

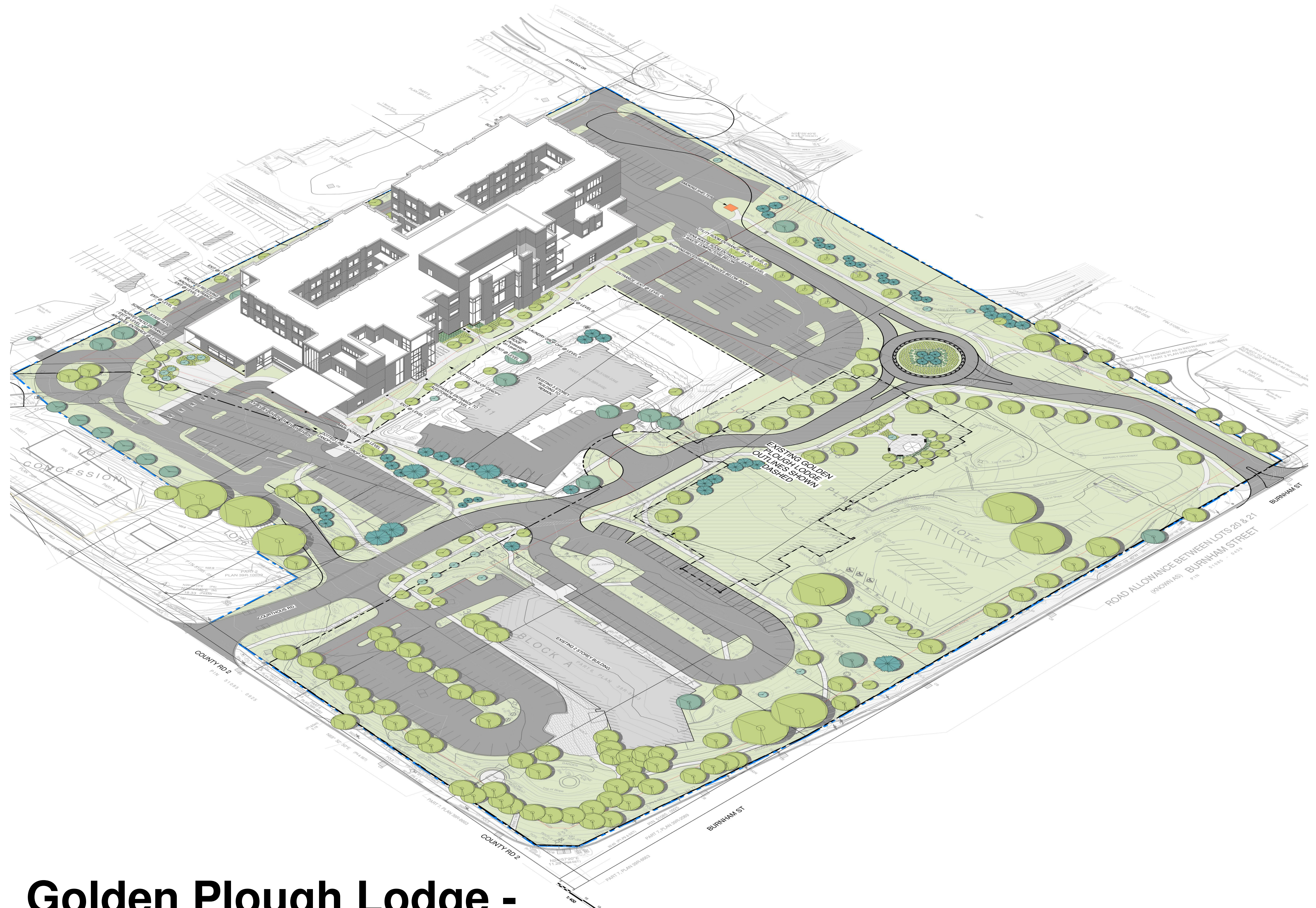
Architectural Drawing List	
Sheet Number	Sheet Name
A000	Title Sheet
A100	Site Plan
A101	Existing Site Plan
A102	Site Plan - Demolition
A104	Site Details
A202	Level 0 & 1 - Overall Plans
A203	Level 2 & 3 - Overall Plans
A204	Penthouse & Roof Plan - Overall Plan
A300	Elevations
A302	Central & North Courtyard Elevations

Landscape Drawing List	
Sheet Number	Sheet Name
L1	Vegetation Management Plan
L2	Tree Inventory
L3	Landscape Plan
L4	Landscape Enlargements
L5	Green Roof Enlargements & Details
L6	Landscape Details
L7	Landscape Details

Mechanical Drawing List	
Sheet Number	Sheet Name
M0-01	Mechanical Site Plan

Electrical Drawing List	
Sheet Number	Sheet Name
E0-01	Electrical Site Plan
E0-02	Electrical Site Lighting Plan - Photometric Calculations

Civil Drawing List	
Sheet Number	Sheet Name
C-01	Site Grading Plan
C-02	Site Servicing Plan
C-03	Site Servicing Cross Section & Notes



Golden Plough Lodge - Redevelopment

555 Courthouse Road, Coboug, ON, K9A 5J6

ISSUED FOR Site Plan Application - August 12th 2019

CONSULTING TEAM

ARCHITECTURAL

SALTER PILON ARCHITECTURE INC.
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MECHANICAL/ELECTRICAL

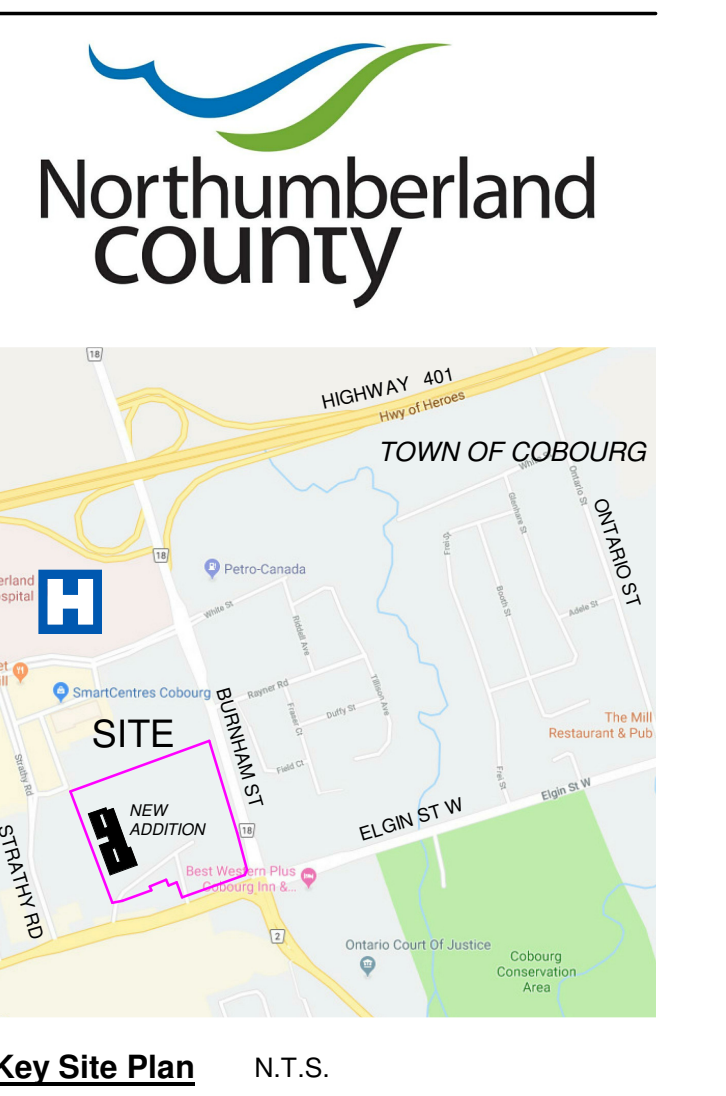
MCW CONSULTANTS
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M5J 1A7
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LEED/ENERGY CONSULTANT

FLUENT GROUP CONSULTING ENGINEERS INC.
295A BROADWAY AVENUE, SECOND FLOOR
ORANGEVILLE, ONTARIO
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- SITE PLAN GENERAL NOTES:**
- THE OWNER COVENANTS AND AGREES NOT TO MAKE A MATERIAL CHANGE OR CAUSE A MATERIAL CHANGE TO BE MADE TO A PLAN, SPECIFICATION, DRAWING OR OTHER INFORMATION ON THE BASIS OF WHICH THIS DRAWING WAS APPROVED BY THE CITY, WITHOUT NOTIFYING THE DETAILS WITH AND OBTAINING THE WRITTEN AUTHORIZATION OF THE CITY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXTENT OF CONTRACT LINE INDICATED ON THE SITE PLAN. ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE, ALL WORK DONE OUTSIDE OF THESE LIMITS MUST BE EXECUTED IN ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY AND ALL OTHER AUTHORITIES HAVING JURISDICTION. MAKE GOOD AT NO ADDITIONAL COST TO THE OWNER OR MUNICIPALITY ANY DISTURBANCE OR DAMAGE CAUSED BY THIS CONSTRUCTION TO MATERIALS OR FINISHES BEYOND THE EXTENT OF CONTRACT LINE.
 - CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT, AND MATERIALS STORAGE TO AREAS WITHIN EXTENT OF CONTRACT LINE EXCEPT WHERE NOTED OTHERWISE. PRIMARY SITE ACCESS POINT & CONSTRUCTION PARKING IS TO BE CONFORMED WITH BUILDERS. NO PARKING IN MUNICIPALITY RIGHT-OF-WAY.
 - AND AREA MADE GOOD TO ARCHITECT'S SATISFACTION.
 - FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY, REFER TO APPROPRIATE SECTIONS IN SPECIFICATIONS.
 - LOCATE EXCAVATED MATERIALS & TOPSOIL PILES AS DIRECTED, AT COMPLETION OF PROJECT ANY EXCESS MATERIAL IS TO BE REMOVED.
 - SUPPLY AND PLACE TOPSOIL TO THICKNESS SPECIFIED OVER ALL SCOPED AND PLANTER AREAS INDICATED ON DRAWINGS. PROVIDE ADDITIONAL TOPSOIL AS REQUIRED OVER AND ABOVE TOPSOIL TAKEN FROM SITE. PROVIDE SOILING TO AREAS INDICATED AND TERMINATE AT EXTENT OF CONTRACT LINE. EXTEND SOILING BEYOND PROPERTY LINES TO ROADWAYS WHERE INDICATED.
 - NOTE THAT EXACT LOCATIONS OF ALL NEW MECHANICAL, ELECTRICAL, ITEMS ARE APPROXIMATE UNLESS DIMENSION GIVEN. ADJUST LOCATION AS REQUIRED AND AS APPROVED BY CONSULTANT TO SUIT SITE CONDITIONS.
 - NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND WERE INDICATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT TYPES, LOCATIONS AND DEPTHS OF ALL UNDERGROUND SERVICES IN AREA OF NEW CONSTRUCTION INCLUDING GAS LINES, TELEPHONE, CABLE TV, ETC. AND VERIFY THEIR LOCATION WITH THE APPROPRIATE AUTHORITIES BEFORE EXCAVATING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF CONSTRUCTION TO FACILITATE AS-CONSTRUCTED DRAWINGS.
 - REFER TO CIVIL DRAWINGS FOR SITE SERVICING AND GRADING, EROSION AND SEDIMENT CONTROL, STORMWATER MANAGEMENT AND DRAINAGE, AND ANY OTHER RELATED WORKS.
 - REFER TO LANDSCAPE DRAWINGS FOR PLANTING, SOILING, TREE AND SHRUB LAYOUT, SCHEDULES FOR MAINTENANCE, REMOVALS, PAVEMENT LAYOUTS, SITE AMENITIES, AND ANY OTHER RELATED WORKS.
 - REFER TO M&E DRAWINGS FOR SITE LIGHTING / POWER AND ANY OTHER RELATED WORKS.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DRAWINGS FROM ALL DISCIPLINES. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON THE JOB. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT. ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANT. ONLY LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.



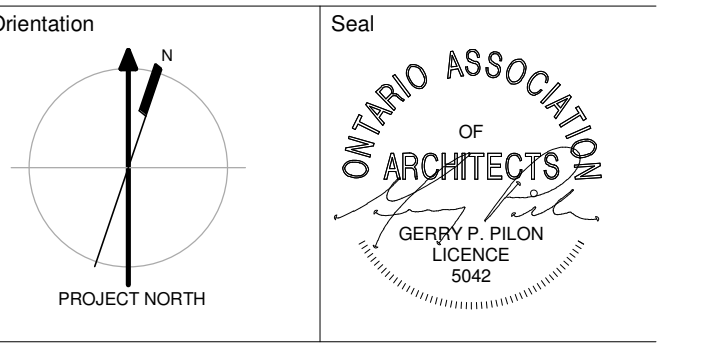
- Site Plan Legend**
- 8m Borehole
 - 4m Borehole
 - 2m Borehole (Soil Infiltration Test)
 - New Planting
 - Existing Planting
 - Entrance/Exit
 - Exit
 - L1 Proposed Light Fixture
 - S1 New Light Fixture
 - S2A New Light Fixture
 - S2B New Light Fixture
 - S3 New Light Fixture
 - S4 New Light Fixture
 - S5 New Light Fixture
 - S6 New Light Fixture
 - Setback Line
 - Property Line
 - New Building
 - Existing Building
 - New Asphalt
 - Existing Asphalt
 - New Concrete Walkway
 - Existing Concrete Side Walk

