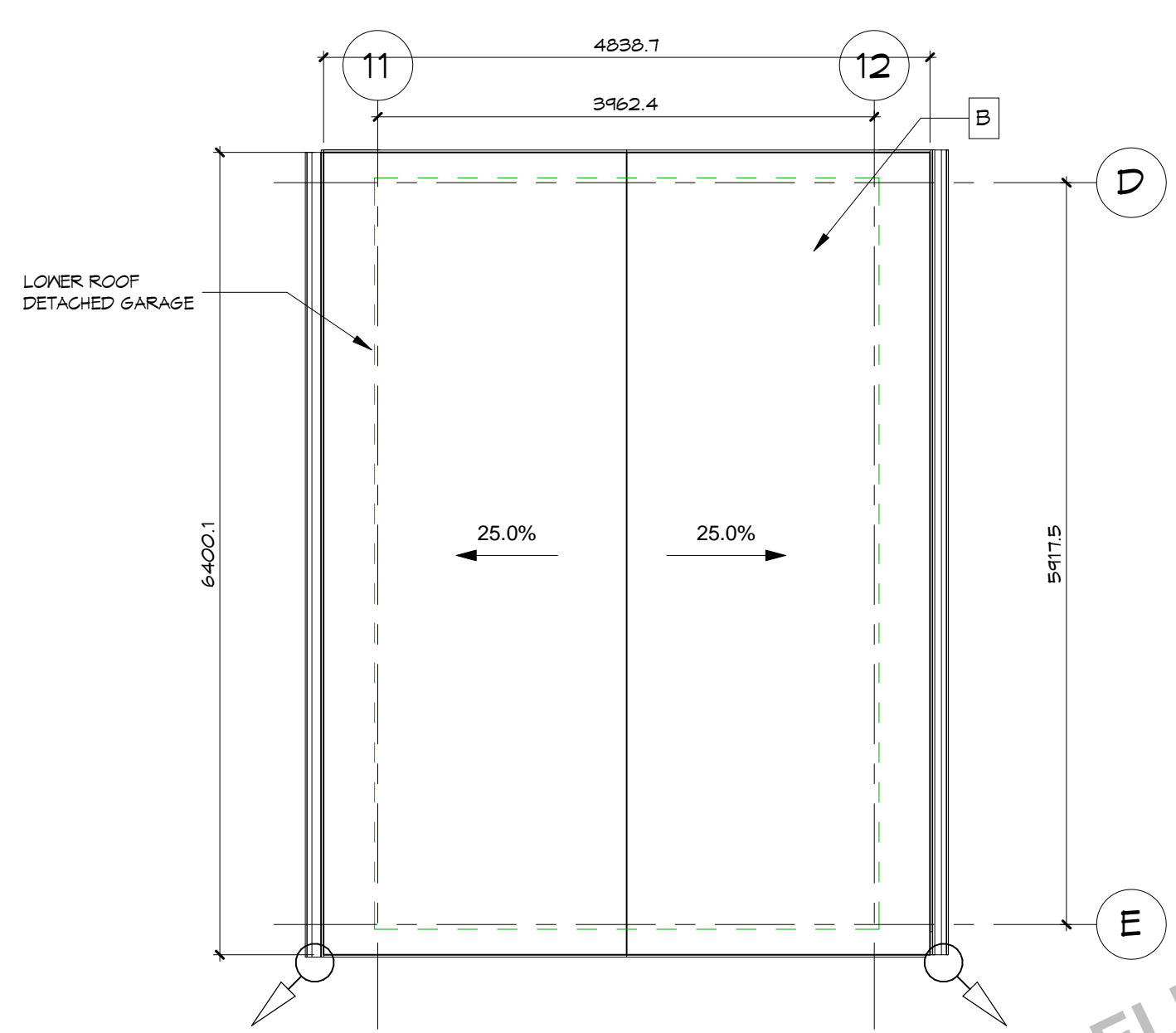
