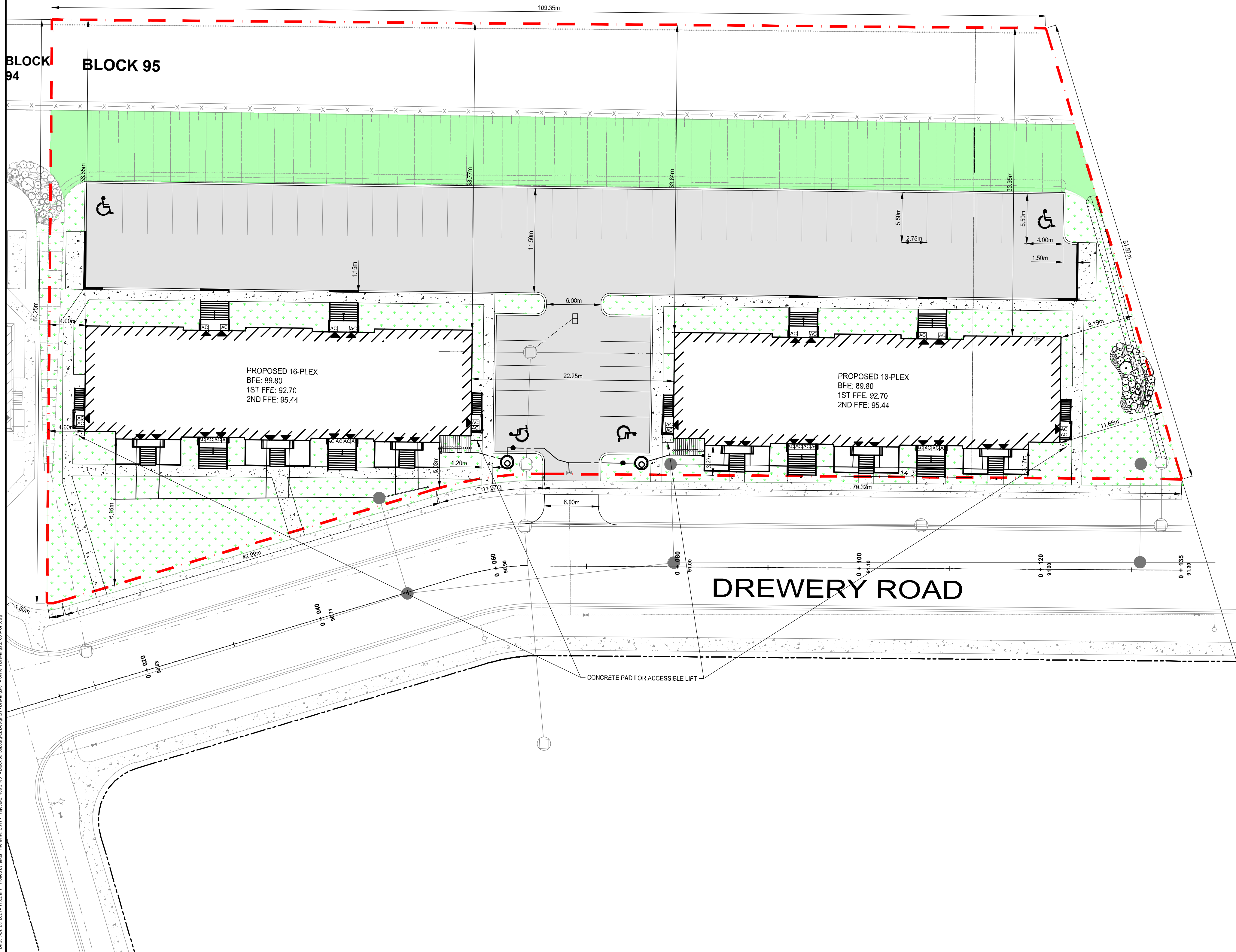


CP RAILWAY



SITE INFORMATION

ZONING CLASSIFICATION: R4-26(H)

MAIN STRUCTURES

ITEM	REQUIRED	PROPOSED
LOT SIZE MINIMUM	650 SM	6160 SM
LOT FRONTAGE MINIMUM	75 M	126.88 M
FRONT YARD SETBACK	3 M	3.17 M
REAR YARD SETBACK	7 M	33.65 M
LEFT SIDE YARD SETBACK	3.65 M	4.00 M
RIGHT SIDE YARD SETBACK	3.65 M	8.53 M
LOT COVERAGE MAIN BUILDING	40% (max.)	16.65%
MAXIMUM BUILDING HEIGHT	3 STOREY	3 STOREY
LANDSCAPE OPEN SPACE	34% (min.)	39%

SITE AREA: 6160 SM
BUILDING FOOT PRINT: 513 SM EACH (1026 SM TOTAL)

BUILDING GROSS AREA BREAKDOWN (1 BUILDING)

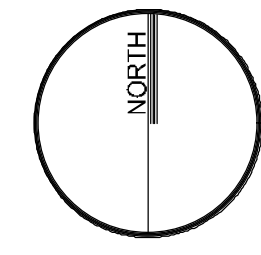
BASEMENT	513 SM
MAIN FLOOR	513 SM
UPPER FLOOR	348 SM
TOTAL FLOOR AREA	1374 SM

Name of Practice:
Julian Horvath Architect Inc.
35 Bony Meadows Drive,
Aurora, Ontario, L4G 6M9
Tel: 416-380-0407

