

INFORMATION TAKEN FROM:

PLAN OF SURVEY SHOWING TOPOGRAPHIC DETAIL OF

PART OF LOT 21, CONCESSION A LOT 8 AND PART LOTS 1, 2, 3, 7, 9, 10, AND 11, PART OF UNNAMED STREET KNOWN AS COURT HOUSE ROAD

(CLOSED BY BY-LAW 148-92, INSTRUMENT NC209537)

PART OF BLOCK A, CADDY PLAN (FORMERLY LOT 21, CONCESSION A)

TOWN OF COUBOURG COUNTY OF NORTHUMBERLAND

AS PREPARED BY - IVAN B. WALLACE O.L.S. 71 MEARNS COURT, UNIT 1, BOWMANVILLE, ON, L1C 4N4

SURVEY TAKEN: JULY 8, 2016

DISTANCES AND COORDINATES ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. DISTANCES ARE 'GROUND' AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 1.00021.

ELEVATIONS: ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD28) BY DIRECT MEASUREMENT TO A REAL TIME NETWORK

BEARING NOTES: BEARINGS HEREON ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORPs) 'A' AND 'B' BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17,

FOR BEARING COMPARISIONS, THE FOLLOWING ROTATIONS WERE APPLIED:

P1, P2, P3, P5, P9 - 2°00'10" COUNTER CLOCKWISE P6 - 2°01'30" COUNTER CLOCKWISE P8 - 2°01'10" COUNTER CLOCKWISE P10 - 2°00'40" COUNTER CLOCKWISE

CONTOURS: CONTOURS SHOWN HEREON ARE DRAWN AT 0.20

METRE INTERVALS

ALL INFORMATION SHOWN REGARDING EXISTING AND PROPOSED SITE SERVICES (SANITARY, STORM,

WATERMAINS, HYDRO, ETC) HAS BEEN TAKEN FROM, AND IS IN REFERENCE TO THE APPROPRIATE CIVIL SITE SERVICING DRAWINGS (C-05 TO C-10), THE LAND SURVEY OR THE ELECTRICAL SITE PLAN (É0-01). REFER TO THESE PLANS AND THE PROJECT SPECIFICATIONS FOR FURTHER DETAILS AND INFOMATION NOT SHOWN ON THIS PLAN

SITE PLAN LEGEND		
	8m BOREHOLE	
	4m BOREHOLE	
	2m BOREHOLE (SOIL INFILTRATION TEST)	
	SETBACK LINE	
	PROPERTY LINE	
	NEW BUILDING	
	EXISTING BUILDING	
	NEW ASPHALT - HD (REFER TO CIVIL DWGs)	
	NEW ASPHALT - LD (REFER TO CIVIL DWGs)	
	EXISTING ASPHALT	
4,4,	NEW CONCRETE WALKWAY	
* 4	EXISTING CONCRETE WALKWAY	
8	NEW CONCRETE PAVERS (REFER TO LANDSCAPE DWGs)	
	NEW PLANTING (REFER TO LANDSCAPE DWGs)	
	EXISTING PLANTING (REFER TO LANDSCAPE DWGs)	
□ DEFH	FIRE HYDRANT (REFER TO CIVIL DWGs)	
⊗ _{HP}	UTILITY POLE (REFER TO CIVIL DWGs)	
DOOR USAGE	ENTRANCE / EXIT DOOR USAGE / LOCATION DOOR NUMBER	
DOOR USAGE	BARRIER FREE ENTRANCE / EXIT DOOR USAGE / LOCATION DOOR NUMBER	
DOOR USAGE	STAIR EXIT DOOR USAGE / LOCATION DOOR NUMBER	
DOOR USAGE	SERVICE DOOR / NON PEDESTRIAN ENTRANCE DOOR USAGE / LOCATION DOOR NUMBER	
0	L1 NEW LIGHT FIXTURE	
0.0	S1 NEW LIGHT FIXTURE	
0-0	S2A NEW LIGHT FIXTURE	
Q	S2B NEW LIGHT FIXTURE	
Q	S3 NEW LIGHT FIXTURE	
Q	S4 NEW LIGHT FIXTURE	
Ō	S5 NEW LIGHT FIXTURE	
Q	S6 NEW LIGHT FIXTURE	
-сомм-	SITE SERVICES COMM - Communications Line GAS - U/G Natural Gas R - Unknown OH - Overhead Hydro U/G HYDRO - Existing Underground Hydro PR U/G HYDRO - Proposed Underground Hydro U/G H&B - Underground Hydro & Bell STORM (REFER TO CIVIL DWGs)	
	SANITARY (REFER TO CIVIL DWGs)	
	NEW WATERMAIN (REFER TO CIVIL DWGs)	
	DEMOLISHED/PHASED WATERMAIN (REFER TO CIVIL DWGs)	
	EXISTING BELL	

EXISTING BELL

(REFER TO CIVIL DWGs)

EXISTING U/G NATURAL GAS (REFER TO CIVIL DWGs)

PROJECT STATISTICS	<u>s</u>	REQUIRED	PROVIDED
ZONING		I(H) INSTITUTIONAL ZONE	I(H) INSTITUTIONAL ZONE
TOTAL LOT AREA			71 282.5 m² (7.1 ha)
TOTAL BUILDING ARE	ĒΑ		6 674.1 m² (0.67 ha)
TOTAL ASPHALT ARE	EA (new)		17 172.5 m² (1.71 ha)
TOTAL CONCRETE A	REA - Side Walks (new)		3 378.06 m² (0.33 ha)
TOTAL OPEN SPACE	AREA		44 057.9 m² (4.4 ha)
LOT COVERAGE	Zoning By-law No. #85-2003, Sect. 19.1.6	50 % max.	38.2 %
TOTAL GROSS FLOOI	R AREA		18 920.7 m²
BUILDING TO PROPE	RTY SETBACKS		
FRONT (SOUTH)	Zoning By-law No. #85-2003, Sect. 19.1.7	7.5 m min.	13.444 m
REAR (NORTH)	Zoning By-law No. #85-2003, Sect. 19.1.8	7.5 m min.	47.853 m
SIDE (EAST)	Zoning By-law No. #85-2003, Sect. 19.1.9	7.5 m min.	7.579 m
SIDE (WEST)	Zoning By-law No. #85-2003, Sect. 19.1.9	7.5 m min.	17.348 m
MAXIMUM BUILDING	HEIGHT		13.4 m
TOTAL BARKING		T	
TOTAL PARKING	200.000		356
EXISTING PARKING S			263
	SPACES LOST IN DEVELOPMENT		110
NEW PARKING SPAC Nursing Home: Zoning By-law No. #85-2003 1 space per 4 beds = 180/4 : Archives/Gallery:		45	203
Zoning By-law No. #85-2003	3, Sect. 6.1.1.iii) = 11 spaces required minimum	11	
NEW BARRIER FREE Zoning By-law No. #85-2003 1 BF space per 20 spaces (f required		6	6
NEW ELECTRIC VEHI	CLE PARKING SPACES LEED Requirement	5	5
NEW GREEN VEHICL	E PARKING SPACES LEED Requirement	11	11