PROJECT STATISTICS		REQUIRED	PROVIDED
ZONING		SIH INSTITUTIONAL ZONE	SIH INSTITUTIONAL ZONE
TOTAL LOT AREA			66 077.1 m ² (6.6 ha)
TOTAL BUILDING AREA - 1st Level Building Outline			6 260.9 m ² (0.62 ha)
TOTAL ASPHALT AREA (new)			18 908 m ² (1.89 ha)
TOTAL CONCRETE AREA - Side Walks (new)			3100.6 m ² (0.31 ha)
TOTAL OPEN SPACE AREA			29 907.6 m ² (2.99 ha)
LOT COVERAGE	Zoning By-law No. 495-2003, Sect. 19.1.6	50% max.	46.8%
TOTAL GROSS FLOOR AREA			18 632.5 m ²
BUILDING TO PROPERTY SETBACKS			
FRONT (SOUTH)	Zoning By-law No. 495-2003, Sect. 19.1.7	7.5 m min.	13.44 m
REAR (NORTH)	Zoning By-law No. 495-2003, Sect. 19.1.8	7.5 m min.	47.853 m
SIDE (EAST)	Zoning By-law No. 495-2003, Sect. 19.1.9	7.5 m min.	7.570 m
SIDE (WEST)	Zoning By-law No. 495-2003, Sect. 19.1.9	7.5 m min.	17.348 m
MAXIMUM BUILDING HEIGHT			13.4 m
TOTAL PARKING			385
EXISTING PARKING SPACES			263
EXISTING PARKING SPACES LOST IN DEVELOPMENT			110
NEW PARKING SPACES			45
Nursing Home		Zoning By-law No. 495-2003, Sect. 6.1.1.6	238
1 500sqm per 4 500sqm - 100sqm - 45 spaces required minimum			
Zoning By-law No. 495-2003, Sect. 6.1.1.10			
1 500sqm per 500sqm - 100sqm - 45 spaces required minimum			
NEW BARRIER FREE PARKING SPACES			5
1 BF space per 20 spaces (over 100) + 1 BF space per following 100 + 6 spaces required			
NEW ELECTRIC VEHICLE PARKING SPACES		LEED Requirement	5
NEW GREEN VEHICLE PARKING SPACES		LEED Requirement	11

O.B.C. Matrix - Long Term Care Facility

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE
1	PROJECT DESCRIPTION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> NEW BUILDING	<input checked="" type="checkbox"/> PART 3 FOR NEW BUILDING
2	MAJOR OCCUPANCY(S) - GROUP B-2, Care and Treatment Occupancy	3.1.2.1(1)
3	BUILDING AREA (M ²) - 6 260.9 m ² (6.26 ha)	1.1.3.2
4	GROSS AREA (M ²) - 18 632.5 m ² TOTAL (GF + 2 152.6m ² , 1F = 6 197.6m ² , 2F = 4 969.6m ² , 3F = 5 015.7m ² , PENTHOUSE = 477m ²)	1.1.3.2
5	NUMBER OF STOREYS - 3 STOREYS + PENTHOUSE	3.2.1.1 & 1.1.3.2
6	HEIGHT OF BUILDING (M) - 13.4 m + PENTHOUSE (5m)	3.2.2.10 & 3.2.5.5
7	NUMBER OF STREETS/ACCESS ROUTES - 3 STREETS	3.2.2.38
8	BUILDING CLASSIFICATION - GROUP B' Division 2, Any Height, Any Area, Sprinklered	3.2.2.38
9	SPRINKLER SYSTEM PROPOSED - <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> ADDITION <input type="checkbox"/> NOT REQUIRED	3.2.2.38
10	STANDPIPE REQUIRED - <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9
11	FIRE ALARM REQUIRED - <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4
12	WATER SERVICE/SUPPLY IS ADEQUATE - <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7
13	HIGH BUILDING - <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6
14	PERMITTED CONSTRUCTION - <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION - <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.38
15	MEZZANINE(S) AREA (M ²) - N/A	3.2.1.1
16	OCCUPANT LOAD BASED ON <input checked="" type="checkbox"/> M ² /PERSON - PEOPLE <input type="checkbox"/> DESIGN OF BUILDING	3.1.1.7
17	BARRIER-FREE DESIGN - <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.6
18	HAZARDOUS SUBSTANCES - <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.1.2(1) & 3.3.1.19(1)
19	REQUIRED FIRE RESISTANCE RATING (FRR) - FLOOR ASSEMBLIES - 2 HOURS LOAD BEARING WALLS & COLUMNS - 2 HOURS ROOF RATING - N/A	3.2.2.38
20	SPATIAL SEPARATION - NEW BUILDING - FACE - ACTUAL L.D. - m	3.2.3

No.	Revision	Date
17	Issued for Site Plan Application	08 - 12 - 2019
16	Issued for Consultant Coordination	08 - 06 - 2019
15	Issued for Consultant Coordination	07 - 25 - 2019
14	Issued for Site Plan Review	07 - 11 - 2019
13	Issued for Consultant Site Plan Coord	07 - 05 - 2019
12	Issued for DD Review	06 - 05 - 2019
11	Issued for Consultant Site Plan Coord	05 - 17 - 2019
10	Issued for DD Owner Review	04 - 22 - 2019
09	Issued for County Use	12 - 20 - 2018
08	Issued for Review with Town	12 - 19 - 2018
07	Issued for Borehole Locations	11 - 15 - 2018
06	Issued for SD Base Plans	11 - 13 - 2018
05	Issued for Design Review	11 - 08 - 2018
04	Issued for Geotechnical RFQ	10 - 11 - 2018
03	Issued for Preliminary Design Review	09 - 20 - 2018
02	Issued for Draft Geotechnical RFQ	08 - 21 - 2018
01	Issued for Borehole Coordination	08 - 10 - 2018



All dimensions to be checked and verified on the job. Any discrepancies are to be reported to the Consultant. All drawings remain the property of the Consultant. Only latest approved drawings are to be used for construction.

salterpilonarchitecture
 151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
 salterpilon.com t: 705.737.3530

Project Information
Golden Plough Lodge - Redevelopment
 565 Courthouse Road, Cobourg, ON, K9A 5J6

For Northumberland County

Site Plan

Date	Issue Date	Project No	Drawing No
Drawn by	JJ, JS, MB	18015	A100
Scale	As indicated		

Existing Site Plan Legend

- 8m Borehole
- 4m Borehole
- 2m Borehole (Soil Infiltration Test)
- Existing Building
- Existing Asphalt
- Existing Concrete Side Walk
- Existing Planting
- Property Line



INFORMATION TAKEN FROM:
PLAN OF SURVEY SHOWING TOPOGRAPHIC DETAIL OF

PART OF LOT 21, CONCESSION A LOT 8 AND PART LOTS 1, 2, 3, 7, 9, 10, AND 11, PART OF UNNAMED STREET KNOWN AS COURT HOUSE ROAD (CLOSED BY BY-LAW 148-92, INSTRUMENT NC209537)

PART OF BLOCK A, CADDY PLAN (FORMERLY LOT 21, CONCESSION A)

TOWN OF COUBOURG
COUNTY OF NORTHUMBERLAND

AS PREPARED BY - IVAN B. WALLACE O.L.S.
71 MEARNS COURT, UNIT 1, BOWMANVILLE, ON, L1C 4N4
SURVEY TAKEN: JULY 8, 2016

METRIC:
DISTANCES AND COORDINATES ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. DISTANCES ARE 'GROUND' AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 1.00021.

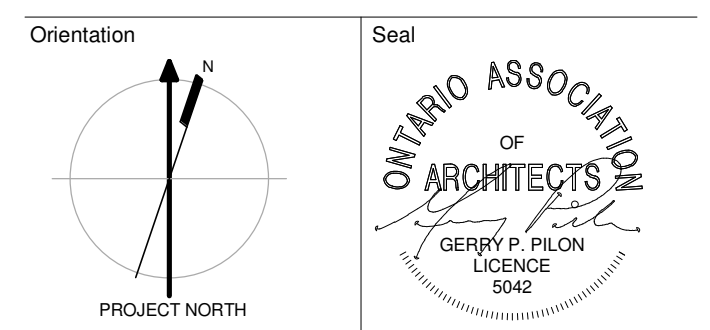
ELEVATIONS:
ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD28) BY DIRECT MEASUREMENT TO A REAL TIME NETWORK

BEARING NOTES:
BEARINGS HEREON ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORPs) 'A' AND 'B' BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (GSR) (1997)

FOR BEARING COMPARISONS, THE FOLLOWING ROTATIONS WERE APPLIED:

- P1, P2, P3, P5, P9 - 2'00"10" COUNTER CLOCKWISE
- P6 - 2'01'30" COUNTER CLOCKWISE
- P8 - 2'01'10" COUNTER CLOCKWISE
- P10 - 2'00'40" COUNTER CLOCKWISE

No.	Revision	Date
03	Issued for Site Plan Application	08-12-2019
02	Issued for Consultant Coordination	08-08-2019
01	Issued for Site Plan Review	07-11-2019



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Project Information
Golden Plough Lodge -
Redevelopment

555 Courthouse Road, Cobourg, ON, K9A 5J6




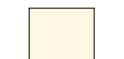








For Northumberland County

Drawing Title

Existing Site Plan

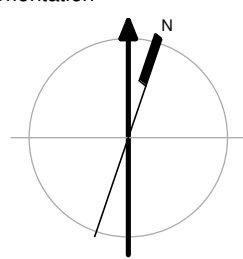

Date	Issue Date	Project No	Drawing No
	RS, MB	18015	A101
Scale	As indicated		

Demolition Plan Legend

-  8m Borehole
-  4m Borehole
-  2m Borehole
(Soil Infiltration Test)
-  Existing Building
-  Existing Asphalt
-  Existing Concrete Side Walk
-  Demolition
-  Setback Line
-  Property Line
-  Demolished Building
-  Demolished Asphalt
-  Demolished Concrete



No.	Revision	Date
03	Issued for Site Plan Application	08-12-2019
02	Issued for Consultant Coordination	08-08-2019
01	Issued for Site Plan Review	07-11-2019