Name of Project:
East Village Condominium Development

Location:
Cobourg, Ontario, BLOCK 95

Item	Ontario Building Code Data Matrix Parts 3 or 9		Building Code Reference	
	References are to Division B unless noted [A] for Division A or [C] for Division C		References are to Division B unless noted [A] for Division A or [C] for Division C	
1	Project Description:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 11 11.1.2	<input checked="" type="checkbox"/> Part 3 1.1.2 [A] 1.1.2 [A] & 9.10.1.3
2	Major Occupancy(s)	RESIDENTIAL	3.1.2.1 (1)	9.10.2
3	Building Area (m ²)	Existing: _____ New: 513 Total: 513	1.4.1.2 [A]	1.4.1.2 [A]
4	Gross Area	Existing: _____ New: 1,374 Total: 1,374	1.4.1.2 [A]	1.4.1.2 [A]
5	Number of Storeys	Above grade: 2 Below grade: 1	1.4.1.2 [A] & 2.1.1	1.4.1.2 [A] & 9.10.4
6	Number of Streets Fire Fighter Access 1		3.2.2.10 & 3.2.5	9.10.20
7	Building Classification	GROUP C UP T 3 STOREYS 3.2.2.47	3.2.2.20 - 83	9.10.2
8	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.20 - 83 3.2.1.5 3.2.2.17	9.10.8.2 INDEX
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	N/A
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4	9.10.18
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Construction Restrictions	<input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input checked="" type="checkbox"/> Both required	3.2.2.20 - 83	9.10.6
14	Mezzanine(s) Area m ²	N/A	3.2.1.1 (2) - (E)	9.10.4.1
15	Occupant load based on	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building	3.1.17	9.9.1.3
	Basement:	Occupancy: _____ Load: 24 persons		
	1 st Floor:	Occupancy: _____ Load: 40 persons		
	2 nd Floor:	Occupancy: _____ Load: 32 persons		
	3 rd Floor:	Occupancy: _____ Load: _____ persons		
	(Additional floor areas continued on last page)			
16	Barrier-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8.1.1	9.5.2
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.10	9.10.1.3 (4)
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floors 1 _____ Hours Roof _____ Hours Mezzanine _____ Hours FRR of Supporting Members Floors 1 _____ Hours Roof _____ Hours Mezzanine _____ Hours	Listed Design No. or Description (SG-2) 3.2.2.20 - 83 & 3.2.1.4	9.10.8. 9.10.9.
19	Spatial Separation - Construction of Exterior Walls	Wall, Area of EBF (m ²), L.D. (m), L/H, Permitted Min. % of Openings, Proposed % of Openings, FRR (Hours), Listed Design or Description, Comb. Costr., Comb. Costr. Cladding, Non-comb. Costr.	3.2.3	9.10.14



BENCHMARK No. 27
ELEVATION - 86.253
LOCATED EAST OF SIDEBROOK PRIVATE HOSPITAL ON SOUTH SIDE OF HWY #2

BENCHMARK No. 29
LOCATED AT MERWIN GREER PUBLIC SCHOOL, 1.0m WEST OF THE NORTH EAST CORNER OF BUILDING, 0.37m ABOVE GROUND.

NOTES:

LEGEND

- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE
- PROPOSED GRASS/LANDSCAPED
- EX.PPR. SIDEWALK
- EX.PPR. BUILDING
- EX.PPR. EDGE OF PAVEMENT
- EX.PPR. CURB
- EX.PPR. ROAD CENTERLINE
- EX.PPR. EDGE OF SHOULDER/GRAVEL
- EX.PPR. SANITARY MANHOLE
- EX.PPR. CATCH BASIN MANHOLE
- EX.PPR. STORM MANHOLE
- EX.PPR. CATCH BASIN
- EX.PPR. DOUBLE CATCH BASIN
- EX.PPR. FIRE HYDRANT
- EX.PPR. WATER VALVE
- EXISTING LIGHT STANDARD
- EXISTING HYDRO POLE
- EXISTING POLE ANCHOR
- EX. BELUCABLE PEDESTAL
- IRON BAR
- EX.PPR. ELEVATION
- PROPOSED GRADE
- EXISTING GASMAIN
- EX.PPR. DITCH
- EX.PPR. STORM SEWER
- EX.PPR. SANITARY SEWER
- EX.PPR. WATERMAIN
- EX.PPR. FENCE
- PROPERTY LINE
- EXISTING VEGETATION
- EX.PPR. CONTOUR
- DEVELOPMENT BOUNDARY
- AIR CONDITIONING UNIT (LOCATED UNDER STAIRS)
- STRAW BALE