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE
1	PROJECT DESCRIPTION 🛮 NEW	☑ PART 3
	☐ ADDITION ☐ ADDITION ☐ ALTERATION	FOR NEW BUILDING
2	MAJOR OCCUPANCY(S) - GROUP B-2, Care and Treatment Occupancy	3.2.2.39.
	GROUP F-3, Low Hazard Industrial (Archives and Museum)	3.2.2.75.
3	BUILDING AREA (m²) = 6,674.1m² TOTAL (0.67ha) B2 - Care & Treatment = 6,076.6m² F3 - Low Hazard Industrial = 597.5m²	1.1.3.2
4	GROSS AREA (m²) = 18,920.7 m² TOTAL LEVEL 0 = 2,218.9m², LEVEL 1 = 6,129.2m², LEVEL 2 = 5,075.7m², LEVEL 3 = 5,008.5m², PENTHOUSE = 488.4m²	1.1.3.2
5	NUMBER OF STOREYS - 3 STOREYS + PENTHOUSE	3.2.1.1 & 1.1.3.2
6	HEIGHT OF BUILDING (M) - 13.4 m + PENTHOUSE (5m)	
7	NUMBER OF STREETS/ACCESS ROUTES 3 STREETS	3.2.2.10 & 3.2.5.5
8	BUILDING CLASSIFICATION GROUP 'B' Division 2, Up to 3 Storeys, Sprinklered	3.2.2.39.
	GROUP 'F' Division 3, Up to 6 Storeys, Sprinklered	3.2.2.75.
9	SPRINKLER SYSTEM PROPOSED - ☐ BASEMENT ONLY ☐ IN LIEU OF ROOF RATING ☐ ADDITION ☐ NOT REQUIRED	3.2.2.39.
10	STANDPIPE REQUIRED ☐ YES ☐ NO	3.2.9
11	FIRE ALARM REQUIRED ⊠ YES □ NO	3.2.4
12	WATER SERVICE/SUPPLY IS ADEQUATE ☑ YES ☐ NO	3.2.5.7
13	HIGH BUILDING ☐ YES ☒ NO	3.2.6
14	PERMITTED CONSTRUCTION ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE ☐ BOTH ACTUAL CONSTRUCTION ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE ☐ BOTH	3.2.2.39. 3.2.2.75.
15	MEZZANINE(S) AREA (M²) - N/A	3.2.1.1
16	OCCUPANT LOAD BASED ON ☐ M² / PERSON - PEOPLE ☐ DESIGN OF BUILDING	3.1.17
17	BARRIER-FREE DESIGN ⊠ YES □ NO (EXPLAIN)	3.8
18	HAZARDOUS SUBSTANCES ☐ YES ☒ NO	3.2.1.2(1) & 3.3.1.19(1
19	REQUIRED FIRE RESISTANCE RATING (FRR) FLOOR ASSEMBLIES - 1 HOURS LOAD BEARING WALLS & COLUMNS - 1 HOURS ROOF RATING - N/A	3.2.2.39. 3.2.2.75.
	I	

20 SPATIAL SEPARATION NEW BUILDING - FACE - ACTUAL L.D. = -m

Barrier Free Entrances O.B.C. 3.8.1.1 (Total Entrances = 5)

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-			
\vdash			
	31	Issued for SPA Re-Submission 3	07 - 23 - 2020
	30	Re-Issued for Building Permit	07 - 13 - 2020
	29	Issued for SPA Re-Submission 2	06 - 02 - 2020
	28	Re-Issued for Building Permit	04 - 27 - 2020
	27	Iss. for MOHLTC Working Drawing Rev.	03 - 20 - 2020
	26	Issued for SPA Re-submission	03 - 13 - 2020
	25	Issued for Coordination	02 - 14 - 2020
	24	Issued for LTCHPPSS Re-submission	01 - 29 - 2020
	23	Issued for Building Permit	12 - 23 - 2019
	22	Issued for 60% CD	12 - 06 - 2019
	21	Issued for Class B Costing	11 - 27 - 2019

Northumberland **COUNTY**

Key Site Plan N.T.S.

SITE PLAN GENERAL NOTES

1. THE OWNER COVENANTS AND AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DOCUMENT OR OTHER INFORMATION, ON THE BASIS OF WHICH THIS DRAWING WAS APPROVED BY THE CITY, WITHOUT NOTIFYING, FILING DETAILS WITH AND OBTAINING THE WRITTEN AUTHORIZATION OF THE CITY.

2. THE CONTRACT CONSISTS OF ALL WORK WITHIN THE 'EXTENT OF CONTRACT' LINE INDICATED ON THE SITE PLAN PLUS ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE. ALL WORK DONE OUTSIDE OF THESE LIMITS MUST BE EXECUTED IN STRICT ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY AND ALL OTHER AUTHORITIES HAVING JURISDICTION. MAKE GOOD AT NO ADDITIONAL COST TO THE OWNER OR MUNICIPALITY ANY DISTURBANCE OR DAMAGE CAUSED BY THIS CONSTRUCTION TO MATERIALS OR FINISHES BEYOND THE EXTENT OF CONTRACT LINE.

3. CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT, AND MATERIALS STORAGE TO AREAS WITHIN 'EXTENT OF CONTRACT' LINE EXCEPT WHERE NOTED OTHERWISE. PRIMARY SITE ACCESS POINT & CONSTRUCTION PARKING IS TO BE CONFIRMED WITH BUILDER. NO PARKING IN MUNICIPALITY RIGHT-OF-WAY.

LOCATE EXCAVATED MATERIALS & TOPSOIL PILES AS DIRECTED. AT COMPLETION OF PROJECT ANY EXCESS MATERIAL IS TO BE REMOVED AND AREA MADE GOOD TO ARCHITECT'S SATISFACTION.

5. FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY, REFER TO APPROPRIATE SECTIONS IN SPECIFICATIONS.

6. SUPPLY AND PLACE TOPSOIL TO THICKNESS SPECIFIED OVER ALL SODDED AND PLANTER AREAS INDICATED ON DRAWINGS. PROVIDE ADDITIONAL TOPSOIL AS REQUIRED OVER AND ABOVE TOPSOIL TAKEN FROM SITE. PROVIDE SODDING TO AREAS INDICATED AND TERMINATE AT 'EXTENT OF CONTRACT' LINE. EXTEND SODDING BEYOND PROPERTY LINES TO ROADWAYS WHERE INDICATED.

7. NOTE THAT EXACT LOCATIONS OF ALL NEW MECHANICAL & ELECTRICAL ITEMS ARE APPROXIMATE UNLESS DIMENSION GIVEN. ADJUST LOCATION AS REQUIRED AND AS APPROVED BY CONSULTANT TO SUIT SITE CONDITIONS.

8. NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE INDICATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT TYPES, LOCATIONS AND DEPTHS OF ALL UNDERGROUND SERVICES IN AREA OF NEW CONSTRUCTION INCLUDING GAS LINES, TELEPHONE, CABLE TV, ETC. AND VERIFY THEIR LOCATION WITH THE APPROPRIATE AUTHORITIES BEFORE EXCAVATING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF CONSTRUCTION TO FACILITATE AS-CONSTRUCTED DRAWINGS.

10. REFER TO CIVIL DRAWINGS FOR SITE SERVICING AND GRADING, EROSION AND SEDIMENT CONTROL, STORM WATER MANAGEMENT AND DRAINAGE, AND ANY OTHER RELATED WORKS.

11. REFER TO LANDSCAPE DRAWINGS FOR PLANTING, SODDING, TREE AND SHRUB LAYOUT / SCHEDULE (INCLUDING PRESERVATION AND REMOVALS), PAVER LAYOUTS, SITE AMENITIES, AND ANY OTHER RELATED WORKS.

12. REFER TO M&E DRAWINGS FOR SITE LIGHTING / POWER AND ANY OTHER RELATED WORKS.

13. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DRAWINGS FROM ALL DISCIPLINES. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON THE JOB. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT. ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANT. ONLY LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

20	Issued for 30% CD		10 - 15 - 2019
No.	Revision		Date
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	PROJECT NORTH	O ARCH	OF TECTS 2 (P. PILON ENCE