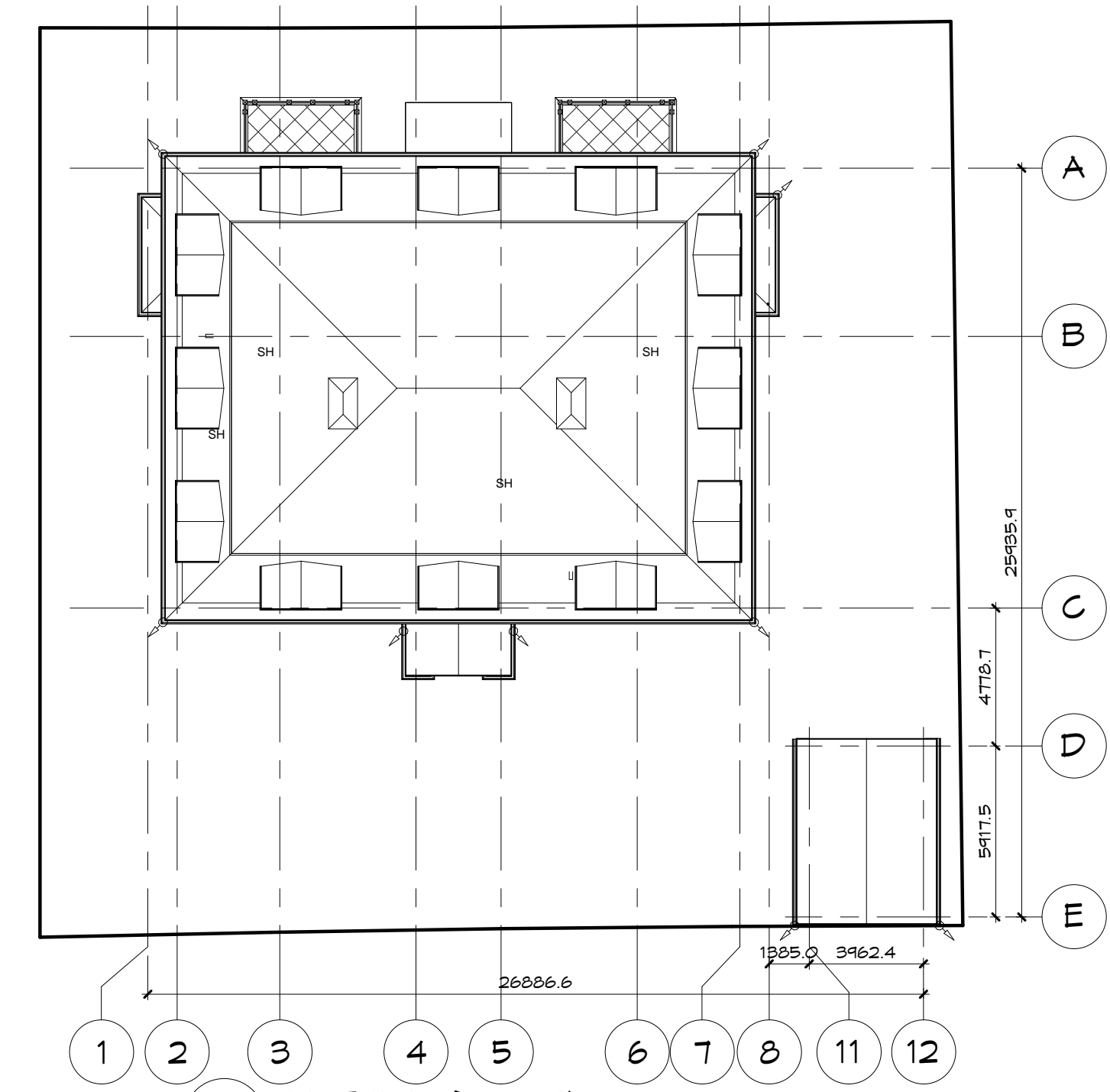
ROOF ANCHOR NOTES