1	ISSUED FOR 1ST SPA	JL	2021-04-21
No.	REVISION	BY	DATE



BLOCK 95 EAST VILLAGE

TOWN OF COBOURG

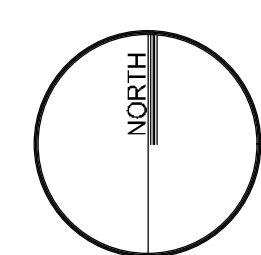
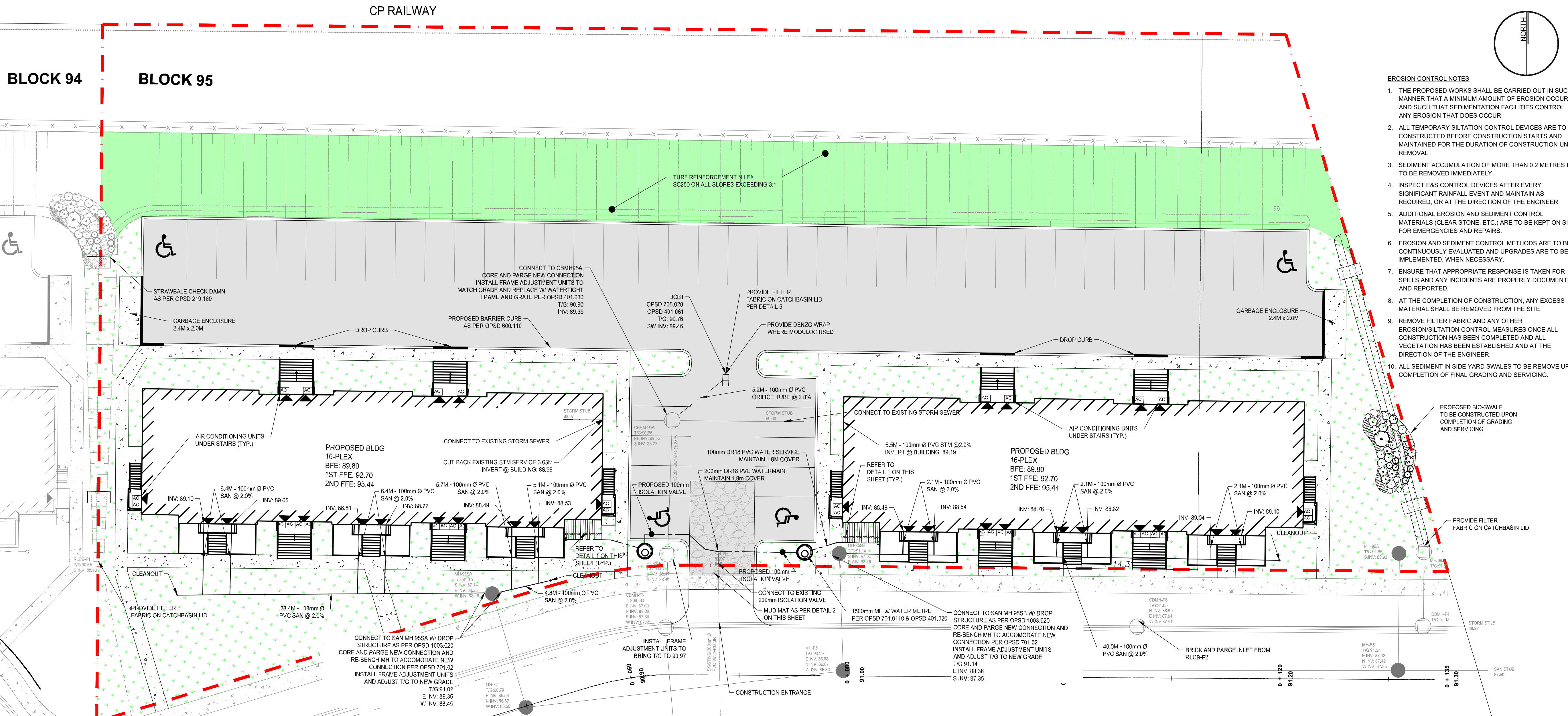
SITE PLAN