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GPL LTC Facility & NCAM

555 Courthouse Road, Cobourg, ON, K9A 5J6

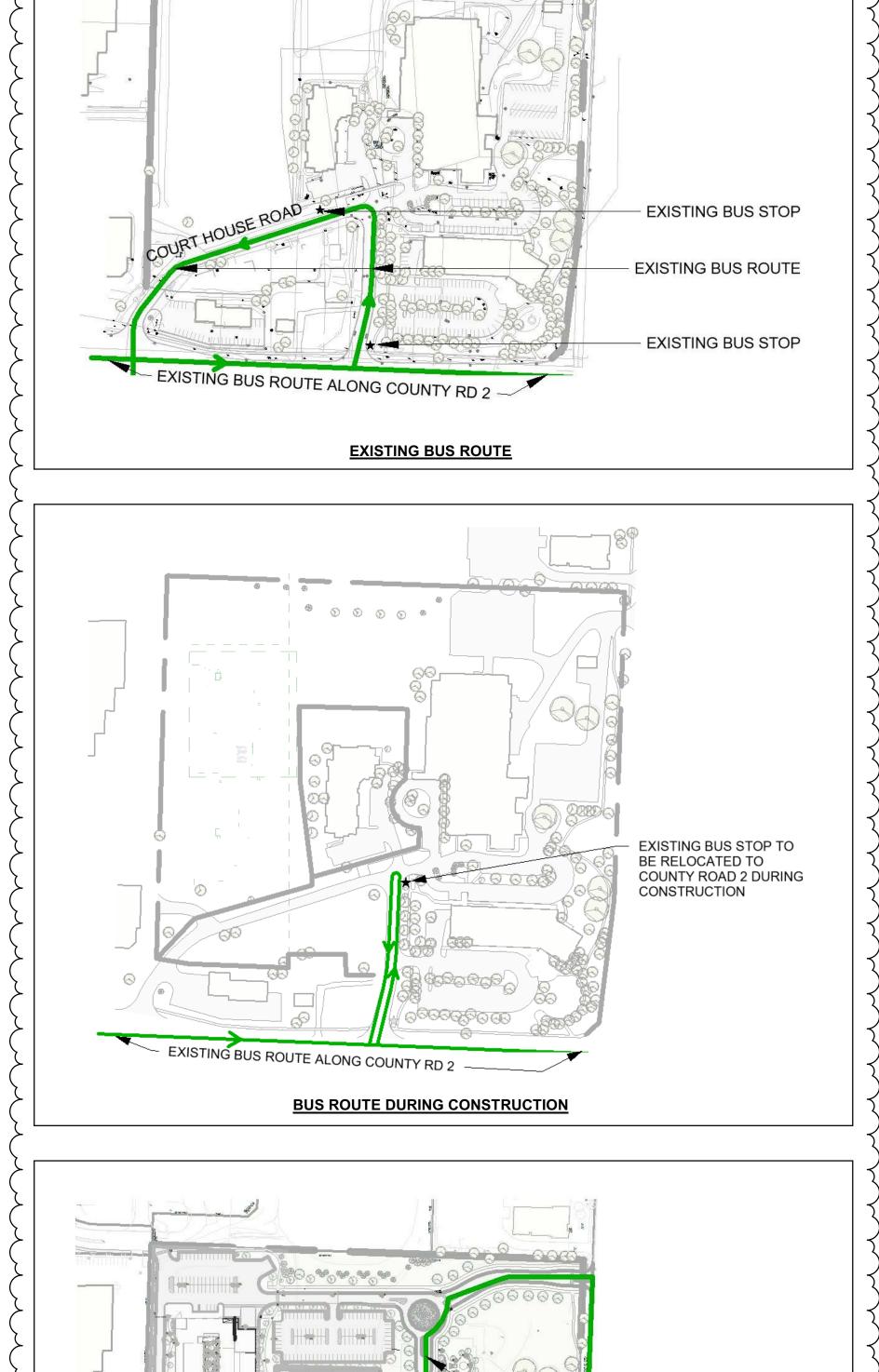
Northumberland County Site Plan

As indicated





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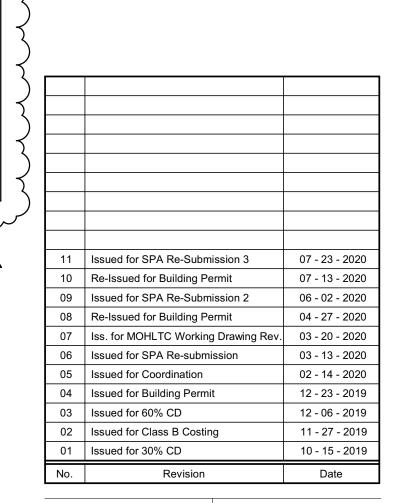


EXISTING BUS ROUTE ALONG COUNTY RD 2

FINAL BUS ROUTE AFTER CONSTRUCTION







- NEW BUS ROUTE

— NEW BUS STOP

NOTE:
PROPOSED PUBLIC TRANSIT ROUTES
TO BE CONFIRMED BY CITY OF
COBOURG TRANSIT DEPARTMENT

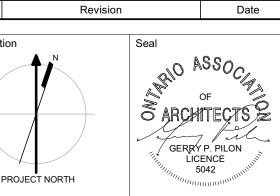
NEW BUS ROUTE

BUS STOP REINSTATED
 TO ORIGINAL LOCATION

Northumberland **COUNTY**

Site Phasing Work Area: Areas overlayed with grey are not included in the indicated Site Phase

Site Phasing Legend



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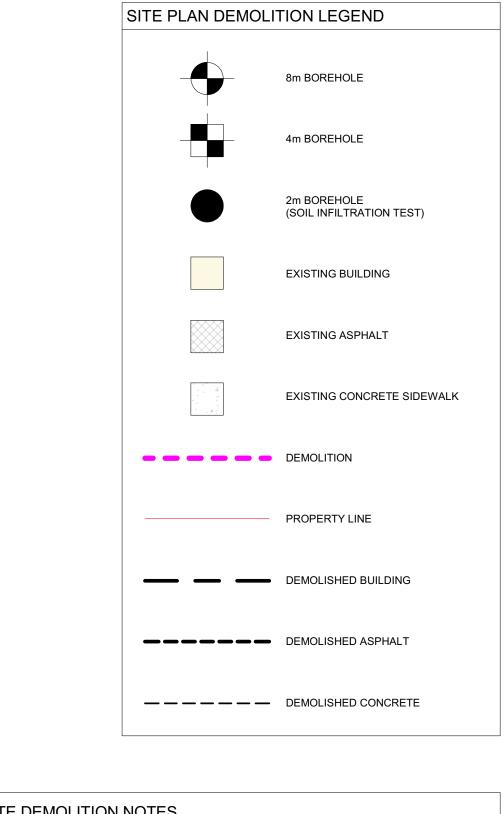
Northumberland County