Orientation  Seal 

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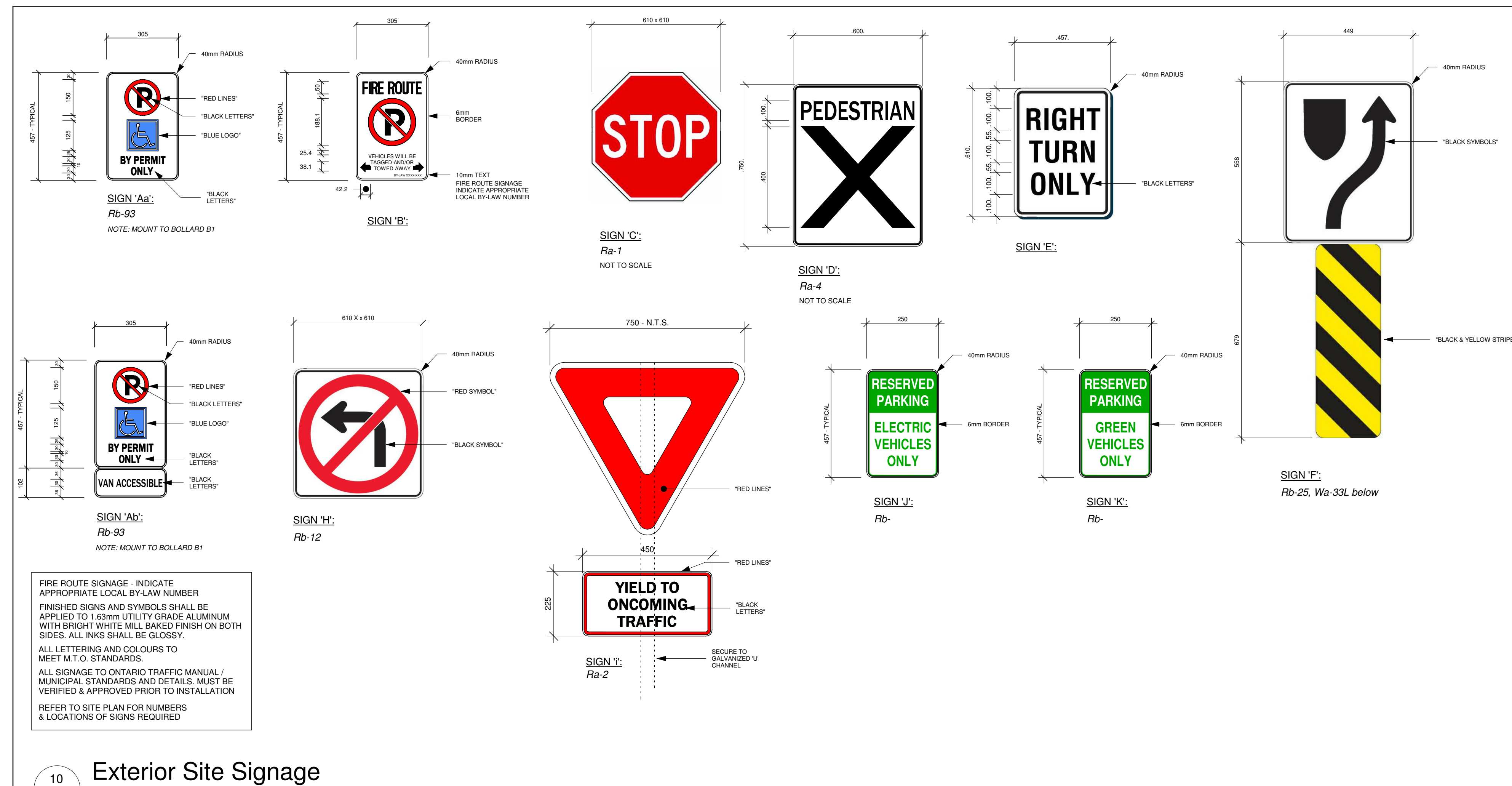
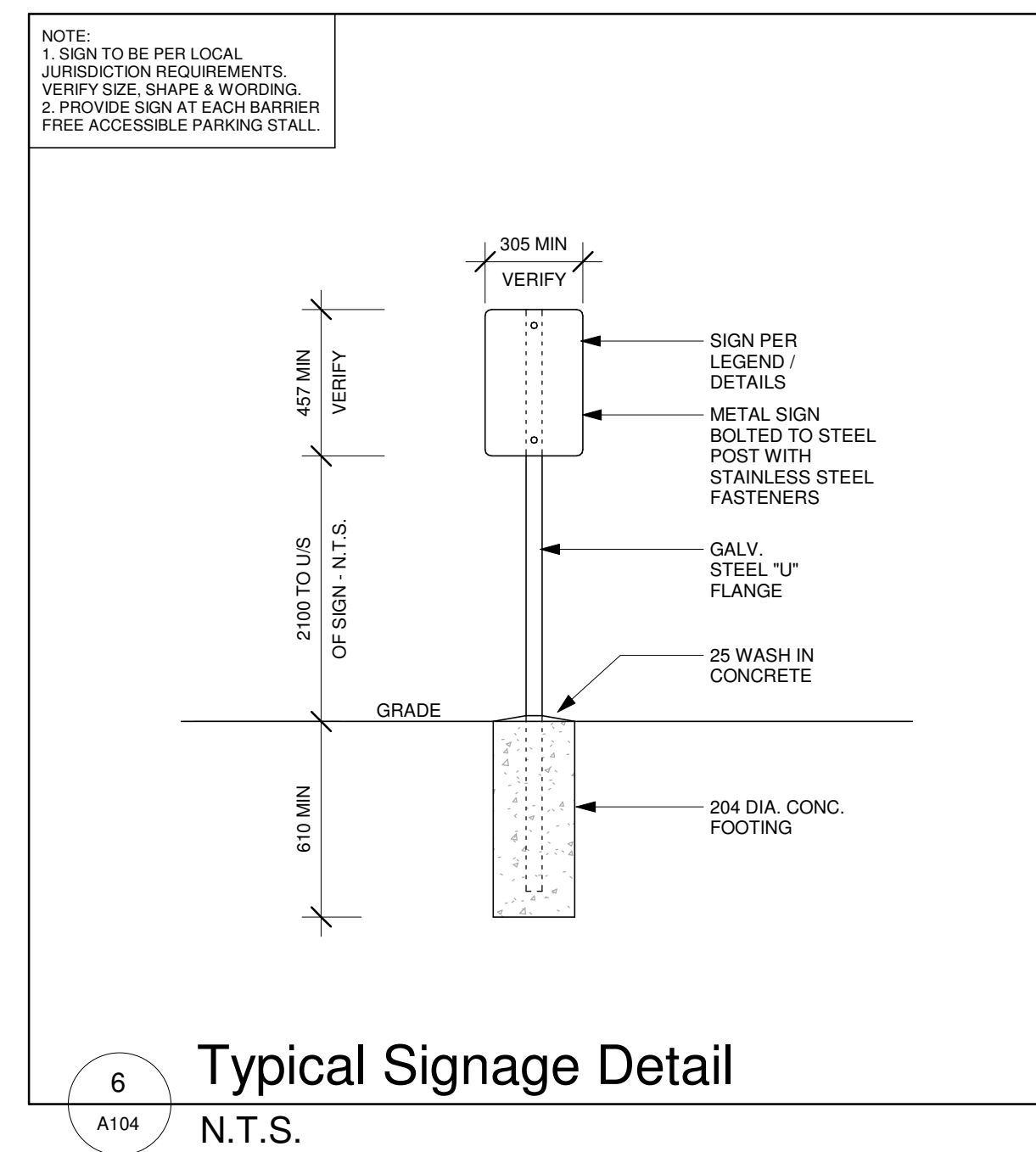
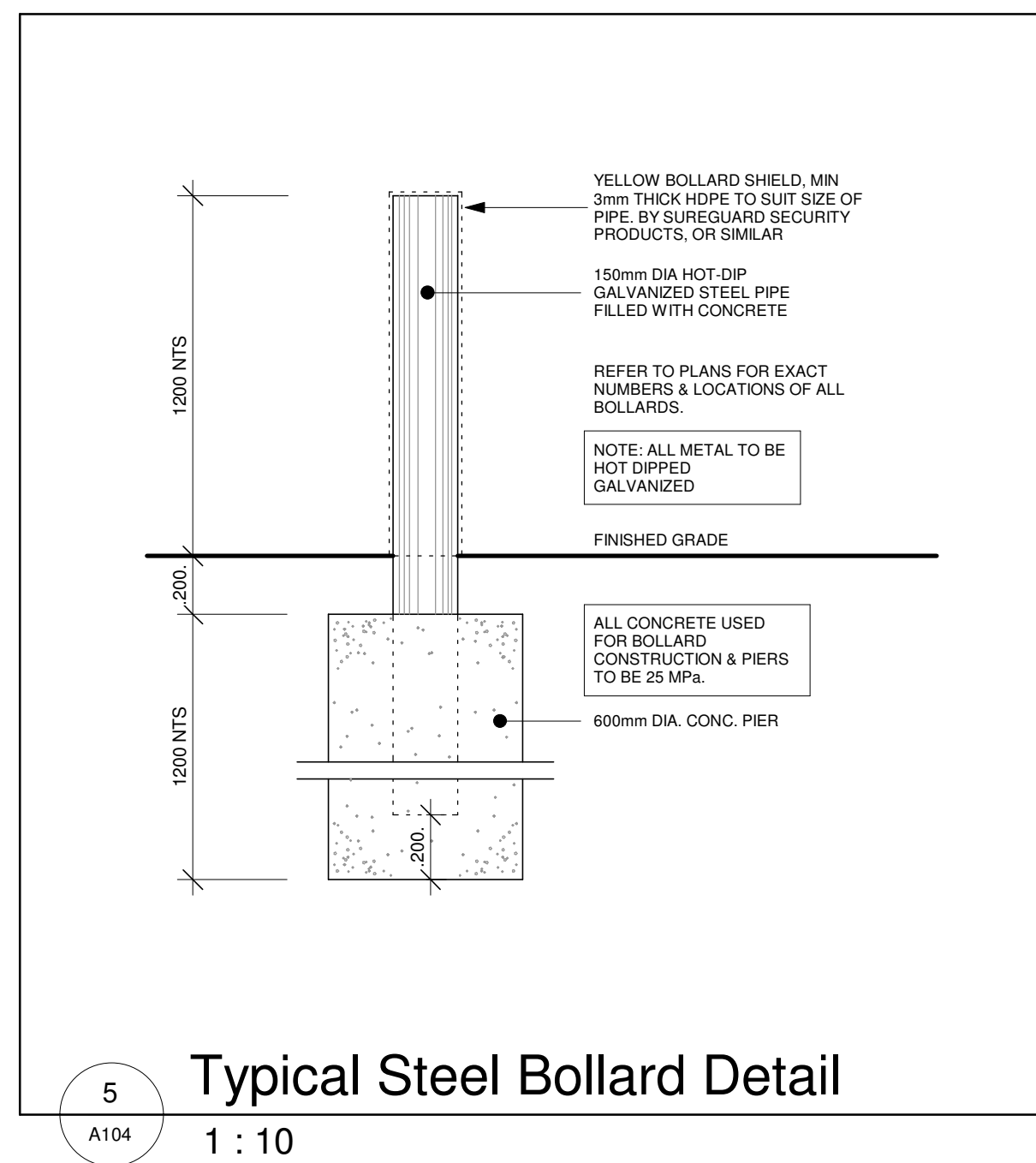
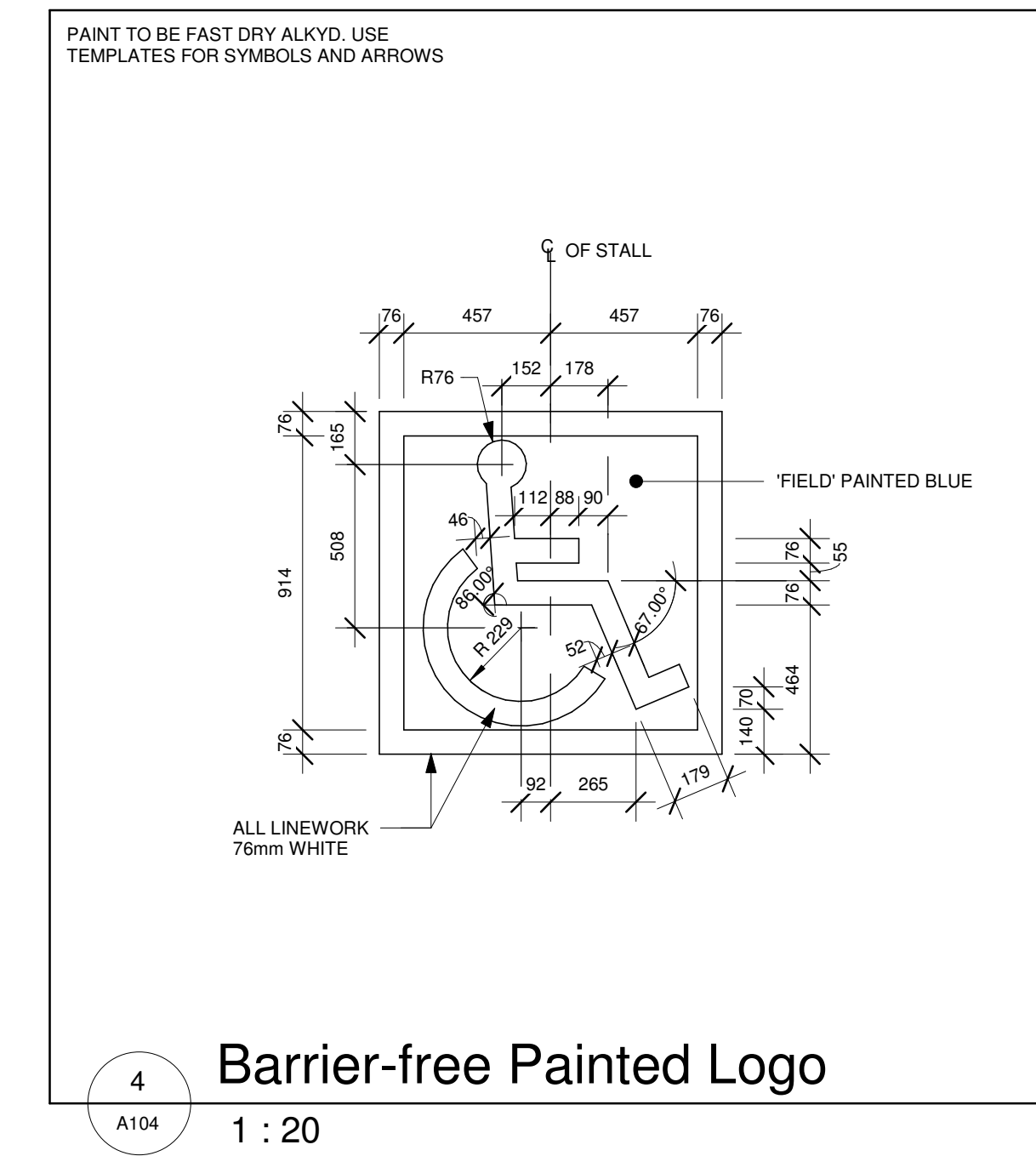
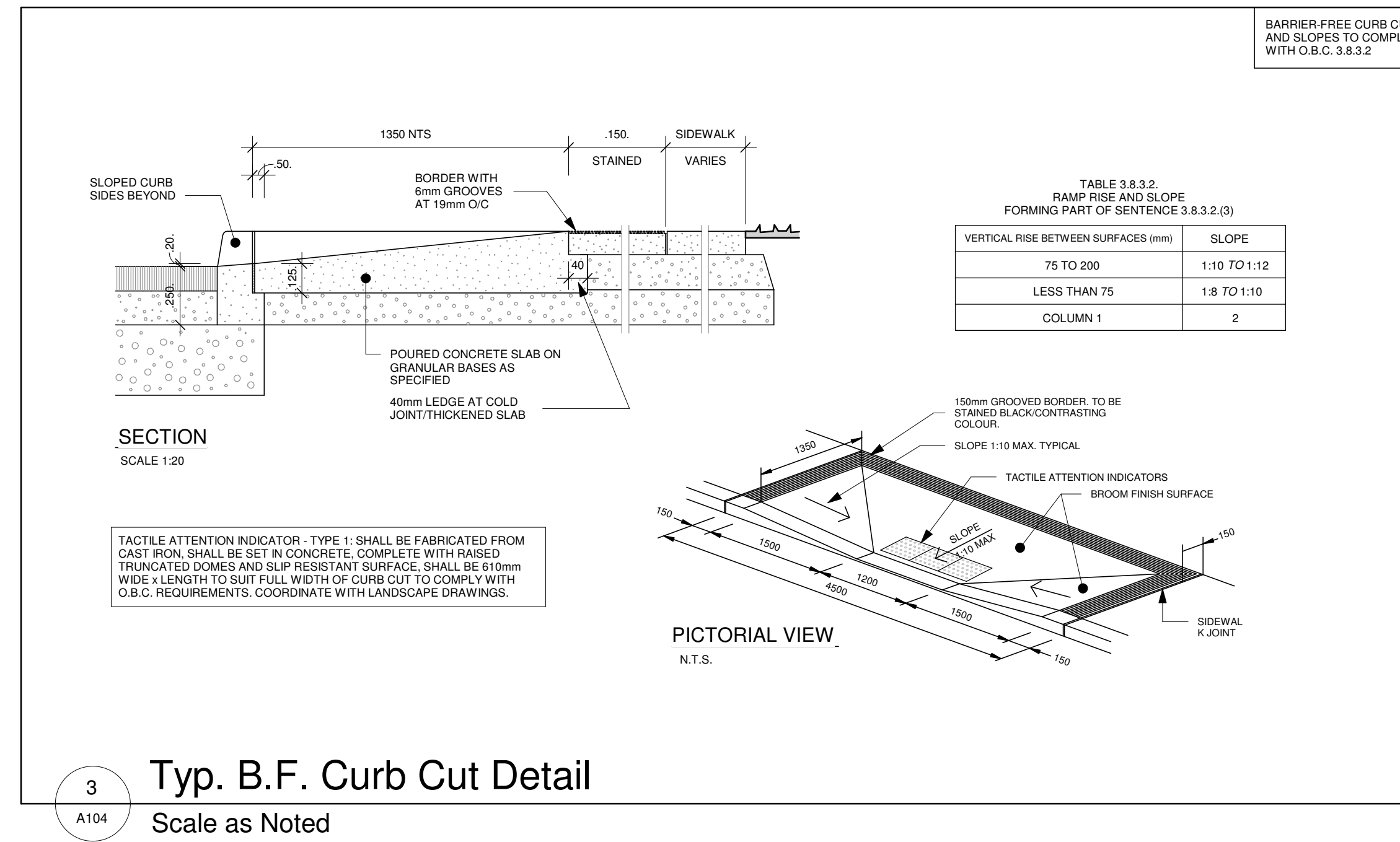
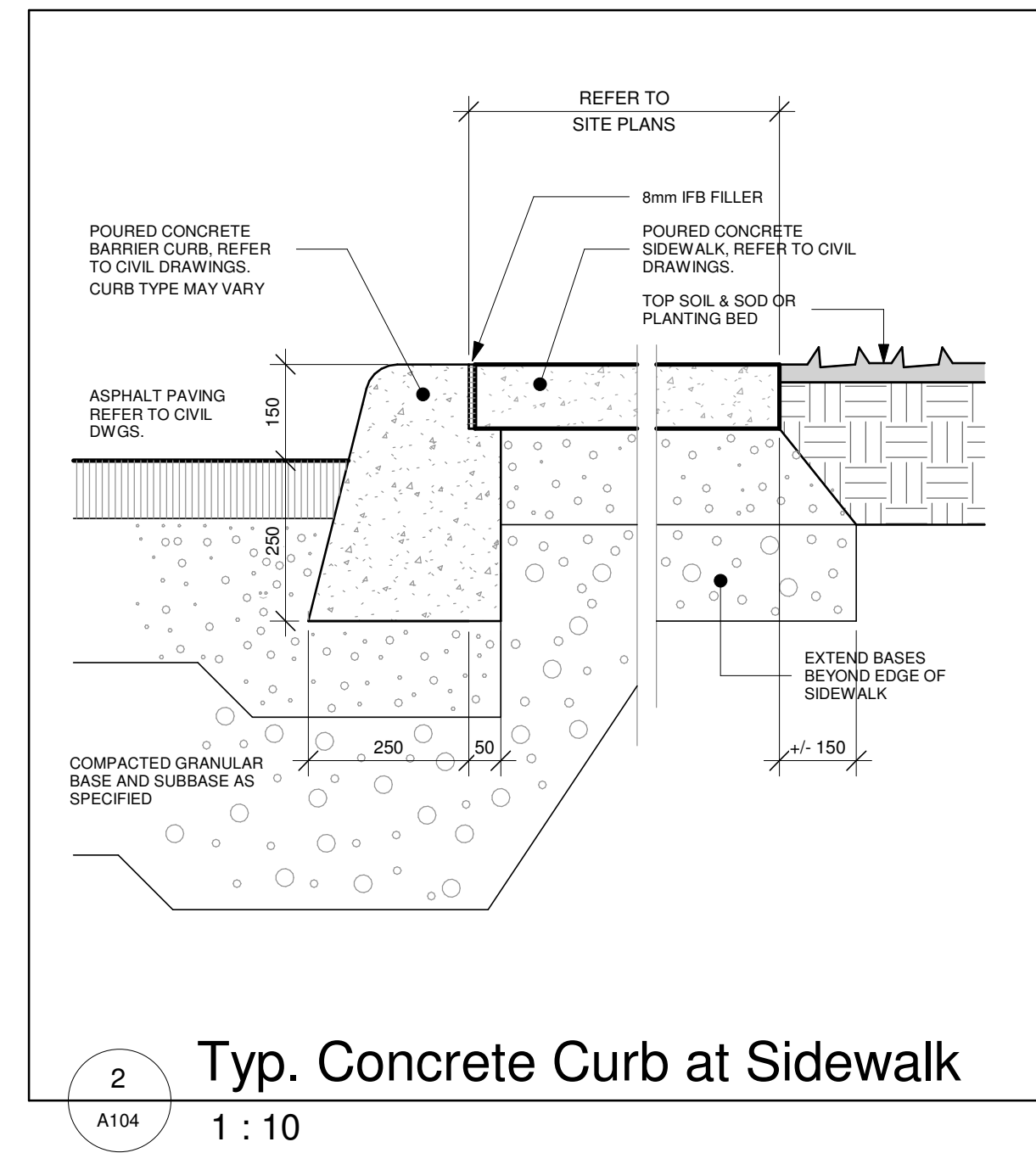
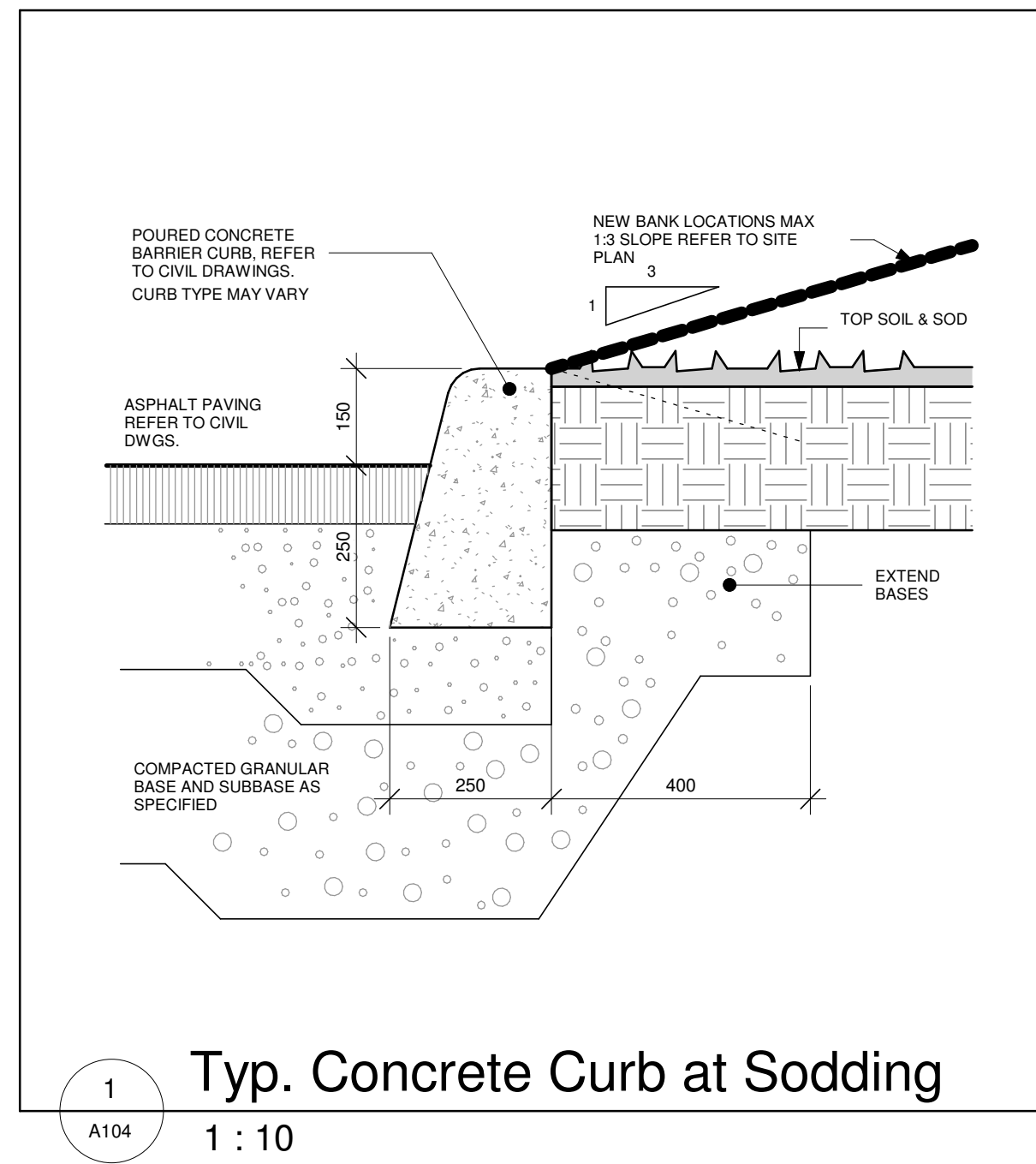
Project Information
**Golden Plough Lodge -
Redevelopment**