TOWN OF COBOURG

DRAWN BY: J.LATTA
DESIGNED BY: J.LATTA
APPROVED BY: A.HILL
DATE: 2021-04-06
SCALE: 1:200

PROJECT NUMBER: **21001**
SHEET NAME: **22x34**
SHEET: **1 of 3**

STAMP:
PROFESSIONAL ENGINEER
A.M. HILL
100164289
2020-04-21
PROVINCE OF ONTARIO

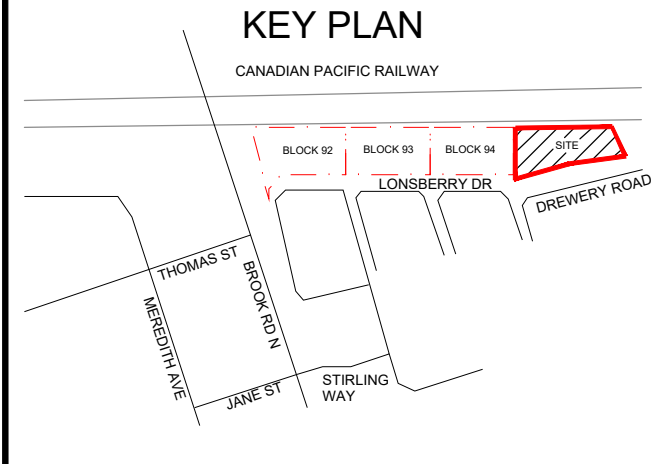


- EROSION CONTROL NOTES**
1. THE PROPOSED WORKS SHALL BE CARRIED OUT IN SUCH A MANNER THAT A MINIMUM AMOUNT OF EROSION OCCURS AND SUCH THAT SEDIMENTATION FACILITIES CONTROL ANY EROSION THAT DOES OCCUR.
 2. ALL TEMPORARY SILTATION CONTROL DEVICES ARE TO BE CONSTRUCTED BEFORE CONSTRUCTION STARTS AND MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL REMOVAL.
 3. SEDIMENT ACCUMULATION OF MORE THAN 0.2 METRES IS TO BE REMOVED IMMEDIATELY.
 4. INSPECT E&S CONTROL DEVICES AFTER EVERY SIGNIFICANT RAINFALL EVENT AND MAINTAIN AS REQUIRED, OR AT THE DIRECTION OF THE ENGINEER.
 5. ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (CLEAR STONE, ETC.) ARE TO BE KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
 6. EROSION AND SEDIMENT CONTROL METHODS ARE TO BE CONTINUOUSLY EVALUATED AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
 7. ENSURE THAT APPROPRIATE RESPONSE IS TAKEN FOR SPILLS AND ANY INCIDENTS ARE PROPERLY DOCUMENTED AND REPORTED.
 8. AT THE COMPLETION OF CONSTRUCTION, ANY EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
 9. REMOVE FILTER FABRIC AND ANY OTHER EROSION/SILTATION CONTROL MEASURES ONCE ALL CONSTRUCTION HAS BEEN COMPLETED AND ALL VEGETATION HAS BEEN ESTABLISHED AND AT THE DIRECTION OF THE ENGINEER.
 10. ALL SEDIMENT IN SIDE YARD SWALES TO BE REMOVED UPON COMPLETION OF FINAL GRADING AND SERVICING.

BENCHMARK No. 27
ELEVATION - 86.253
LOCATED EAST OF SIDSBROOK PRIVATE HOSPITAL ON SOUTH SIDE OF HWY #2.

BENCHMARK No. 29
LOCATED AT MERWIN GREER PUBLIC SCHOOL, 1.0m WEST OF THE NORTH EAST CORNER OF BUILDING, 0.37m ABOVE GROUND.

NOTES:



- LEGEND**
- PROPOSED HEAVY DUTY ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED GRASSLANDSCAPED
 - EX.P.R. SIDEWALK
 - EX.P.R. BUILDING
 - EX.P.R. EDGE OF PAVEMENT
 - EX.P.R. CURB
 - EX.P.R. ROAD CENTERLINE
 - EX.P.R. EDGE OF SHOULDER/PAVEL
 - EX.P.R. SANITARY MANHOLE
 - EX.P.R. CATCH BASIN MANHOLE
 - EX.P.R. STORM MANHOLE
 - EX.P.R. CATCH BASIN
 - EX.P.R. DOUBLE CATCH BASIN
 - EX.P.R. FIRE HYDRANT
 - EX.P.R. WATER VALVE
 - EXISTING LIGHT STANDARD
 - EXISTING HYDRO POLE
 - EXISTING BELL POLE
 - EXISTING POLE ANCHOR
 - EXIST. BELLCABLE PEDESTAL
 - IRON BAR
 - EX.P.R. ELEVATION
 - PROPOSED GRADE
 - EXISTING GASMAIN
 - EX.P.R. DITCH
 - EX.P.R. STORM SEWER
 - EX.P.R. SANITARY SEWER
 - EX.P.R. WATERMAIN
 - EX.P.R. FENCE
 - R.O.W.
 - PROPERTY LINE
 - EXISTING VEGETATION
 - EX.P.R. CONTOUR
 - DEVELOPMENT BOUNDARY
 - AIR CONDITIONING UNIT (LOCATED UNDER STAIRS)
 - STRAW BALE