Project Information

Site Plan Phasing

As indicated





		SITE DEMOLITION NOTES
ITEM	SYMBOL	COMMENTS
D1	. D1	REMOVE EXISTING HYDRO POLE AND ALL GUY WIRES AND GUY WIRE FOUNDATIONS. REMOVAL, REROUTING AND TERMINATION OF EXISTING SERVICE LINES MUST BE COORDINATED AND APPROVED BY AHJ.
D2	. D2	REMOVE EXISTING WATERMAIN AND EXISTING FIRE HYDRANT TO THE EXTENTS SHOWN ON PLAN. REMOVAL, REROUTING, CAPPING AND TERMINATION OF EXISTING SERVICE LINES MUST BE COORDINATED AND APPROVED BY AHJ AS INDICATEED ON THE CIVIL SITE SERVICING DRAWINGS.
D3	. D3	EXISTING BUS STATION, BENCH AND CONCRETE PAD TO BE REMOVED, WORK TO BE PERFORMED BY GC, CONFORMING TO ALL REQUIREMENTS OF ALL AHJ'S
D4	. D4	EXISTING FIRE HYDRANT TO BE REMOVED AND RELOCATED TO NEW POSITION. EXISTING WATERMAIN LEADS TO REMAIN INTACT AND EXTENDED TO NEW LOCATION. MAKE GOOD ALL NEW CONNECTIONS SO THAT THE SYSTEM AS WHOLE IS RESTORED TO FULL ORIGINAL FUNCTIONALITY. REFER TO SITE SERVICING PLAN FOR EXTENTS OF WATERMAIN EXTENSION AND NEW LOCATION OF EXISTING HYDRANT.
D5	. D5	REMOVE EXISTING FLAG POLE AND FLAG POLE ACCESSORIES WITH THE CARE AND INTENTION FOR THE ENTIRE FLA POLE ASSEMBLY TO BE RETURNED TO GPL MAINTENANCE STAFF FOR FUTURE REUSE
D6	. D6	DEMOLISH EXISTING 2 STOREY GOLDEN PLOUGH LODGE. EXTERIOR AMENITIES (INCLUDING BUT NOT LIMITED TO PARKING AREAS, CURBS, UTILITY POLES, LIGHT STANDARDS, TREES, EXTERIOR WALKS, ETC) ARE TO BE REMOVED, REPLACED AND REINSTATED WITH LANDSCAPING OR NEW PAVING AS PER THE LANDSCAPING PLAN, SITE PLAN, ELECTRICAL SITE PLAN AND CIVIL PLANS. DEMOLITION TO COMMENCE ACCORDING TO APPROVED CONSTRUCTION SCHEDULE AND APPROVED DEMOLITION PRACTICES. EXISTING SERVICES TO EXISTING BUILDING TO BE TERMINATE REROUTED OR REMOVED - REFER TO SITE SERVICING PLAN FOR DETAILS.
D7	. D7	REMOVE TREES AS INDICATED ON LANDSCAPING DRAWINGS
D8	. D8	DEMOLISH EXISTING ONE STOREY GARAGE AND ITS FOUNDATION
D9	. D9	EXISTING GRAVEL DRIVEWAY CONNECTION TO COURTHOUSE ROAD TO BE REMOVED. REINSTATE WITH NEW PLANTING PER LANDSCAPING AND CIVIL PLANS
D10	. D10	REMOVE EXISTING UNDERGROUND NATURAL GAS LINE SERVING THE DEMOLISHED BUILDING. (EXTENT OF REMOVA AND LOCATION OF CAPPING / TERMINATION TO BE DETERMINED UPON FIELD LOCATES)
D11	. D11	REMOVE EXISTING BELL LINE SERVING THE DEMOLISHED BUILDING. (EXTENT OF REMOVAL AND LOCATION OF CAPPING / TERMINATION TO BE DETERMINED UPON FIELD LOCATES)
GENERAL DEMOLITION NOTES		ALL GRADING, GRASS AND PLANTING CONDITIONS ADJACENT TO ITEMS REMOVED FROM SITE ARE TO BE RETURNED TO PRE REMOVAL CONDITIONS. GC TO MAKE GOOD ALL NEW TRANSITIONS AND COORDINATE ALL SITEWORK WITH THE APPROPRIATE CIVIL OR LANDSCAPING PLANS. -ALL DEMOLISHED ITEMS NOT BEING SALVAGED FOR FUTURE USE ARE TO BE DISPOSED OF IN A LEGAL MANNER OF SITE IN ACCORDANCE WITH ALL AHJS STANDARD PRACTICES -IN AREAS REQUIRING EARTH WORK AND/OR EXCAVATIONS, UNDERGROUND LOCATES MUST BE DONE AND UNDERGROUND SERVICES IDENTIFIED ABOVE GRADE PRIOR TO ANY COMMENCEMENT OF EARTH WORKS OR EXCAVATIONS. -ALL INFORMATION SHOWN REGARDING EXISTING AND PROPOSED SITE SERVICES (SANITARY, STORM, WATERMAINS HYDRO, ETC) HAS BEEN TAKEN FROM, AND IS IN REFERENCE TO THE APPROPRIATE CIVIL SITE SERVICING DRAWING (C-05 TO C-10), THE LAND SURVEY OR THE ELECTRICAL SITE PLAN (E0-01). REFER TO THESE PLANS AND THE PROJE SPECIFICATIONS FOR FURTHER DETAILS AND INFOMATION NOT SHOWN ON THIS PLAN

EXISTING 1 STOREY BUILDING

GMXXXXXXXXXX

EX GAS TO BE REMOVED

COUNTY RD 2

AN SIGN SIGN

EXISTING 2 STOREY GOLDEN

PLOUGH LODGE TO BE DEMOLISHED

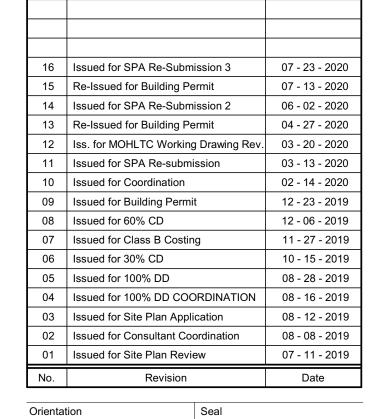
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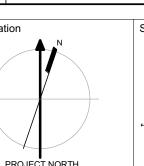
EXISTING 3 STOREY BUILDING

EXISTING GRAVEL DRIVEWAY

COUNTY RD 2

EXISTING 2 STOREY BUILDING





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Project Information **GPL LTC Facility & NCAM**