555 Courthouse Road, Cobourg, ON, K9A 5J6

For
Northumberland County

Drawing Title
Site Plan - Demolition

Date	Issue Date	Project No	Drawing No
As indicated	RS, MB	18015	A102



No.	Revision	Date
02	Issued for Site Plan Application	08-12-2019
01	Issued for Consultant Coordination	08-08-2019

Orientation

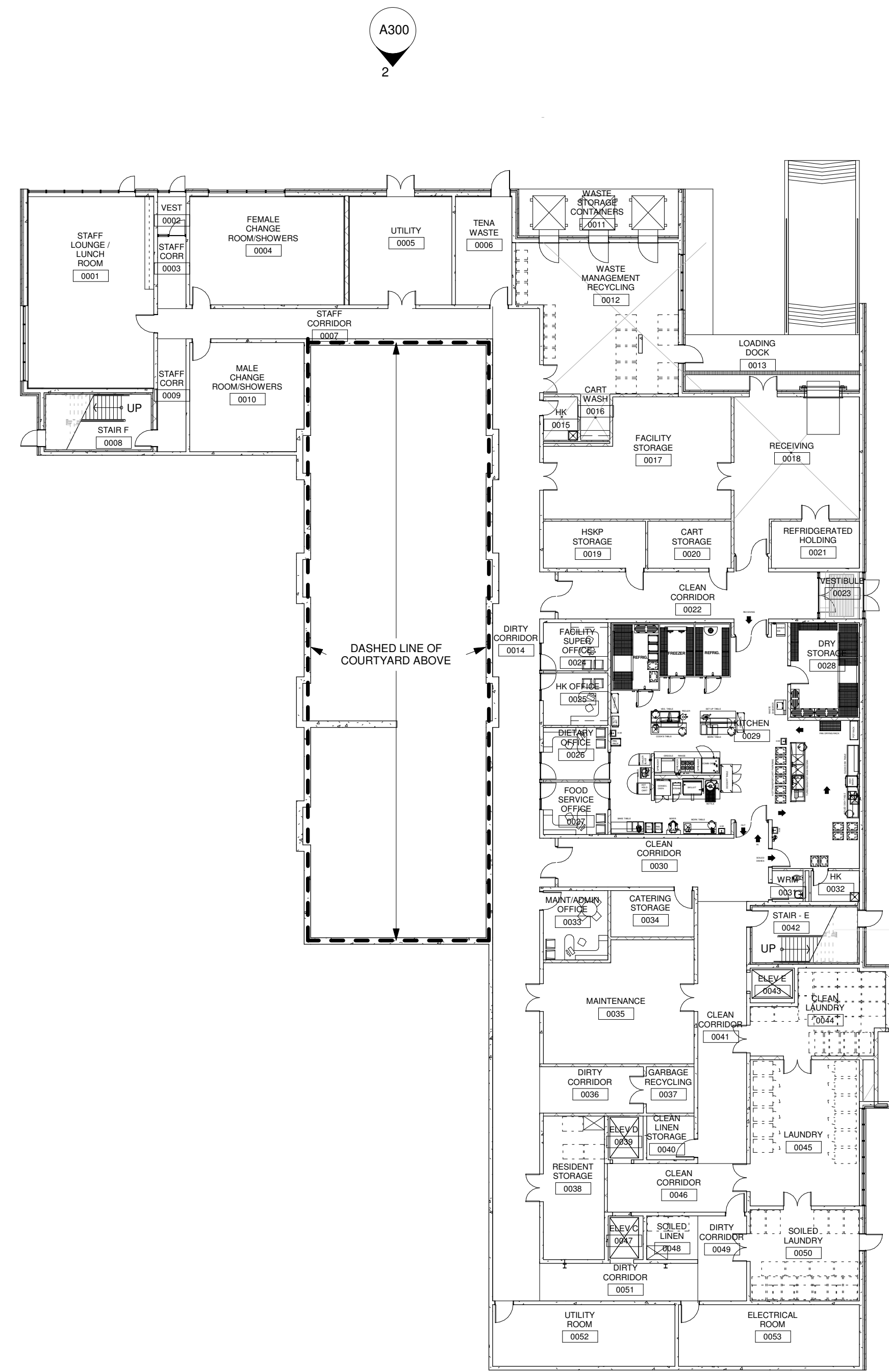
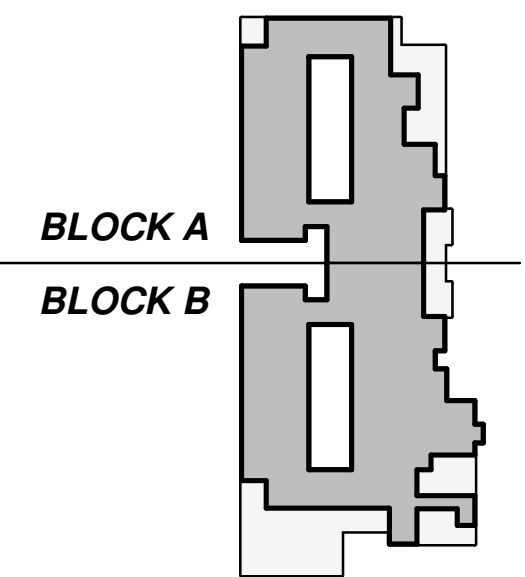
Seal