No.	REVISION	BY	DATE
1	ISSUED FOR 1ST SPA	J.L.	2021-04-21



BLOCK 95 EAST VILLAGE

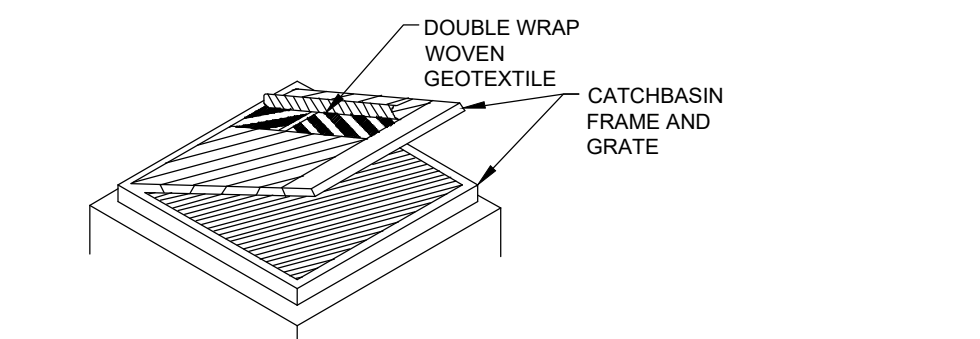
TOWN OF COBURG

SITE SERVICING & EROSION CONTROL PLAN

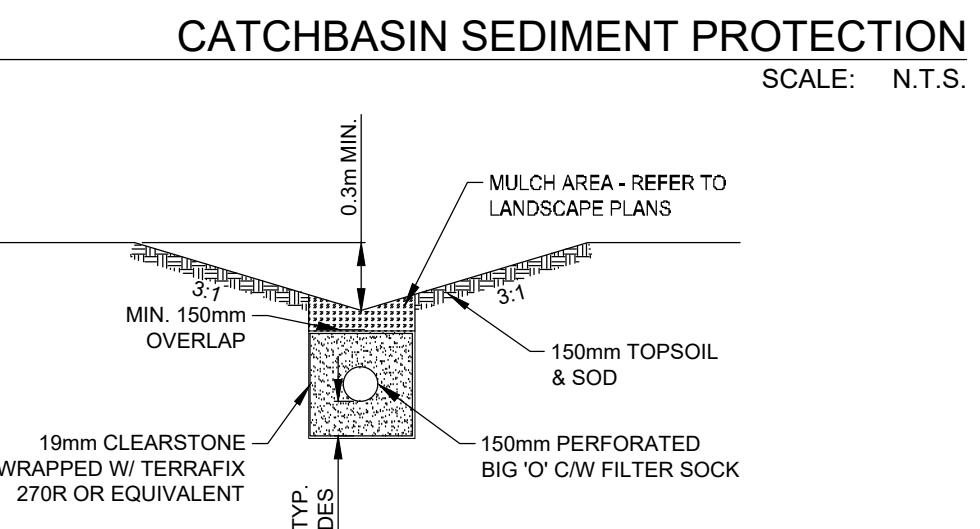
TOWN OF COBURG

DRAWN BY:	J. LATTA	STAMP:	
DESIGNED BY:	J. LATTA		
APPROVED BY:	A. HILL		
DATE:	2021-04-21		

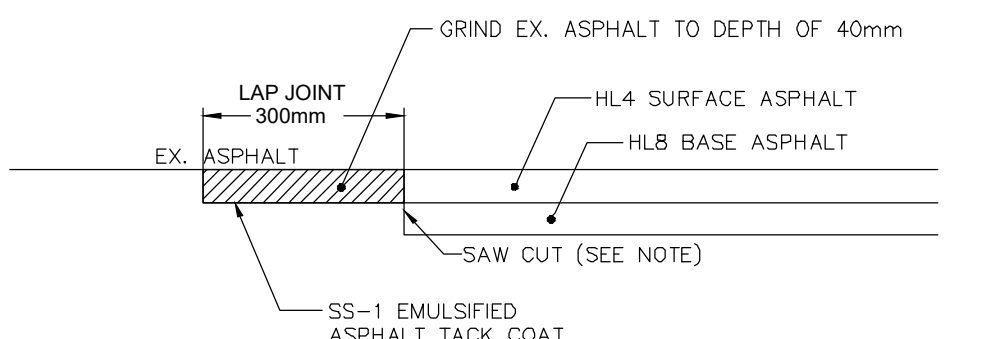
SCALE:	1:200
PROJECT NUMBER:	21001
SHEET NAME:	22x34
SHEET:	2 of 3



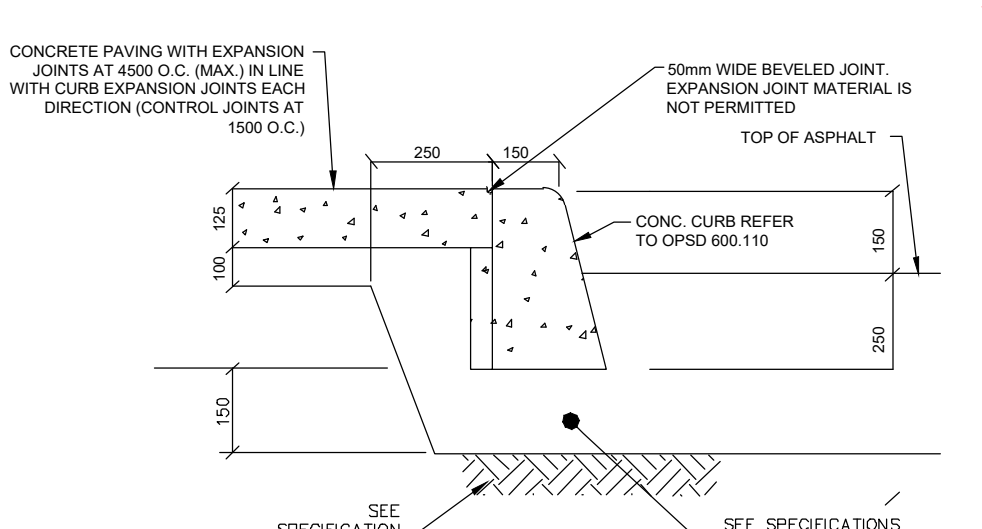
- NOTES:**
1. TO BE INSTALLED ON ALL CATCHBASINS AND MAINTAINED DURING CONSTRUCTION.
 2. WOVEN GEOTEXTILE TO HAVE EQUIVALENT OPENING SIZE BETWEEN 0.15mm AND 0.25mm.
 3. WOVEN GEOTEXTILE TO BE REPLACED PERIODICALLY WHEN ACCUMULATED SEDIMENT INTERFERES WITH DRAINAGE.