555 Courthouse Road, Cobourg, ON, K9A 5J6

Northumberland County

Site Plan Demolition

July 23, 2020

As indicated

EXISTING 1 STOREY BUILDING

COUNTY RD 2

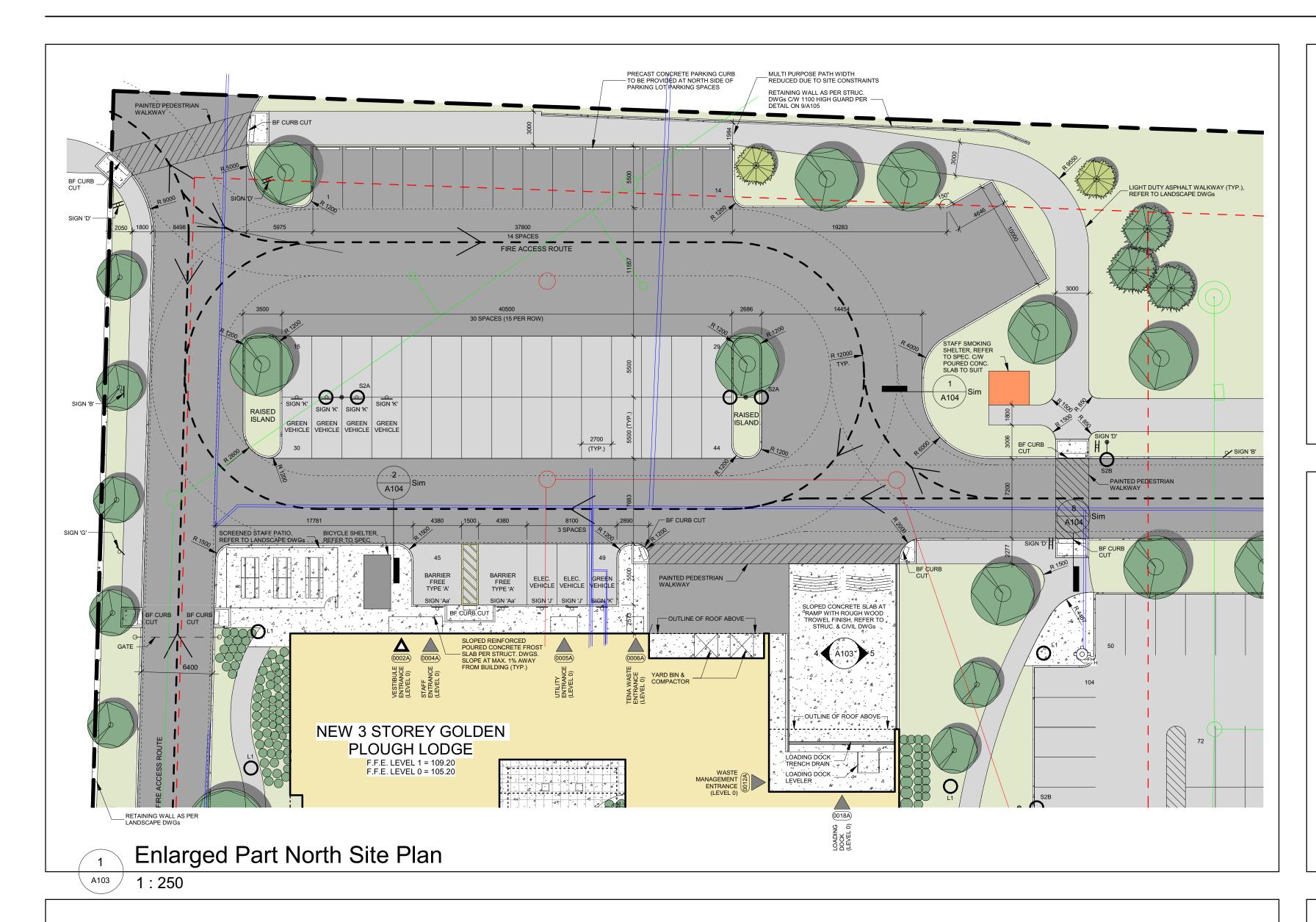
EXISTING 1 STOREY BUILDING

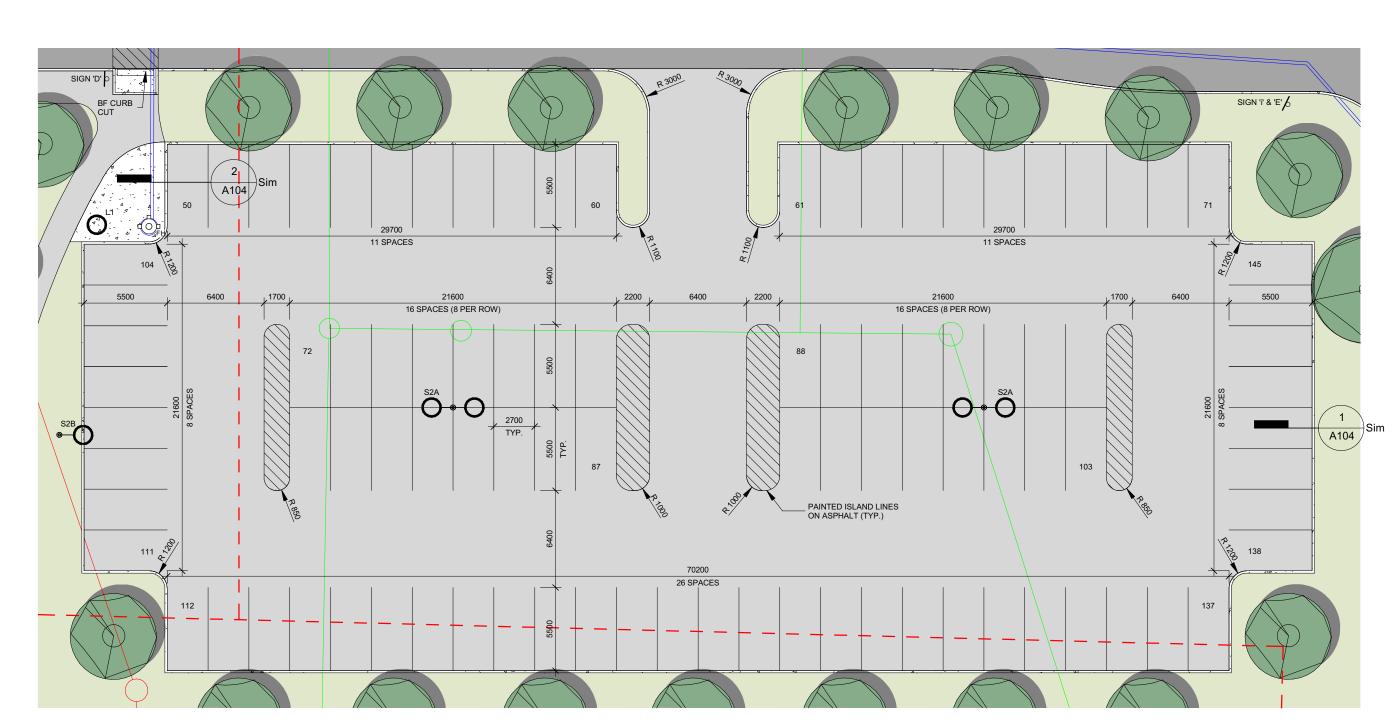
TO STRATHY ROAD

EXISTING TREES ON PATHWAY TO BE REMOVED BY THE TOWN PRIOR TO THE CONSTRUCTION OF THE WALKWAY

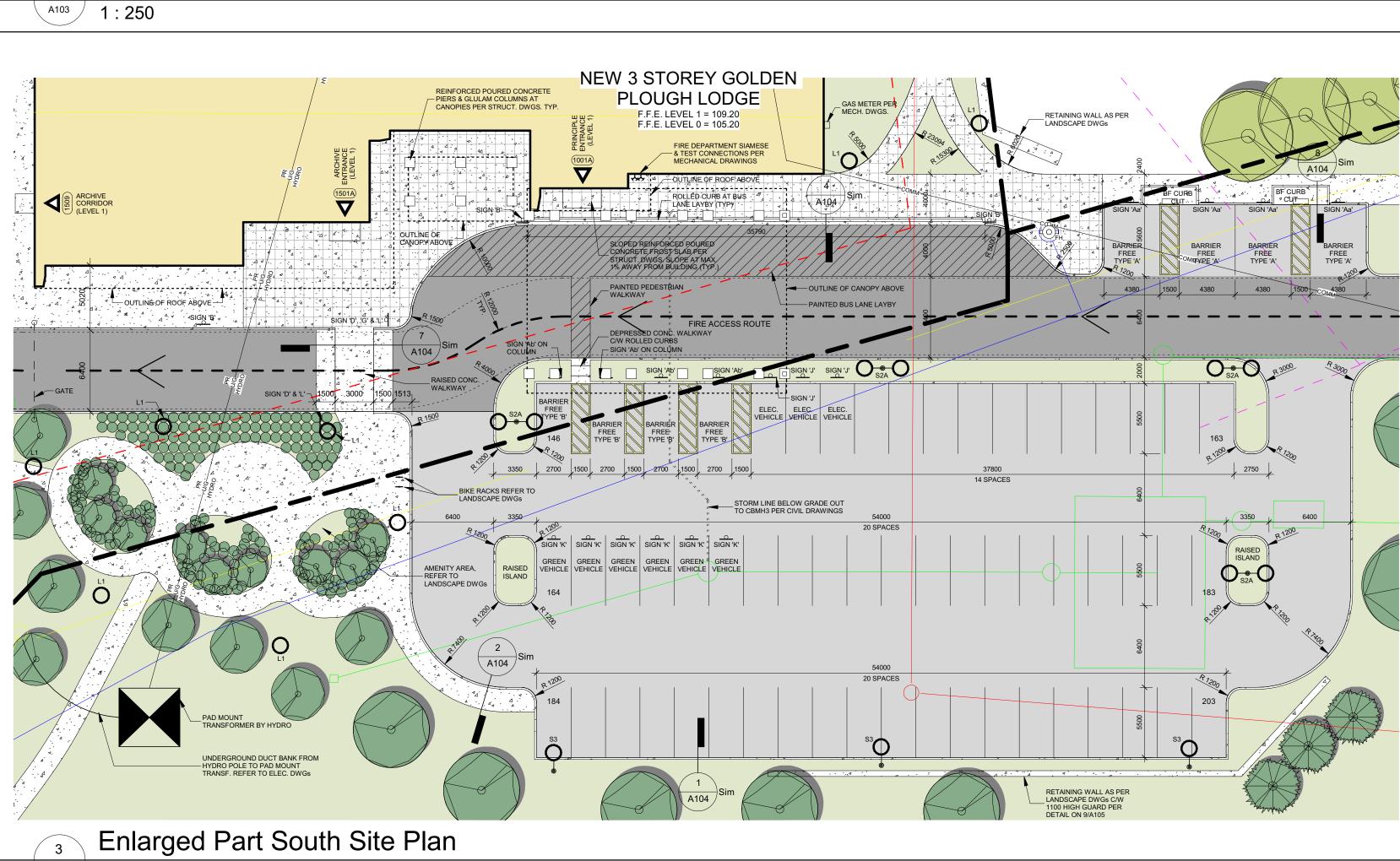
PROVIDE BARRIER-FREE CURB CUT FOR 3 METER WALKING PATH