ONTARIO ASSOCIATION OF ARCHITECTS

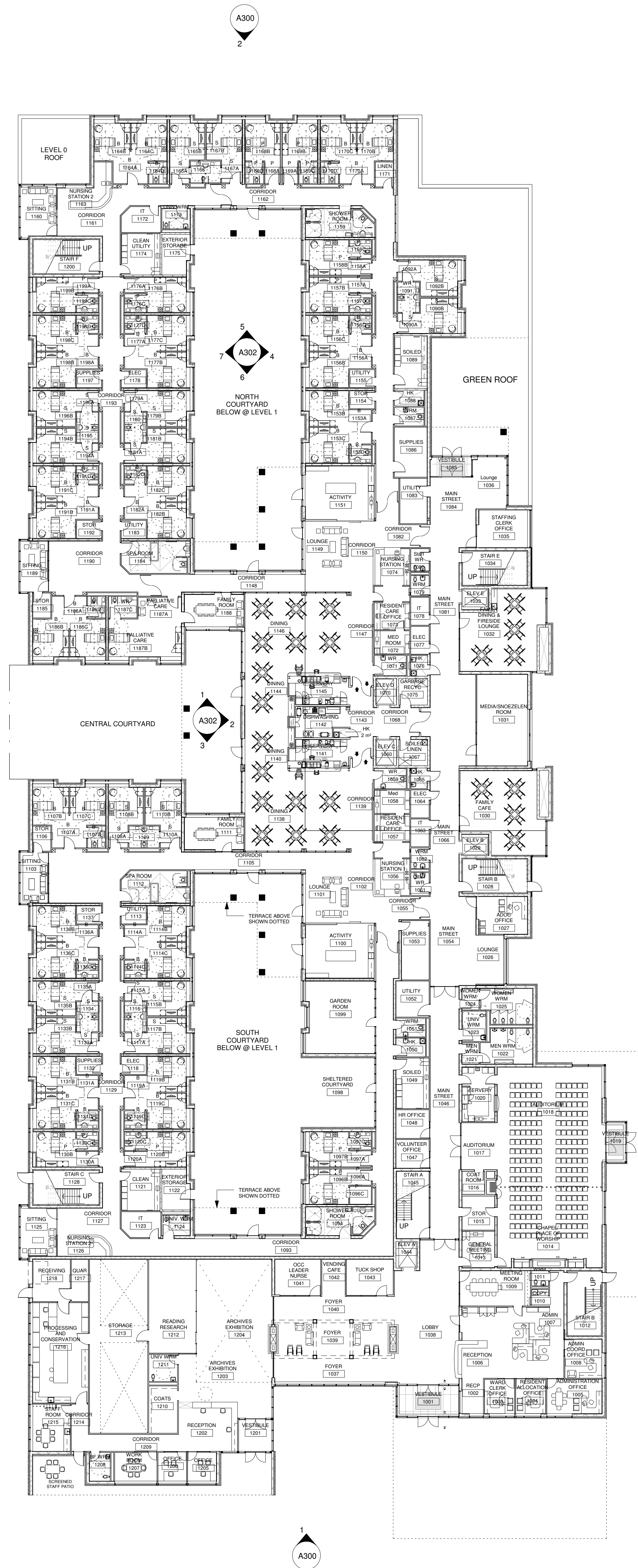
GEORGE P. PILON

LICENCE 5042

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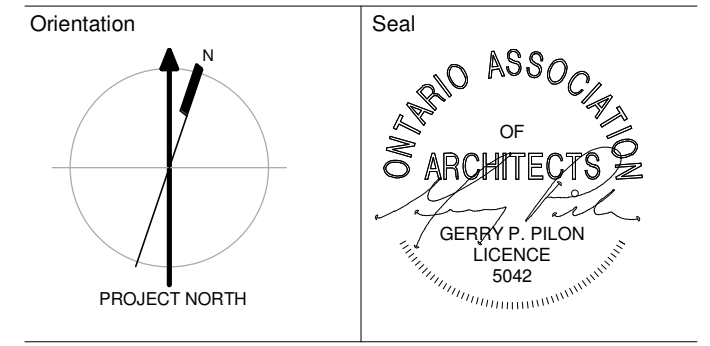


2
A202
Level 0 - Overall Plan
1 : 250



1
A202
Level 1 - Overall Plan
1 : 250

No.	Revision	Date
05	Issued for Site Plan Application	08 - 12 - 2019
04	Issued for Consultant Coordination	08 - 08 - 2019
03	Issued for DD Review	06 - 05 - 2019
02	Issued for DD Owner Review	04 - 22 - 2019
01	Issued for SD Base Plans	11 - 13 - 2018



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Project Information

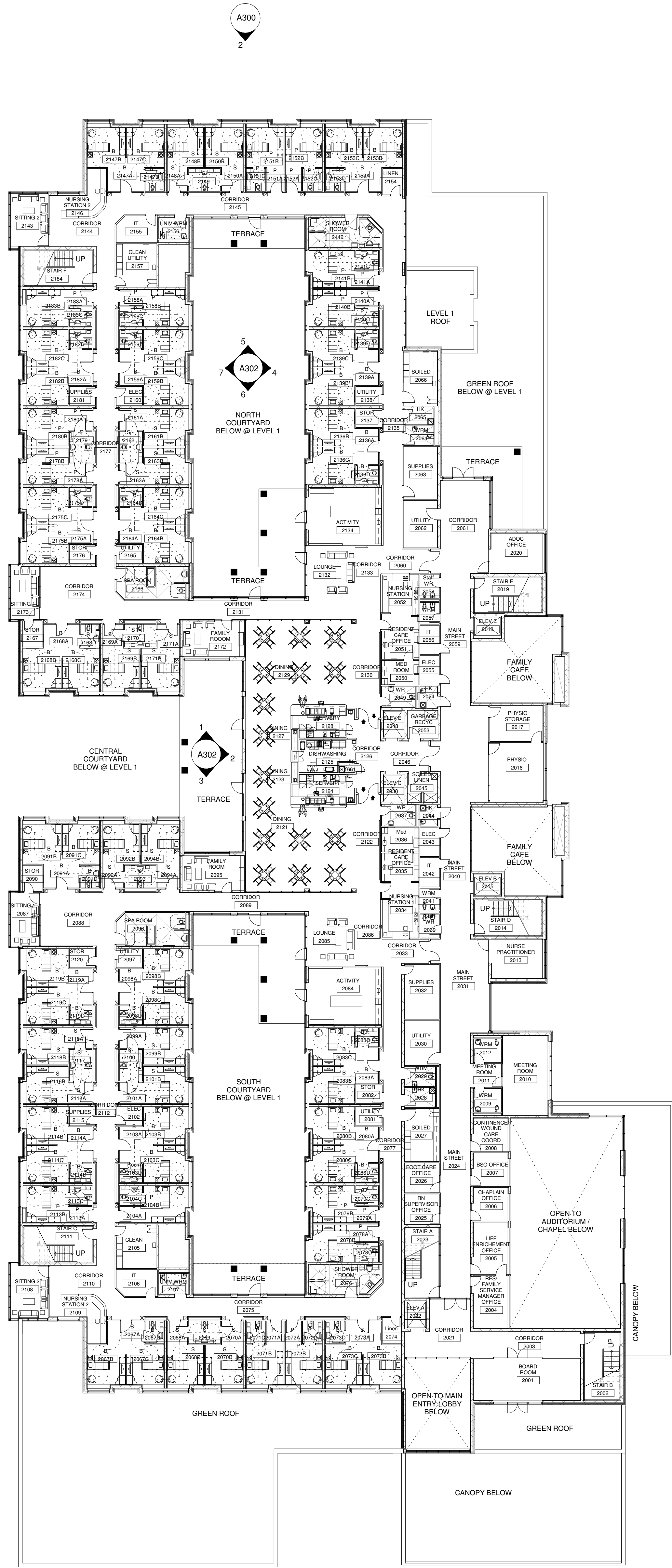
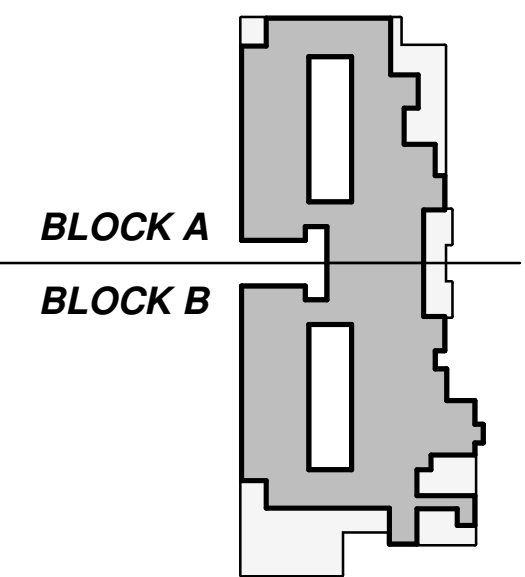
Golden Plough Lodge -
Redevelopment

555 Courthouse Road, Cobourg, ON, K9A 5J6

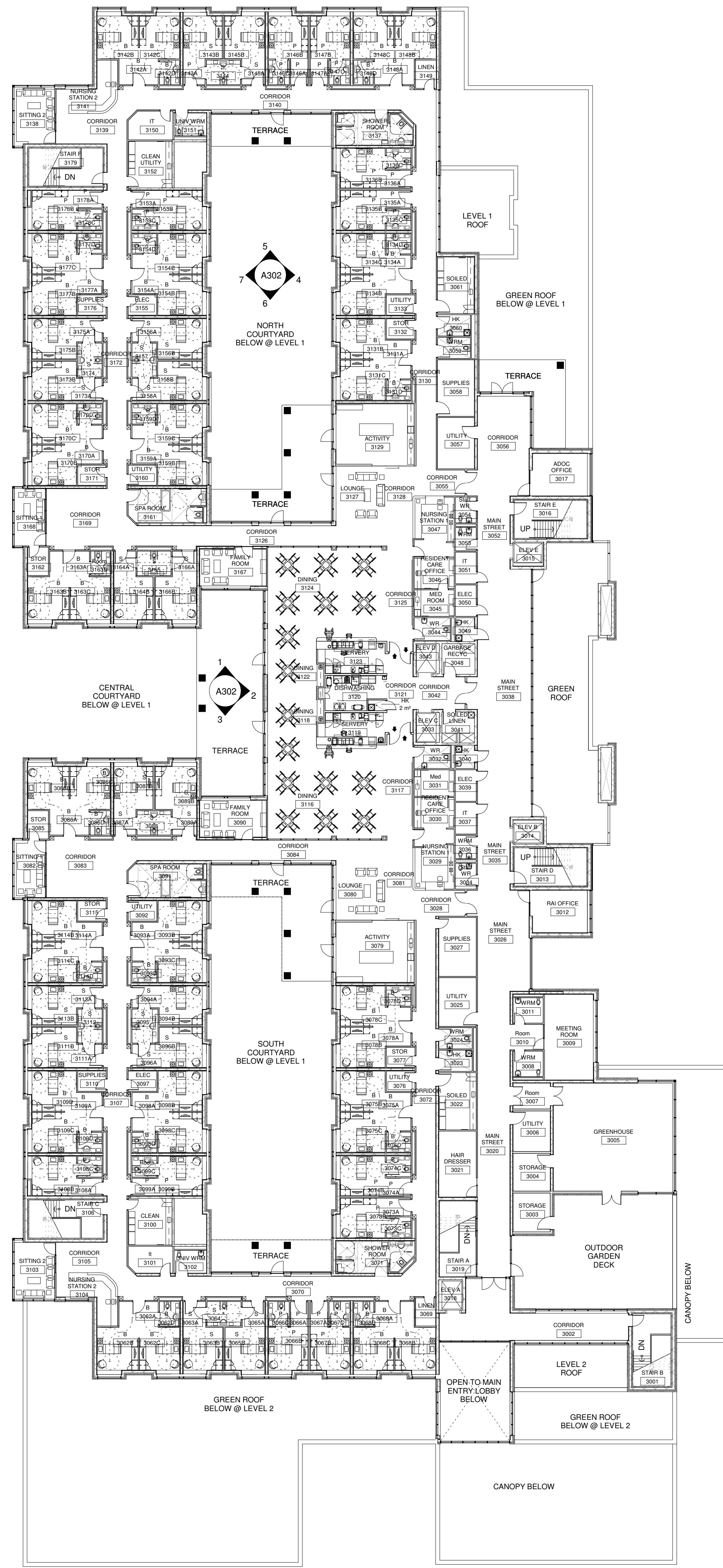
For
Northumberland County

Drawing Title
Level 0 & 1 - Overall
Plans

Date	Issue Date	Project No	Drawing No
Drawn by	AP, MB, RS	18015	A202
Scale	1 : 250		