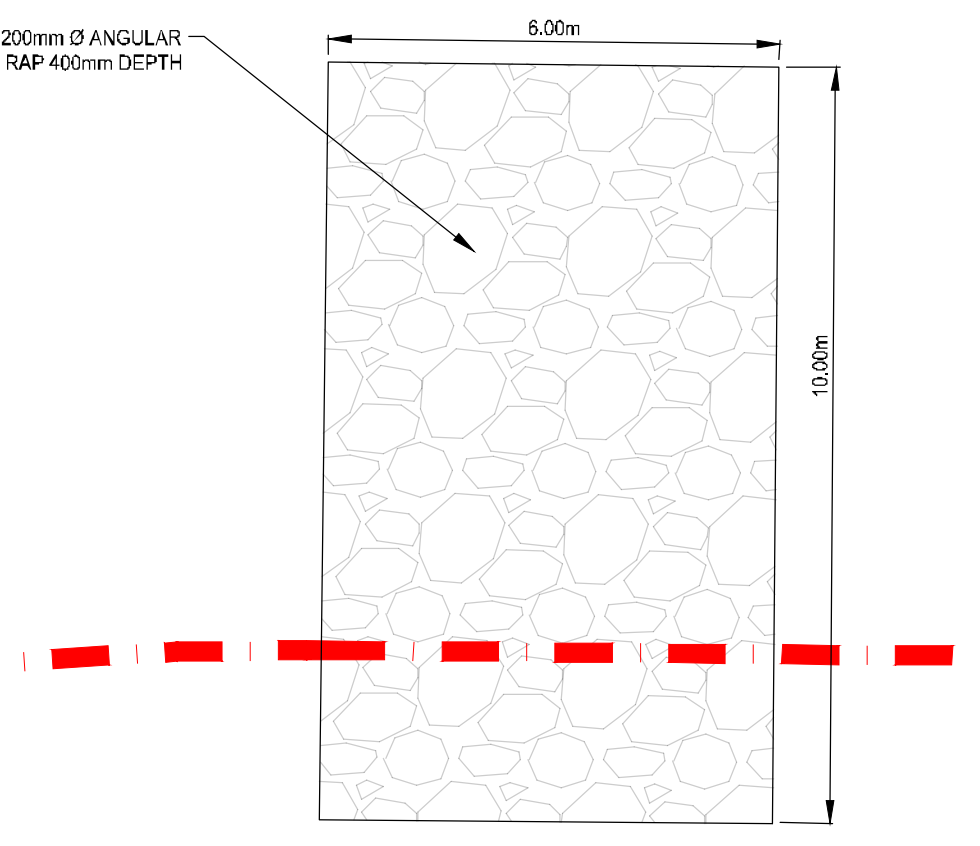
5 TYPICAL BIO-SWALE CROSS SECTION
SCALE: N.T.S.



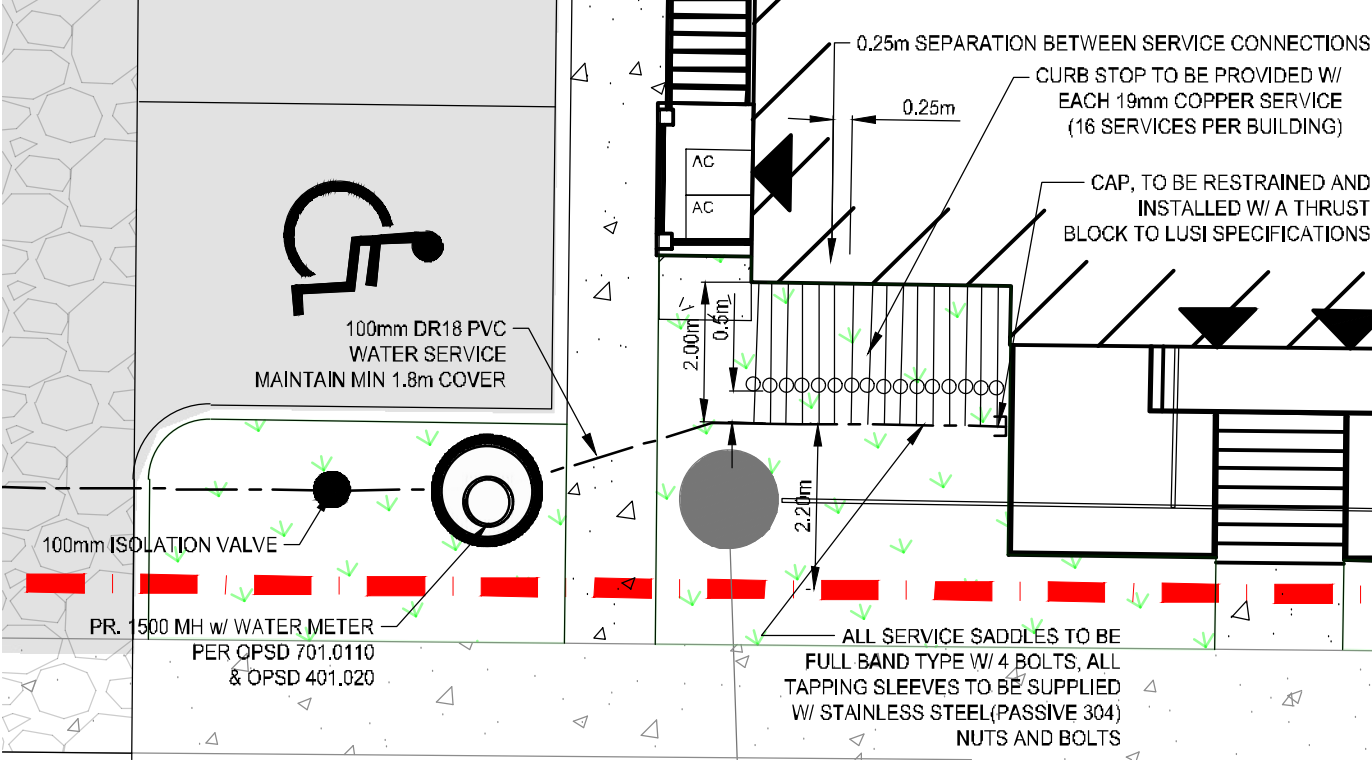
- NOTES:**
1. TRANSITION TREATMENT (LAP JOINT) REQUIRED AT ALL BUTT JOINTS. THE EXISTING PAVEMENT EDGES SHALL BE "SAW CUT" TO FORM A STRAIGHT, CLEAN VERTICAL FACE.
 2. APPLY UNIFORM COATING OF SS-1 EMULSIFIED TACK COAT TO EXISTING ASPHALT AT THE TRANSITION TREATMENT AREA.