APPROX. LOCATIONS OF ROOF ANCHORS REFER TO ENGINEER STAMPED SHOP DRAWINGS

A. ROOF RISINGS ANCHORS BY DESIGN BUILD - INSURE LOCATIONS AND DESIGN OF ROOF ANCHOR/SLEEVE SYSTEM FOR WINDOW GLASSING TO MEET O.B.C. AND ALL OTHER APPLICABLE CODES. PROVIDE ENG. SEALED SHOP DRAWINGS FOR REVIEW

B. ROOF ANCHOR/SLEEVE CONNECTION MUST NOT PENETRATE THROUGH P.C. ROOF IN TEXTURED P.C. CEILING AREAS

ROOF DOWNSPOUT



PRELIMINARY

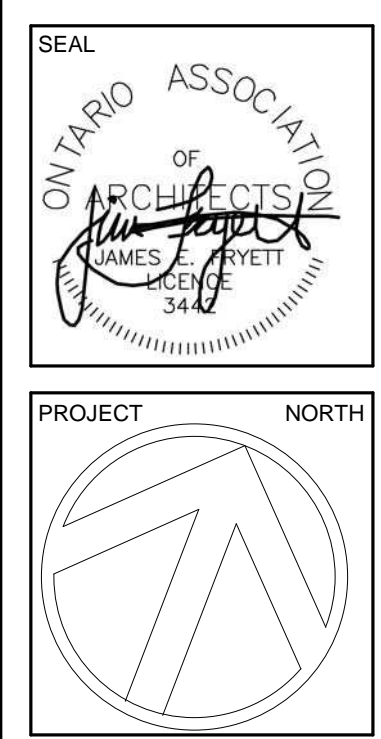
1 Site Plan Approval
REVISIONS DATE

20200116

STATUS	SFA
PROJECT #	19056
CHKD	Checker
DRAWN	Author
SCALE	As Indicated
DATE DWN	FEB. 26/19
ISSUED	20200116

New Amherst, 6 Plex
Block 123- New Amherst, Cobourg, ON

Roof Plans



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF THE PROJECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE HELD IN LIABILITY.

ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE DEEMED TO BE PARTS OF HIS SERVICE AND ARE TO BE RETURNED AT HIS REQUEST.

© COPYRIGHT

JAMES FRYETT ARCHITECT INC.

11.5 Metcalfe Street
Egira, Ontario N0B 1S0
www.jfryettarchitect.com

Tel: 519-846-2201
Fax: 519-846-0343

A2.4

2020-01-20 10:59:41 AM



1 Building Elevation North
A4.0 1 : 100

- 007 T/O Roof 104972
- 006 Mid Roof Permitted 103595
- 005 Mid Roof Proposed 102372
- 004 Knee Wall Plate 99171
- 003 Level 3 99133
- 002 Level 2 95456
- 001 Level 1 91780
- 000 Garage Level 91580



3 Building Elevation West
A4.0 1 : 100

- 007 T/O Roof 104972
- 006 Mid Roof Permitted 103595
- 005 Mid Roof Proposed 102372
- 004 Knee Wall Plate 99171
- 003 Level 3 99133
- 002 Level 2 95456
- 001 Level 1 91780

MATERIAL LEGEND

A	BRICK 1 - BRAMPTON BRICK - HISTORIC CRIMSON
B	ROOF SHINGLE - DARK GREY
C	PAINTED CORBEL - CHARCOAL GREY
D	PAINTED MOOD PANELING - CHARCOAL GREY
E	PRE-FINISHED STUCCO MOULDING - CHARCOAL GREY FINISH C/W UV INHIBITOR
F	PRECAST CONCRETE LINTEL/SILL
G	VINYL WINDOW - ALMOND
H	VINYL SIDING - CHARCOAL GREY
J	PRECAST SILL

OTHER ELEMENTS
 PATIO DOORS - ALMOND
 FLASHING - TO MATCH ADJACENT SURFACE
 BALCONY GUARDS - BLACK

NOTE: CONFIRM FINAL COLOUR SELECTIONS WITH OWNER



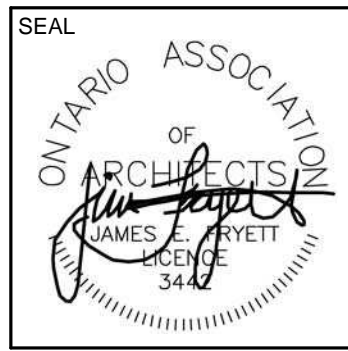
2 Building Elevation South
A4.0 1 : 100



4 Building Elevation East
A4.0 1 : 100

- 007 T/O Roof 104972
- 003 Level 3 99133
- 002 Level 2 95456
- 001 Level 1 91780

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE COURSE OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.
 ALL DIMENSIONS AND SPECIFICATIONS PREPARED BY THE ARCHITECT SHALL BE DEEMED TO BE CORRECT AND TO BE RETAINED AT HIS RISK.
 © COPYRIGHT



PROJECT NORTH

New Amherst, 6 Plex
 Block 123- New Amherst, Cobourg, ON
 Building Elevations

STATUS	SFA
PROJECT #	19056
CHKD	Checker
DRAWN	Author
SCALE	As Indicated
DATE DWN	08/20/19
ISSUED	20200116