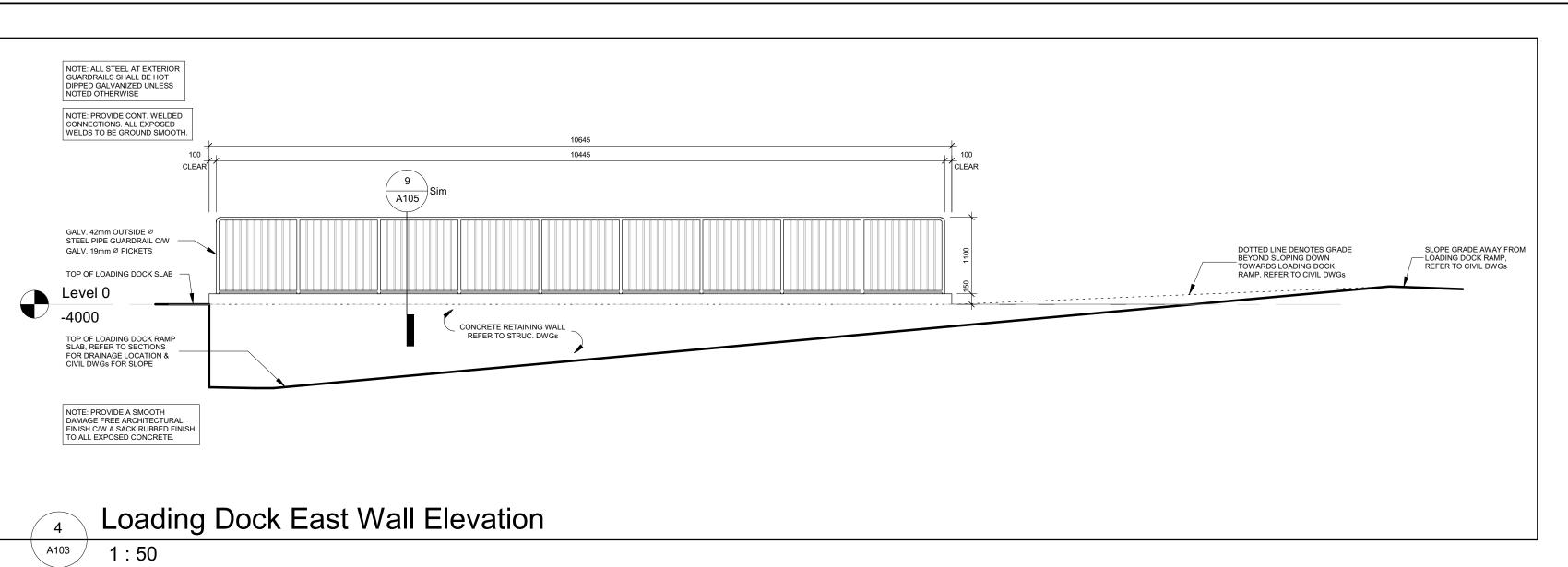
EXISTING 1 STOREY BUILDING TO REMAIN

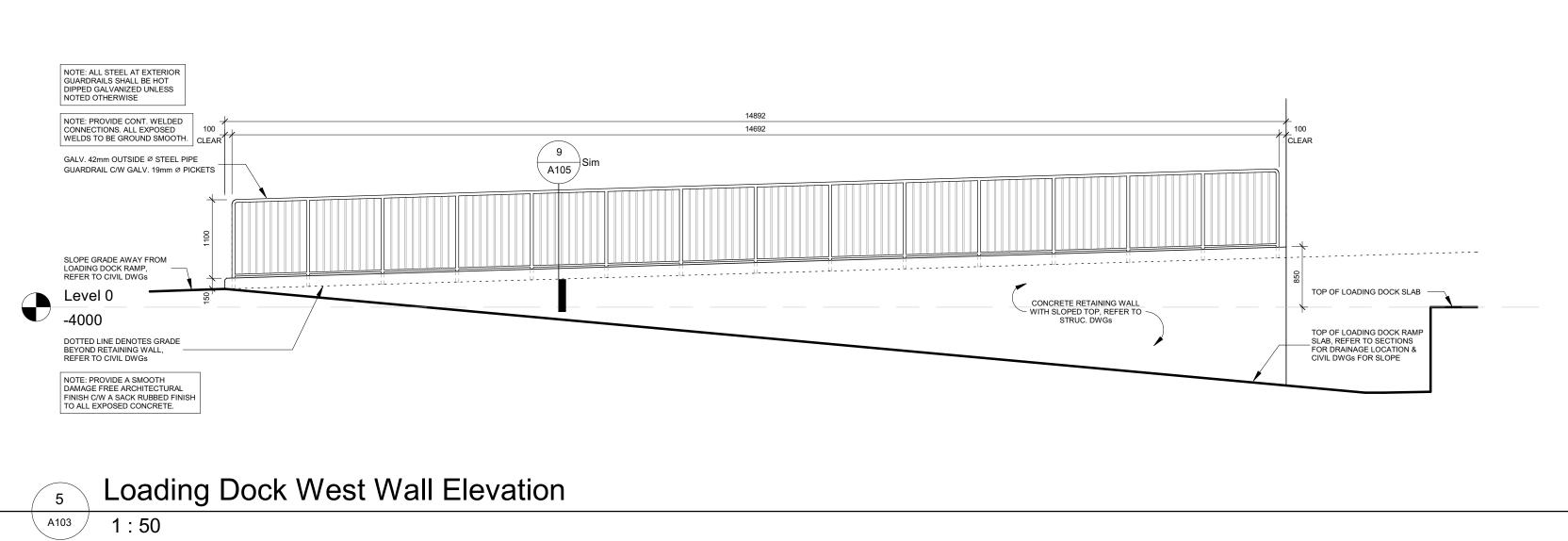


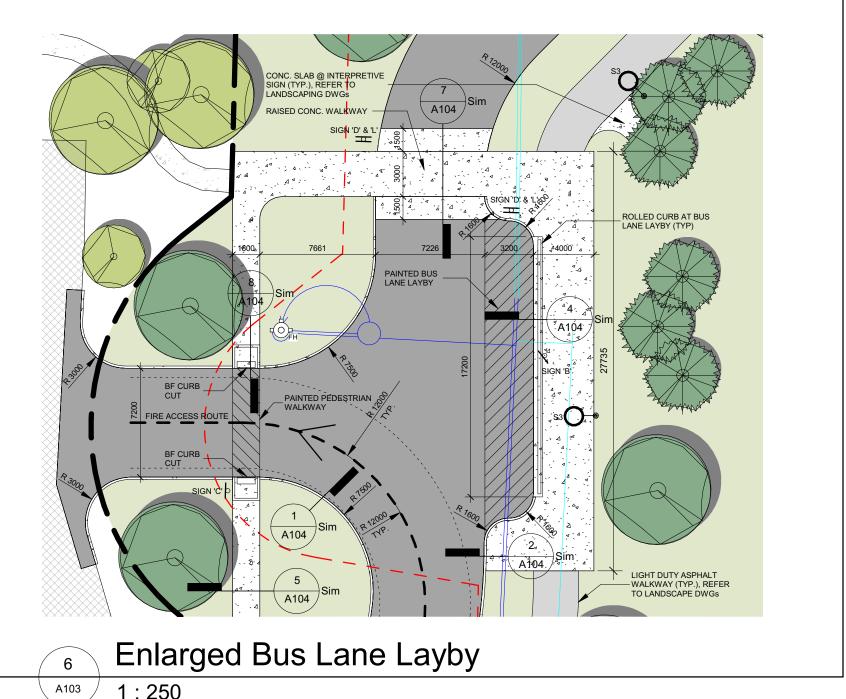


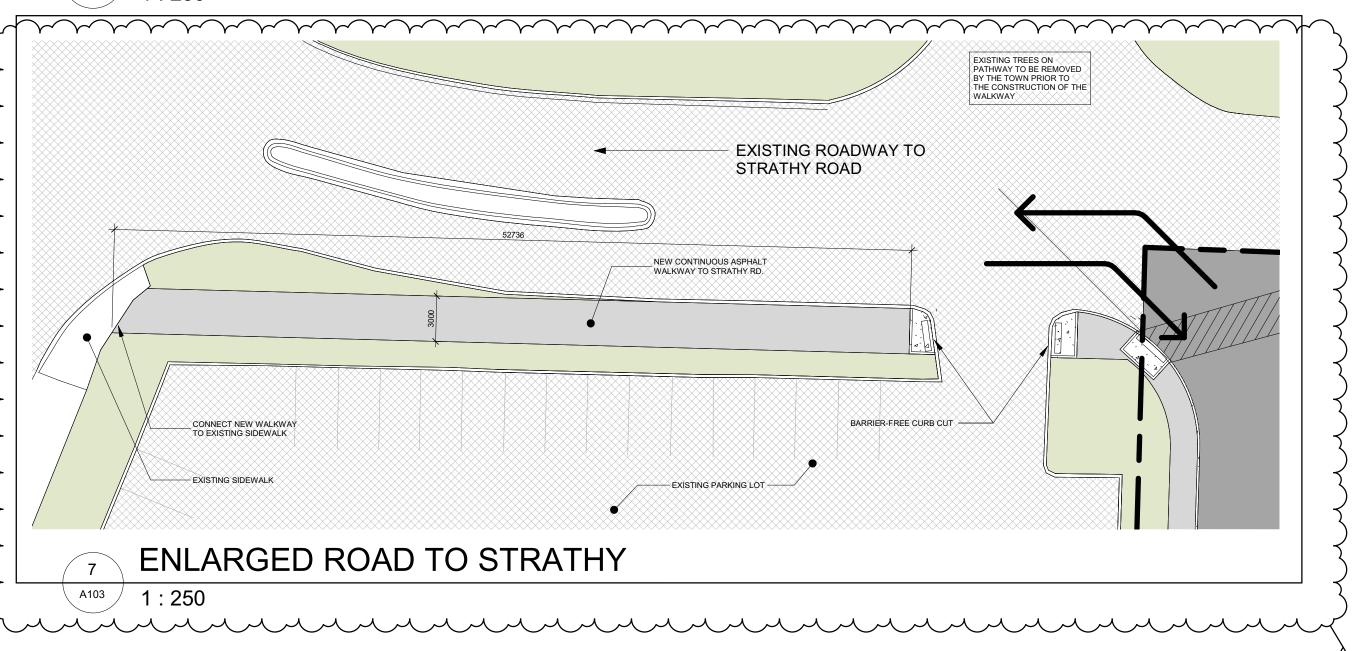
Enlarged North Parking Lot





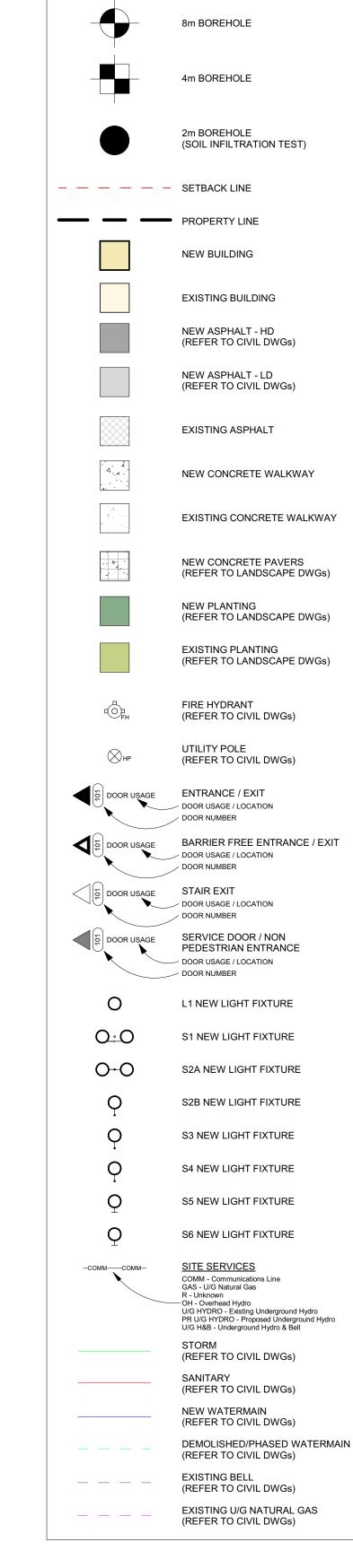


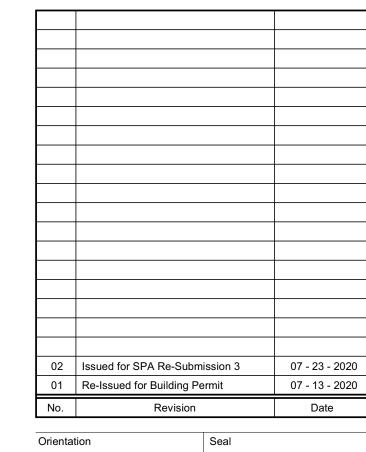


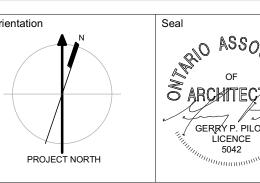




SITE PLAN LEGEND







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GPL LTC Facility & NCAM

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Northumberland County

Site Plan Enlarged Part

Plans

Date

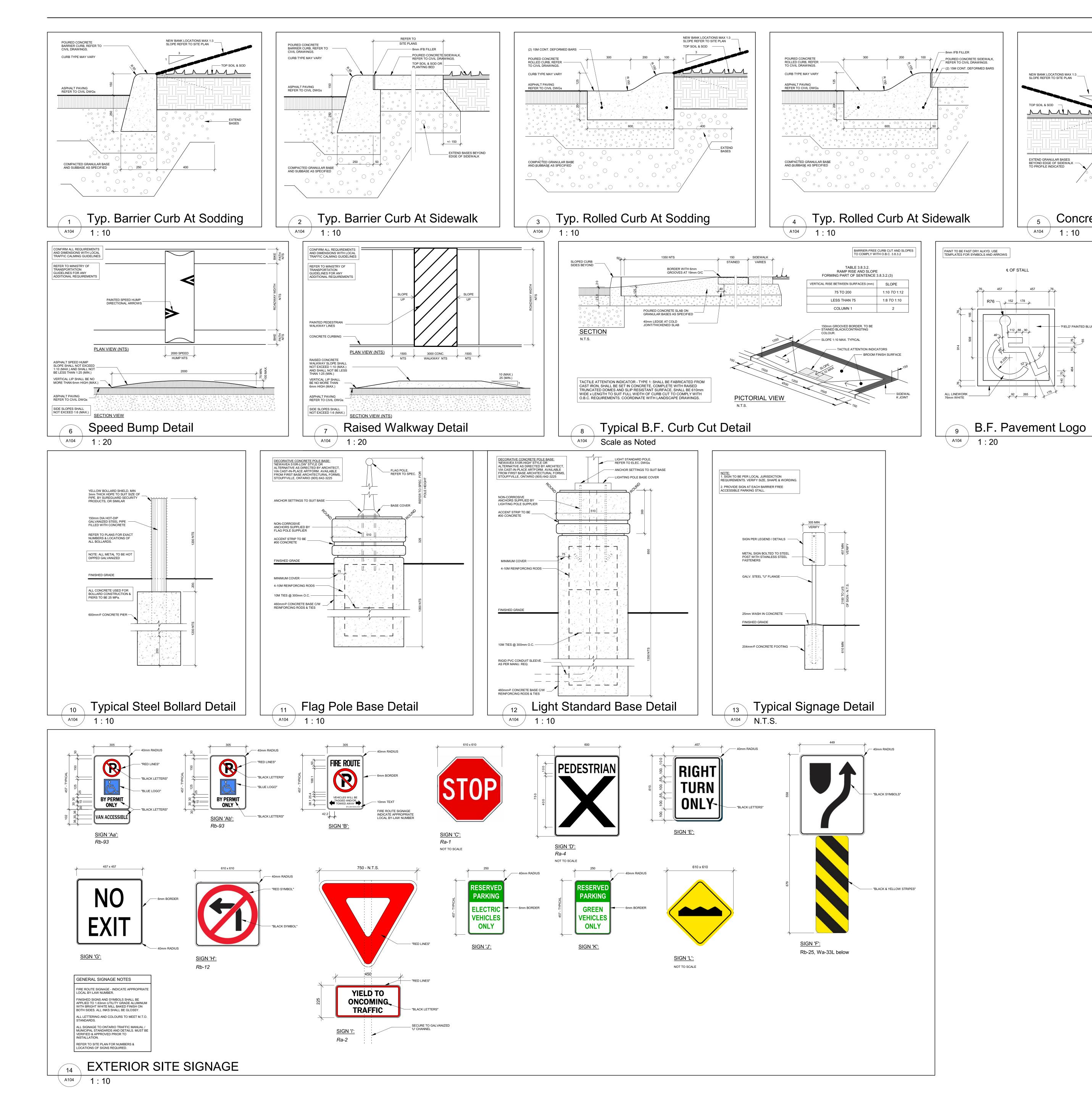
July 23, 2020

As indicated

July 23, 2020

Project No Drawing No Drawing

A103 1 : 250





REFER TO SITE PLAN FOR DIMENSIONS

TOP SOIL & SOD -

EXTEND GRANULAR BASES BEYOND EDGE OF SIDEWALK -TO PROFILE INDICATED

'FIELD' PAINTED BLUE

Concrete Sidewalk Edge

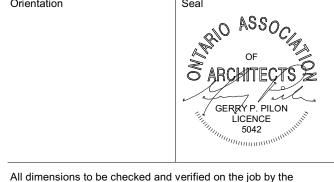
125mm THICK CONCRETE SIDEWALK