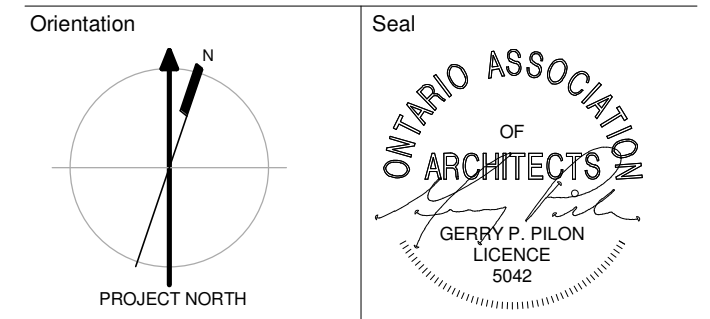


1 Level 2 - Overall Plan
1: 250



2 Level 3 - Overall Plan
1: 250

No.	Revision	Date
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04	Issued for Consultant Coordination	08 - 08 - 2019
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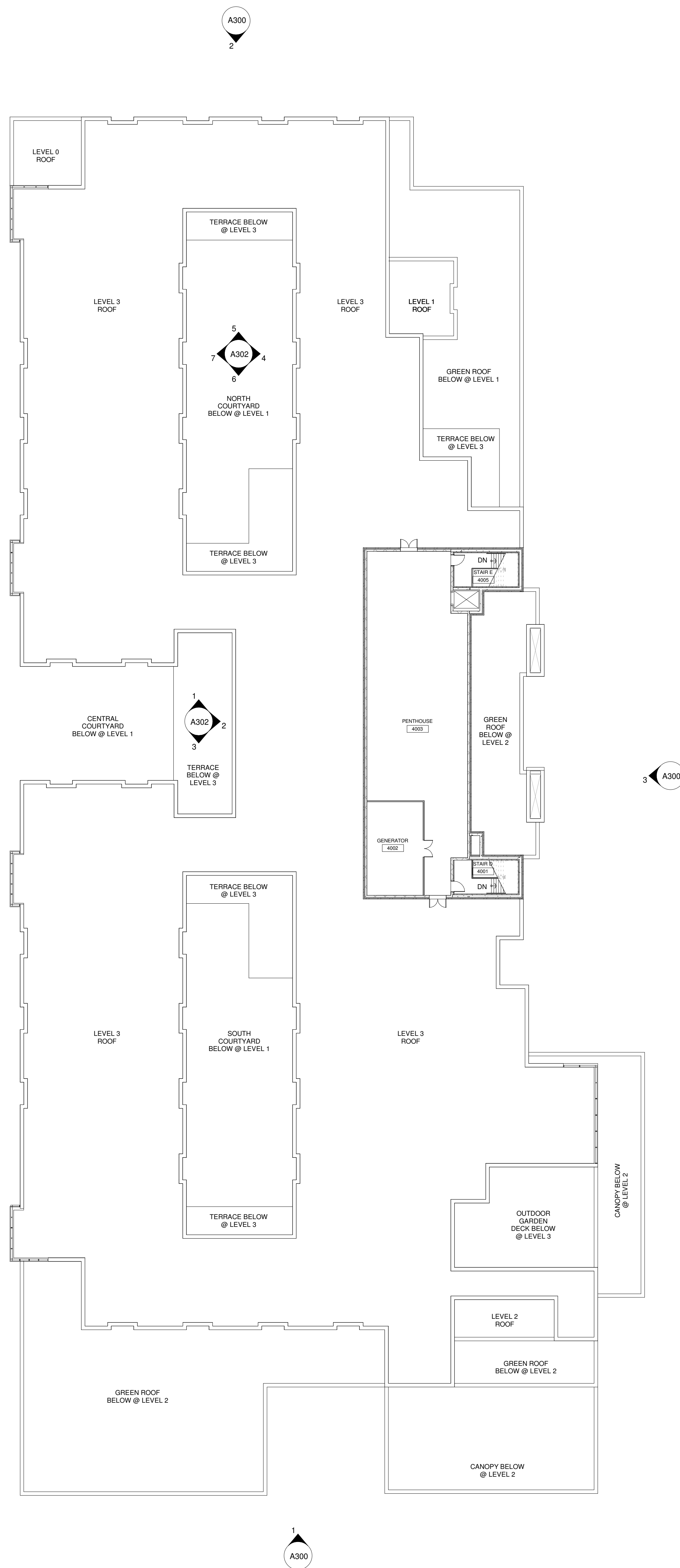
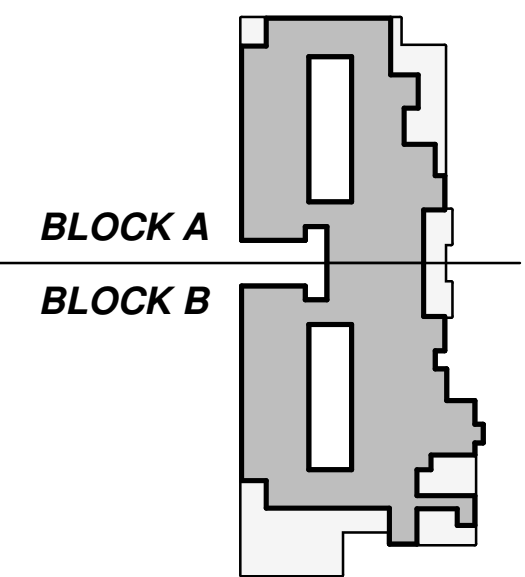
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Golden Plough Lodge -
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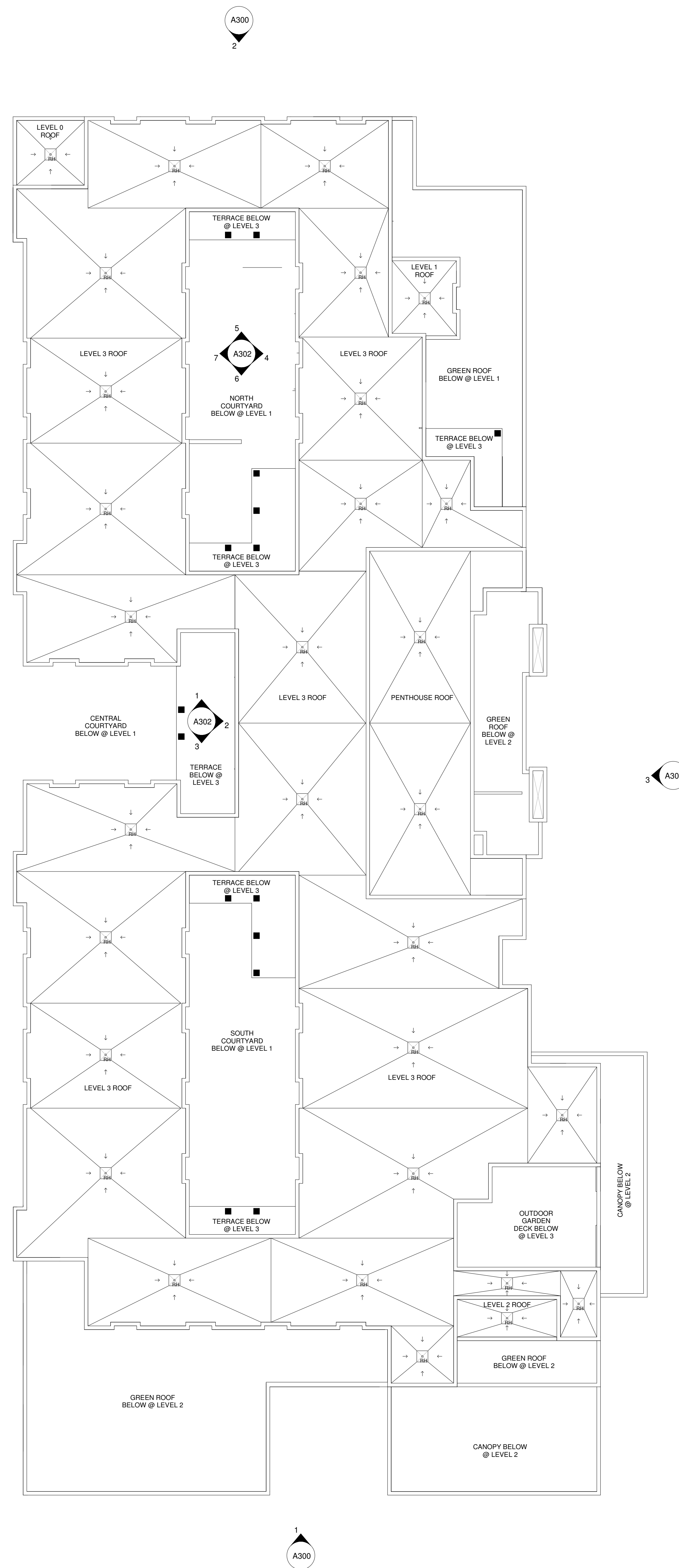
555 Courthouse Road, Cobourg, ON, K9A 5J6
For
Northumberland County

Drawing Title
Level 2 & 3 - Overall
Plans

Date	Issue Date	Project No	Drawing No
Drawn by	AP, MB, RS	18015	A203
Scale	1: 250		

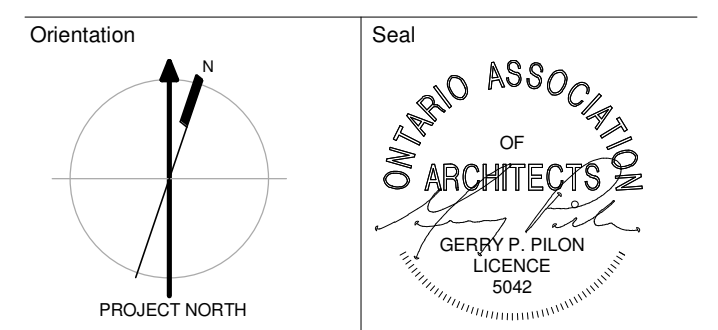


1 Penthouse - Overall Plan
1 : 250



2 Roof Plan - Overall Plan
1 : 250

No.	Revision	Date
02	Issued for Site Plan Application	08-12-2019
01	Issued for SD Base Plans	11-20-2018



All dimensions to be checked and verified on the job. Any discrepancies are to be reported to the Consultant. All drawings remain the property of the Consultant. Only latest approved drawings to be used for construction.

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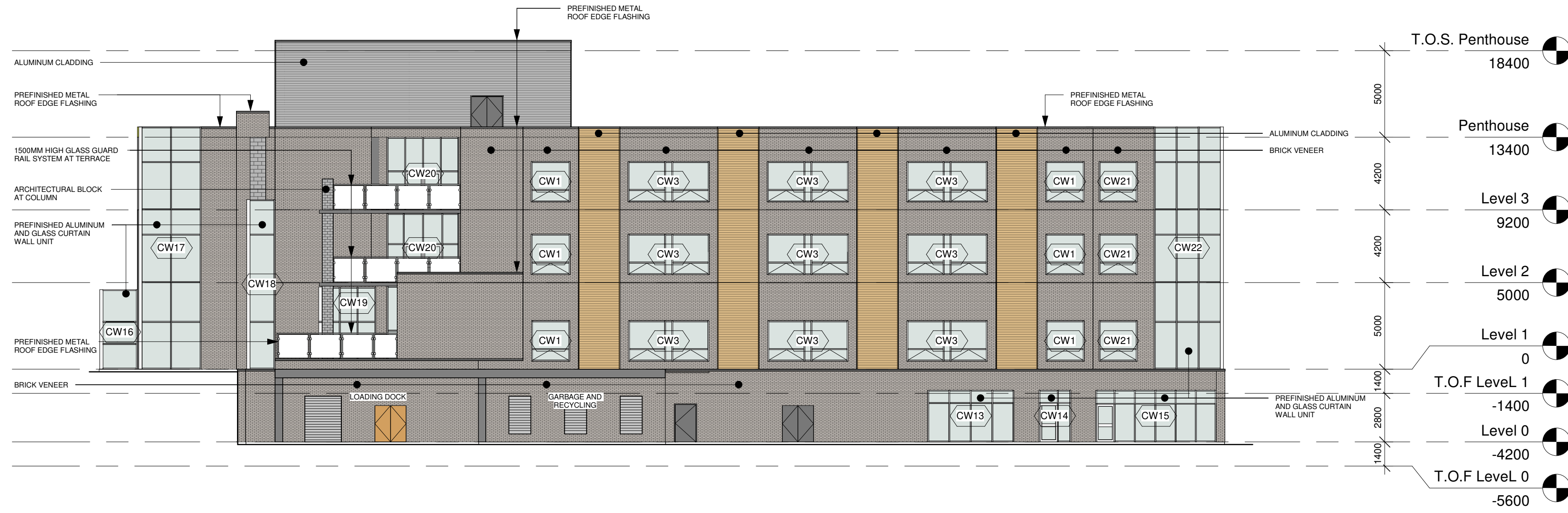
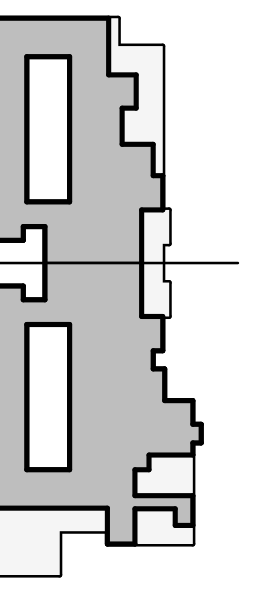
Project Information
**Golden Plough Lodge -
Redevelopment**

555 Courthouse Road, Cobourg, ON, K9A 5J6

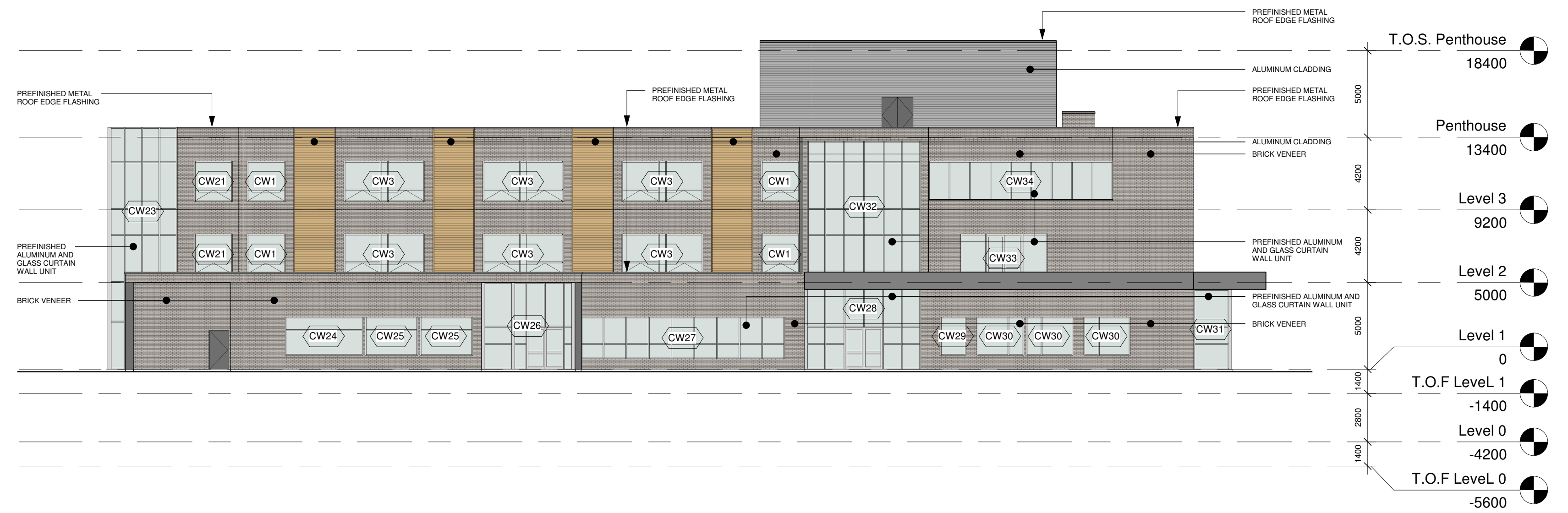
For
Northumberland County

Drawing Title
**Penthouse & Roof Plan -
Overall Plan**

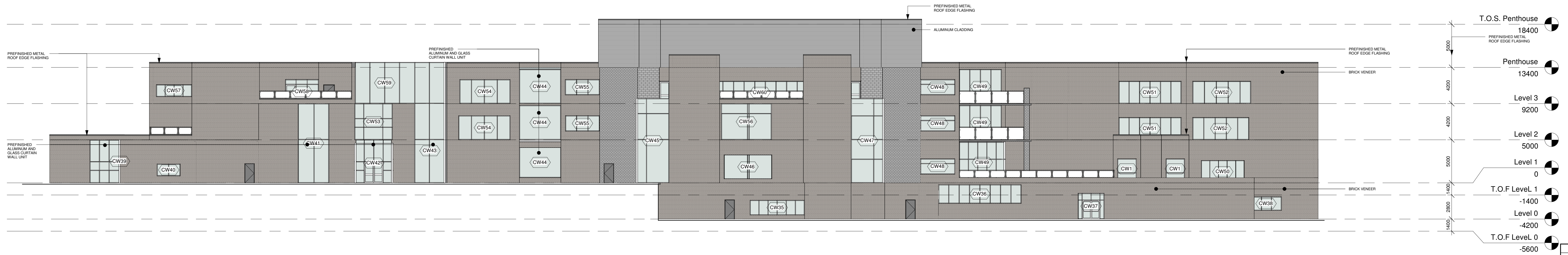
Date	Issue Date	Project No	Drawing No
AP, MB, RS	18015	A204	
Scale	1 : 250		