3 CONCRETE CURB & SIDEWALK
SCALE: N.T.S.



2 MUD MAT
SCALE: 1:100

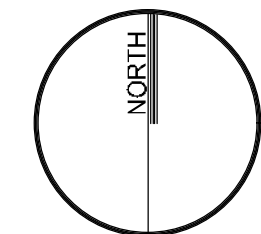


- NOTES:**
1. WATERMAIN TO BE DISINFECTED TO AWWA STANDARDS WITH WATER SAMPLES COLLECTED PER O REG SPECIFICATIONS AND TEST RESULTS SUBMITTED TO THE MANAGER OF WATER SYSTEMS AT LUSI.
 2. WATER METERS TO BE PROVIDED FOR EACH BUILDING AND TO BE PURCHASED THROUGH LUSI.
 3. METERS SHALL BE INSTALLED WITH BALL VALVES ON EACH SIDE OF THE METER IN ORDER TO ISOLATE THE METER.
 4. ALL METERS ARE TO BE SUPPORTED BY A FRAME TO ENSURE THE METER IS HELD SECURELY IN PLACE AND RAISED OFF THE FLOOR OF THE BUILDING.
 5. ALL BENDS AND JOINTS ARE TO BE RESTRAINED TO LUSI SPECIFICATIONS. ALL BENDS PROVIDED W/ THRUST BLOCKS TO LUSI SPECIFICATIONS.

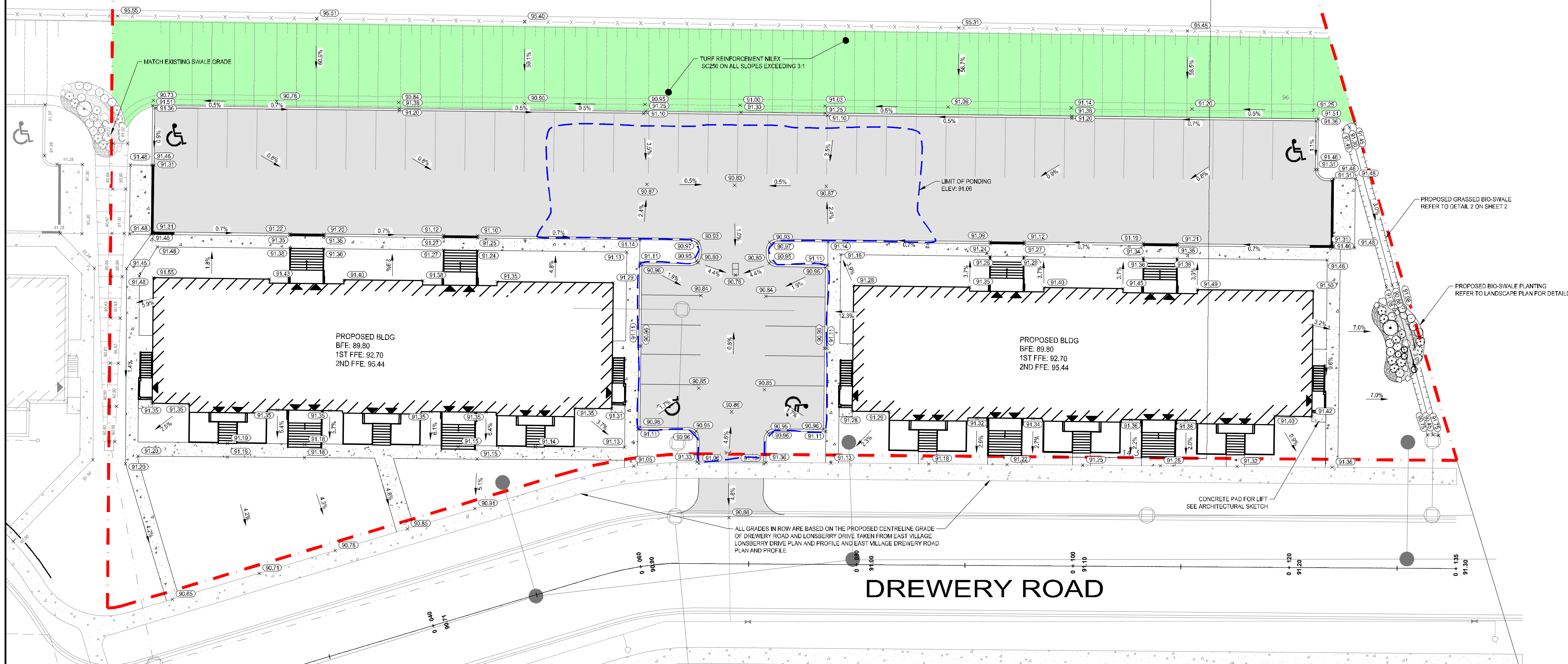
1 TYPICAL WATER SERVICE DETAILS
SCALE: 1:100