150x150x9x9 WWM REINFORCING, TYPICAL FOR ALL CONCRETE SIDEWALKS ON SITE. MAINTAIN SUFFICIENT COVERAGE OF WWM

150mm COMPACTED GRANULAR FILL 'A' TO OPSS 1010

200mm COMPACTED GRANULAR FILL 'B' TO OPSS 1010

15	Issued for SPA Re-Submission 3	07 - 23 - 2020
14	Re-Issued for Building Permit	07 - 13 - 2020
13	Issued for SPA Re-Submission 2	06 - 02 - 2020
12	Re-Issued for Building Permit	04 - 27 - 2020
11	Iss. for MOHLTC Working Drawing Rev.	03 - 20 - 2020
10	Issued for SPA Re-submission	03 - 13 - 2020
09	Issued for Coordination	02 - 14 - 2020
08	Issued for Building Permit	12 - 23 - 2019
07	Issued for 60% CD	12 - 06 - 2019
06	Issued for Class B Costing	11 - 27 - 2019
05	Issued for 30% CD	10 - 15 - 2019
04	Issued for 100% DD	08 - 28 - 2019
03	Issued for 100% DD COORDINATION	08 - 16 - 2019
02	Issued for Site Plan Application	08 - 12 - 2019
01	Issued for Consultant Coordination	08 - 08 - 2019
No.	Revision	Date



Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant. © Copyright Reserved: These drawings and all that is represented hereon are the exclusive property of Salter Pilon Architecture Inc. They may not be used or reproduced without written permission from Salter Pilon Architecture Inc.

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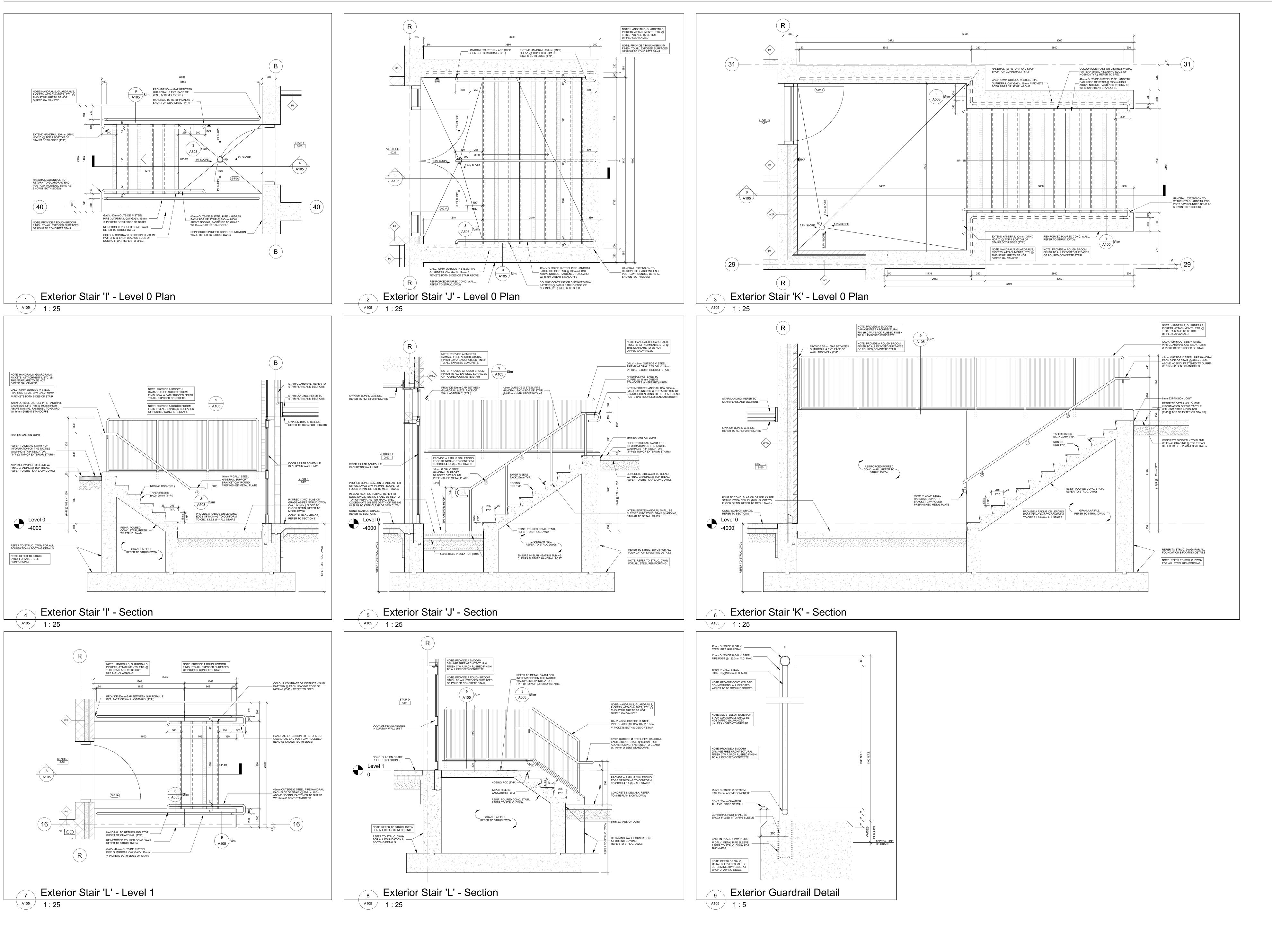
Project Information **GPL LTC Facility & NCAM**

555 Courthouse Road, Cobourg, ON, K9A 5J6 Northumberland County

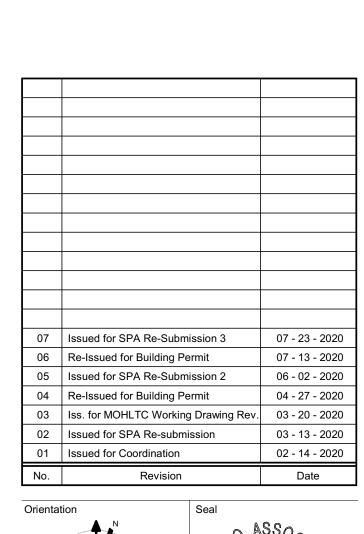
Drawing Title Site Plan Details

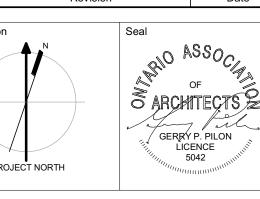
July 23, 2020

As indicated









All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

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GPL LTC Facility & NCAM

555 Courthouse Road, Cobourg, ON, K9A 5J6

For

Northumberland County

Exterior Stair Details

Date Project No Drawing N

July 23, 2020

Drawn by AM, NL

Scale As indicated

Project No Drawing No A105