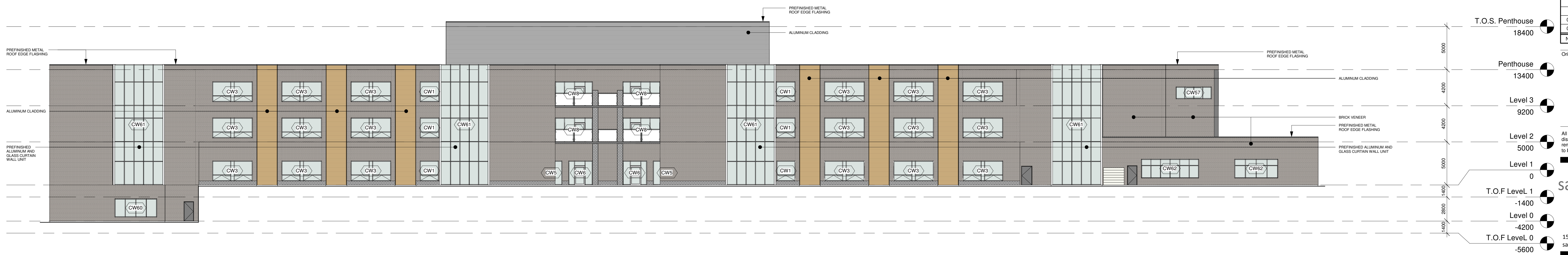
2 North Elevation
A300 1 : 200



1 South Elevation
A300 1 : 200



3 East Elevation
A300 1 : 200



4 West Elevation
A300 1 : 200

No.	Revision	Date
01	Issued for Consultant Coordination	08-08-2019
02	Issued for Site Plan Application	08-12-2019

Orientation: Seal
ONTARIO ASSOCIATION OF ARCHITECTS
 GEORGE P. PILLOW
 LICENCE 5382

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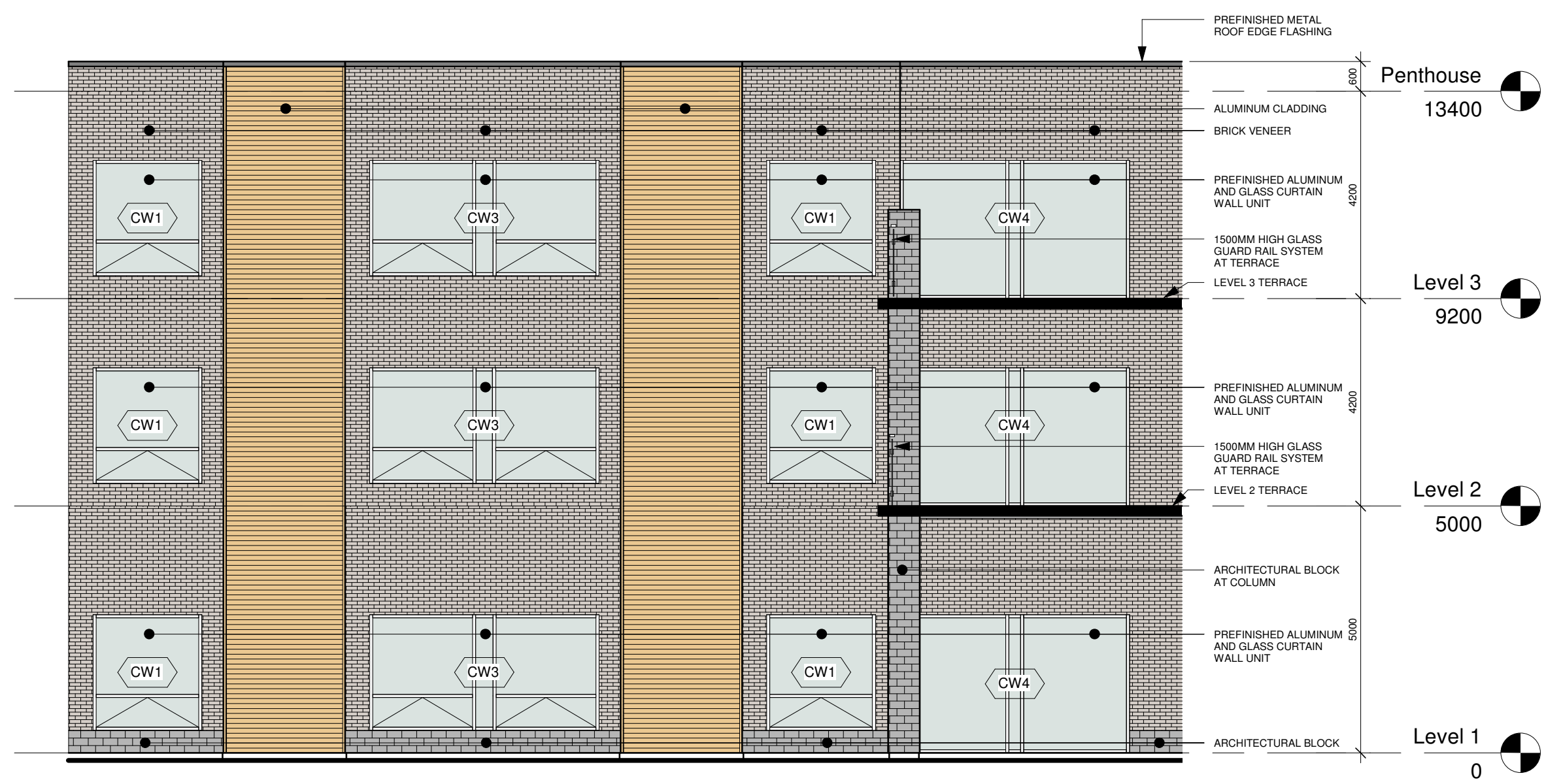
151 Ferris Lane, Suite 400 Cobourg, Ontario K9A 6C1
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Project Information
 Golden Plough Lodge - Redevelopment

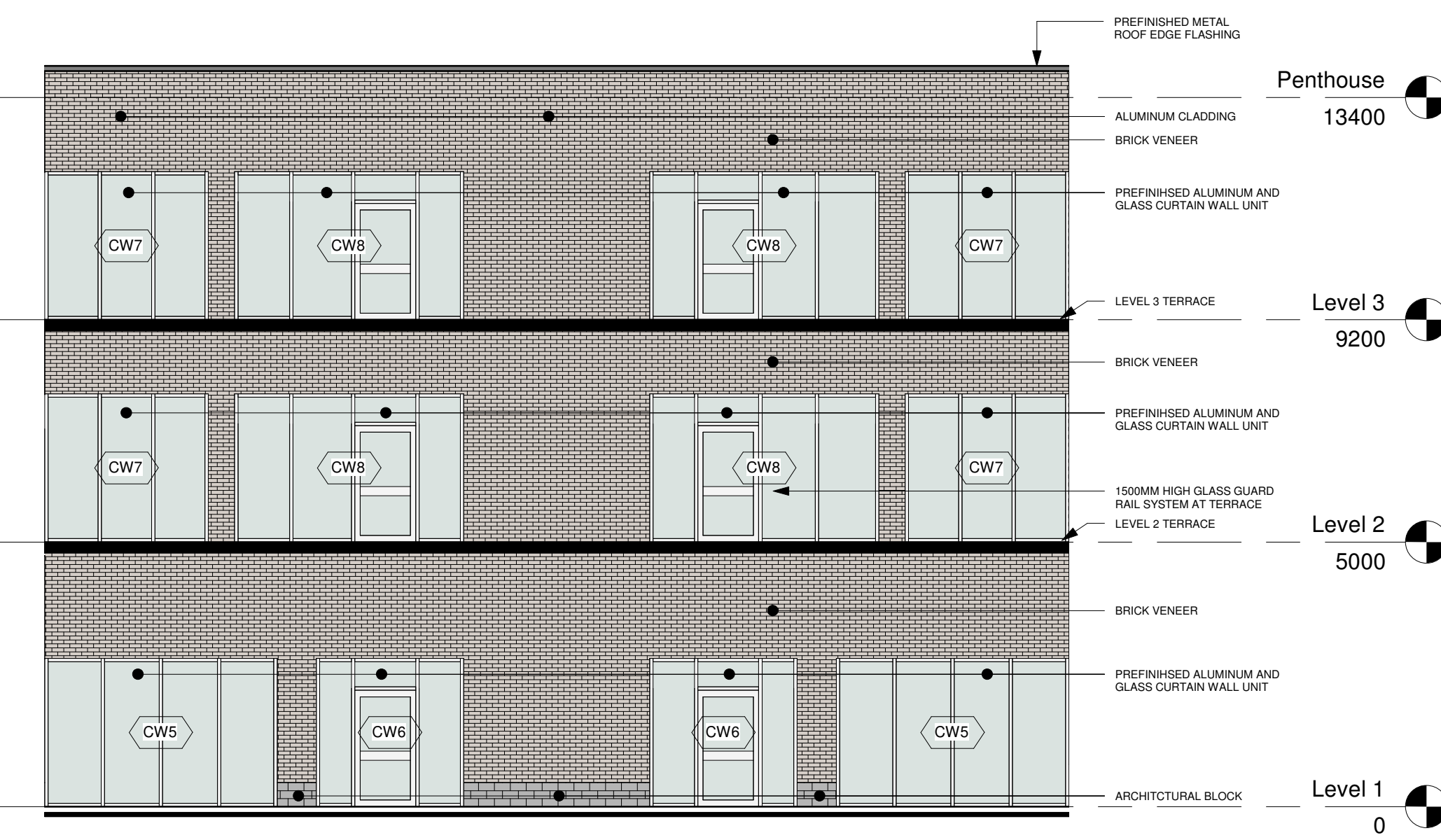
For
 Northumberland County

Drawing Title
 Elevations

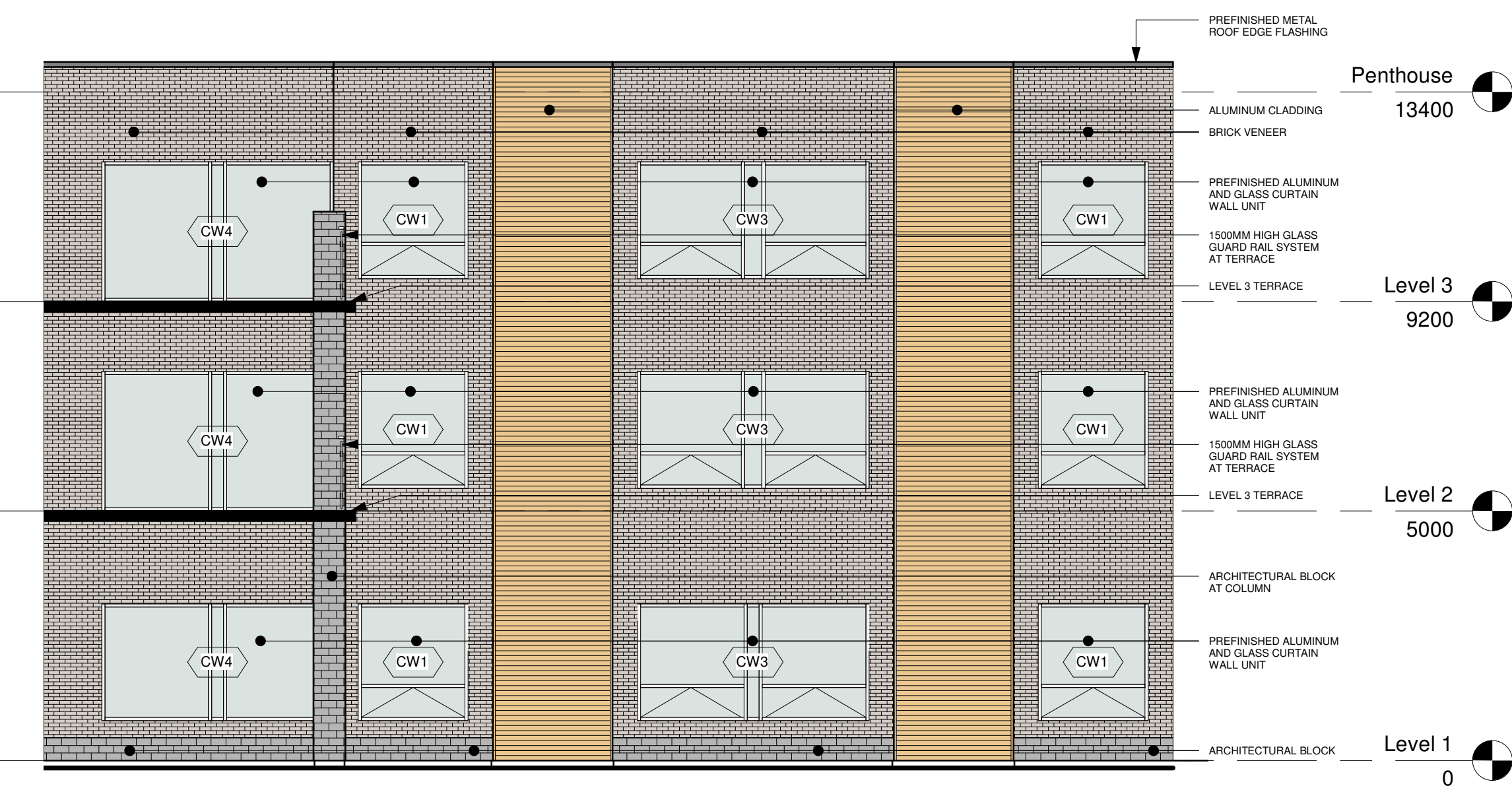
Date	Issue Date	Project No	Drawing No
	AP, MB	18015	A300
Scale		1 : 200	



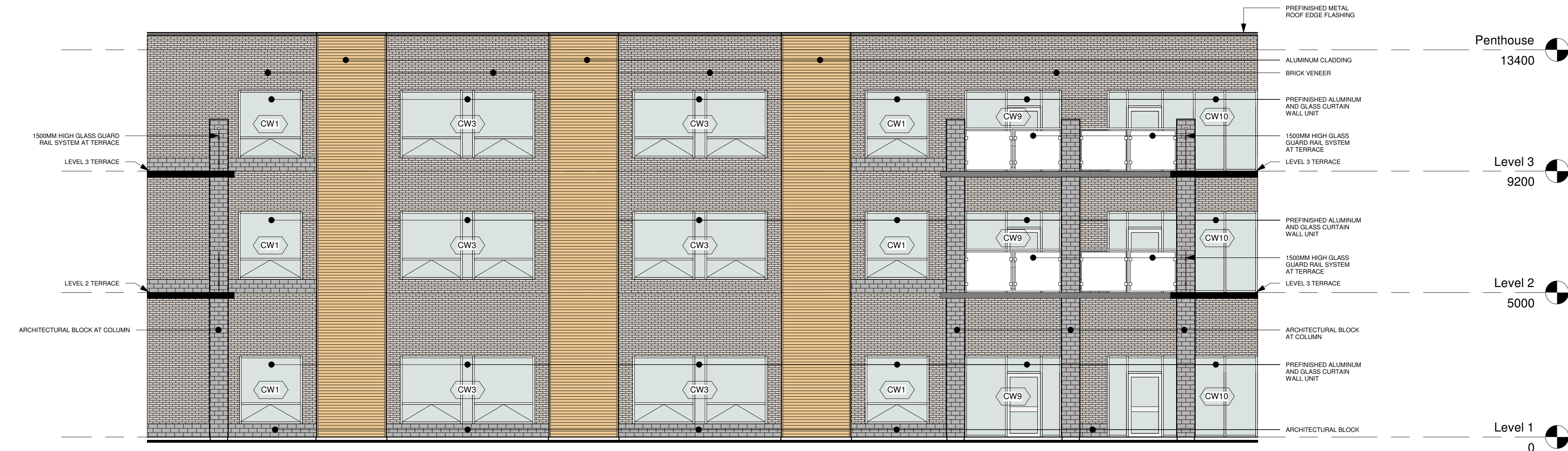
1 Central Courtyard - North
1 : 100



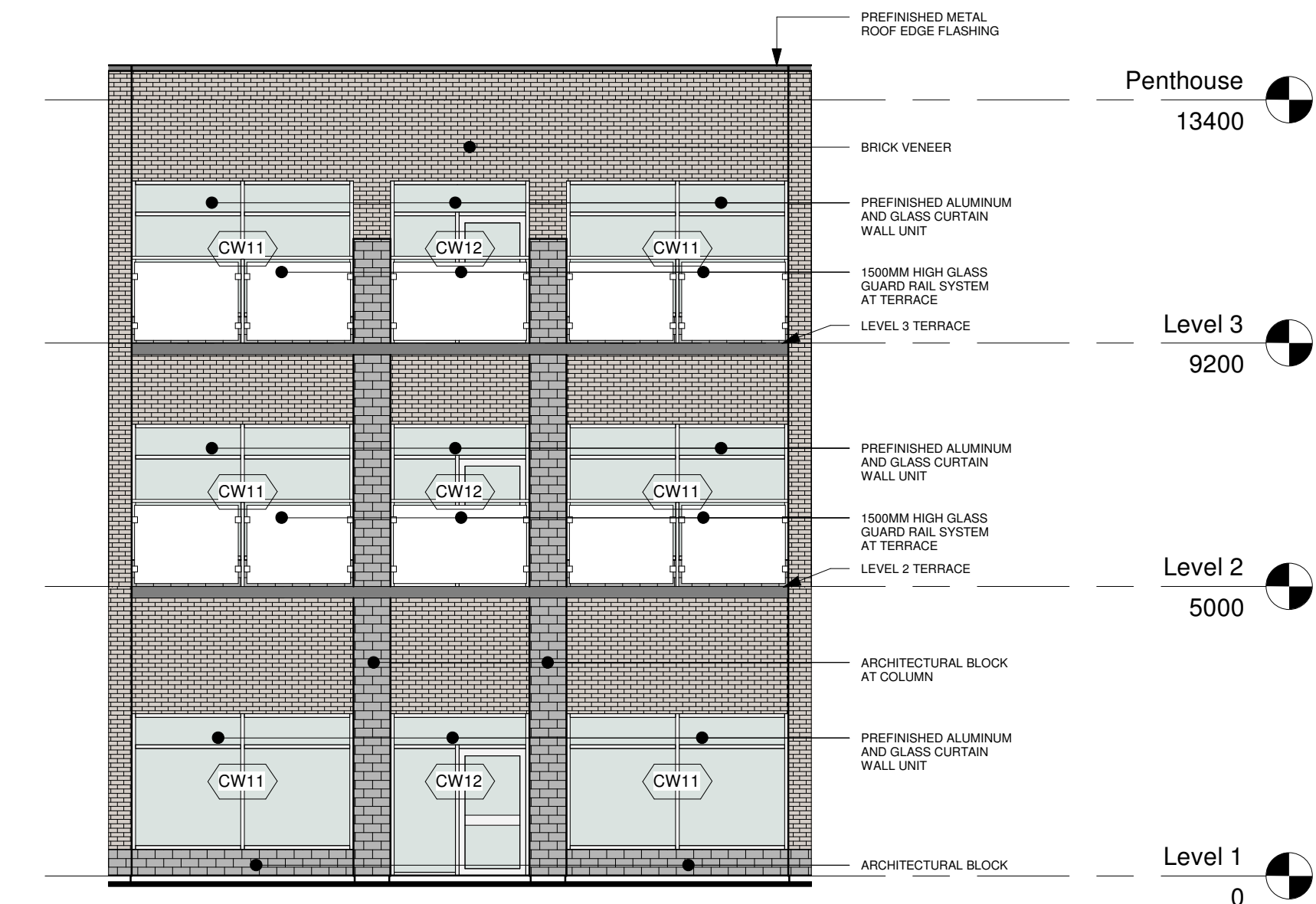
2 Central Courtyard - East
1 : 100



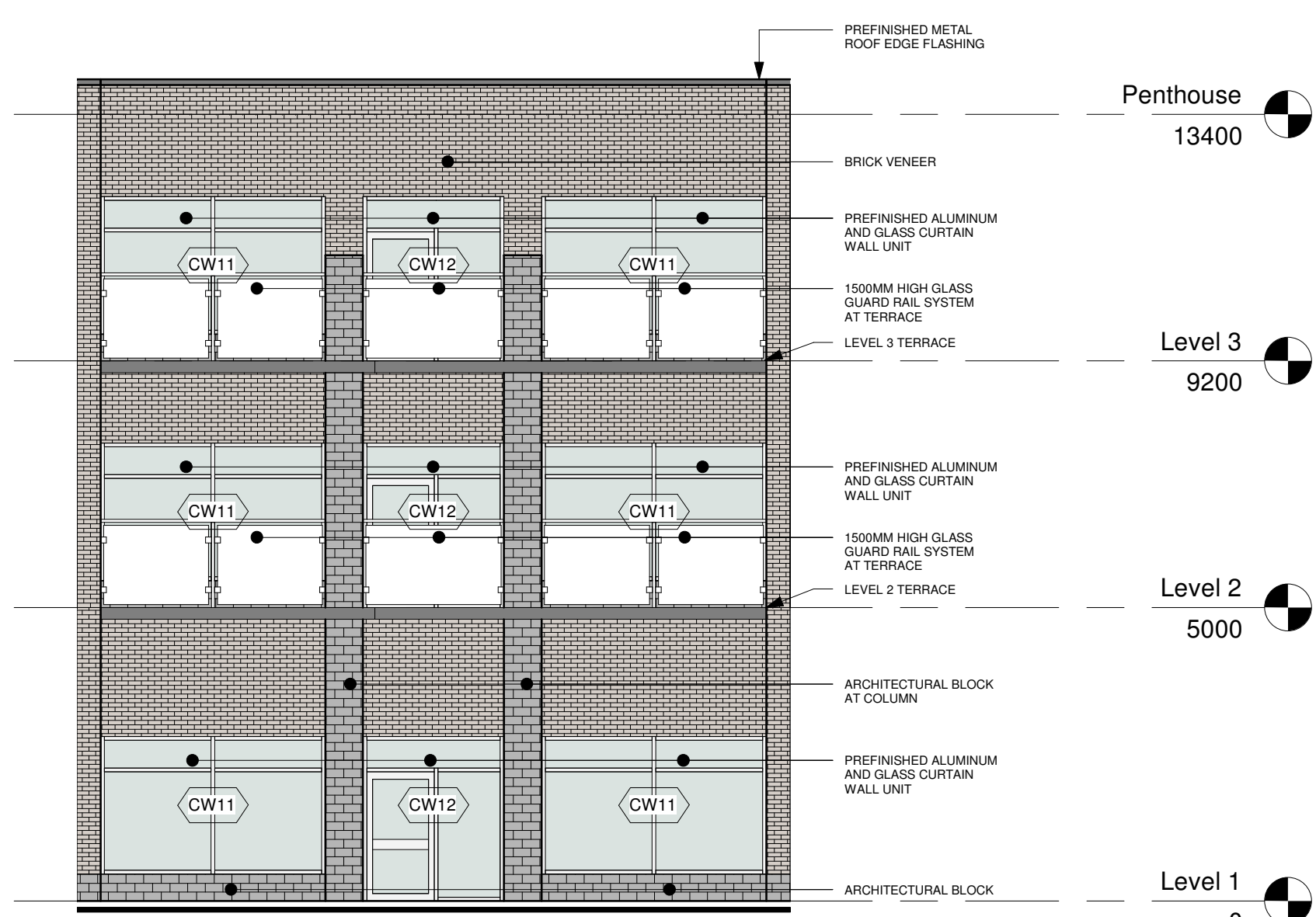
3 Central Courtyard - South
1 : 100



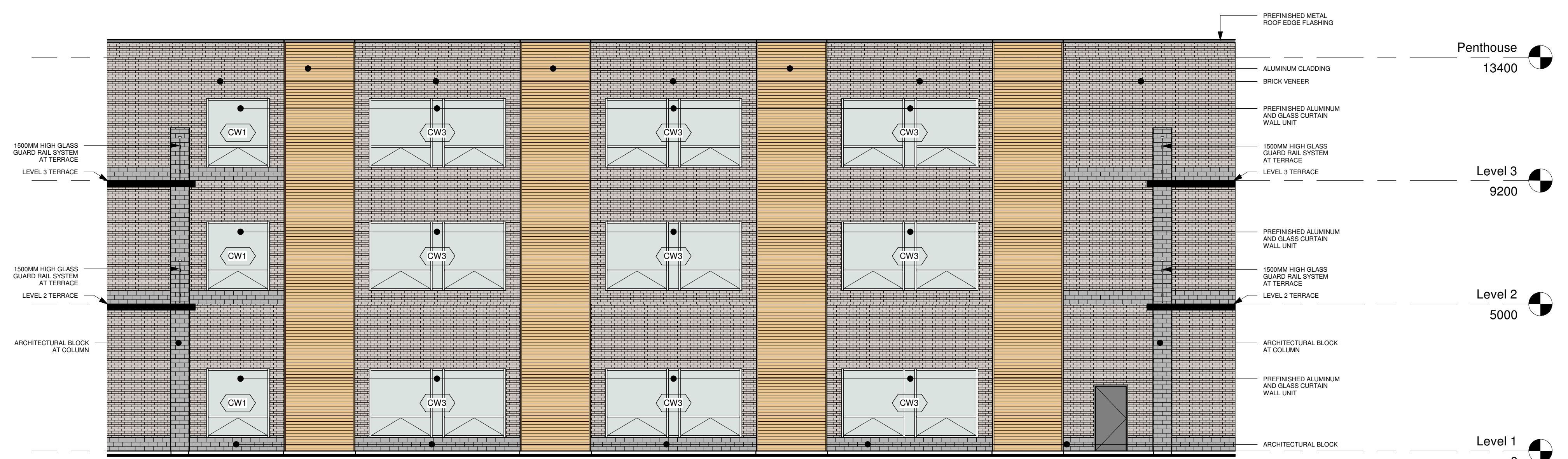
4 North Courtyard - East
1 : 100



5 North Courtyard A
1 : 100

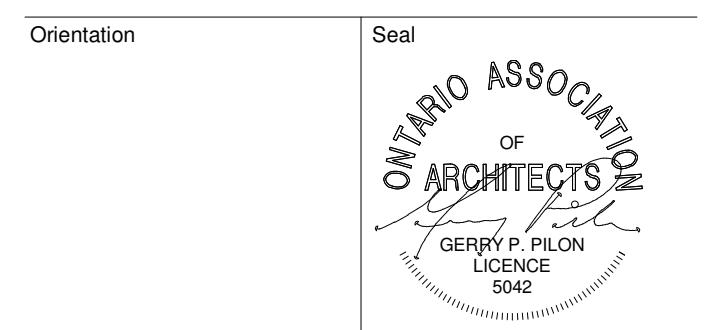


6 North Courtyard - South
1 : 100



7 North Courtyard - West
1 : 100

No.	Revision	Date
02	Issued for Site Plan Application	08-12-2019
01	Issued for Consultant Coordination	08-08-2019



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Project Information
Golden Plough Lodge -
Redevelopment

555 Courthouse Road, Cobourg, ON, K9A 5J6

For Northumberland County

Drawing Title
Central & North Courtyard
Elevations

Date	Issue Date	Project No	Drawing No
	AP, MB	18015	A302
Scale	1 : 100		