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CP RAILWAY



BLOCK 95



- GENERAL:**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH:
 - TOWN OF COBOURG STANDARDS
 - LAKEFRONT UTILITIES SERVICES INC. STANDARDS
 - ONTARIO PROVINCIAL STANDARD DRAWINGS & SPECIFICATIONS
 - APPLICABLE CONTRACT DOCUMENTS AND ALL SPECIFICATIONS REFERENCED HEREIN.
 - THE CONTRACTOR SHALL CONSTRUCT ALL WORK IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT, HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS.
 - THE CONTRACTOR SHALL RESTORE OR REPLACE DAMAGED SERVICES TO EXISTING OR BETTER CONDITION.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING OR BETTER CONDITION, OR PER THE ENGINEERING AND LANDSCAPE SPECIFICATIONS REFERENCED HEREIN.
 - THE CONTRACTOR SHALL COORDINATE AND PAY FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES IN ACCORDANCE WITH THE ONTARIO TRAFFIC MANUAL, BOOK 7, TEMPORARY CONDITIONS.
 - THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIALS IN ACCORDANCE WITH THE MINISTRY OF THE ENVIRONMENT GUIDELINES AND LOCAL MUNICIPAL BYLAWS.
 - WHERE UTILITIES ARE SHOWN ON THE CONTRACT DRAWINGS, THEIR LOCATION IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE WORK INCLUDING ROAD CUT PERMITS, OCCUPANCY PERMITS, ENCROACHMENT AGREEMENTS.
 - ANY UTILITY POLES THAT MAY BE UNDERMINED BY THE CONSTRUCTION ACTIVITY ARE TO BE BRACED. THE CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS TO HAVE THE POLES BRACED IN ACCORDANCE WITH THE APPROPRIATE UTILITY REQUIREMENTS; THE COST FOR THIS WORK IS INCLUDED IN THE UNIT PRICES FOR THE WORK ITEMS AFFECTED.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED ON THE CONTRACT DRAWINGS ARE TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
 - ACCESS TO ALL PRIVATE PROPERTIES ADJACENT THE CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES. TEMPORARY ACCESS RESTRICTIONS WILL ONLY BE PERMITTED WHERE REQUIRED TO FACILITATE UNDERGROUND SERVICING, ASPHALT AND CONCRETE PLACEMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE TOWN OF COBOURG AND THE AFFECTED PROPERTY OWNERS PRIOR TO ACCESS INTERRUPTION.
 - ALL PROPERTY BARS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT THE CONCLUSION OF THE CONTRACT, AT THEIR EXPENSE.
 - ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
 - EXISTING SIGNAGE WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND SALVAGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND REINSTALLED UPON COMPLETION. REGULATORY SIGNAGE SHALL REMAIN IN PLACE AT ALL TIMES.

- SEWER AND WATERMAIN:**
- THE CONTRACTOR SHALL INSTALL CONCRETE CATCHBASINS COMPLETE WITH FRAME, GRATE AS PER 705.010 OPSD 401.081 RESPECTIVELY UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL PERFORM LEAK AND DEFLECTION TESTING ON ALL STORM AND SANITARY SEWERS IN ACCORDANCE WITH CONTRACT DOCUMENTS AND OPSS 410 RESPECTIVELY.
 - THE CONTRACTOR SHALL CLEAN AND PERFORM CCTV INSPECTION ON ALL STORM AND SANITARY SEWERS IN ACCORDANCE WITH CONTRACT DOCUMENTS AND OPSS 409 RESPECTIVELY.
 - THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE ENGINEER PRIOR TO CONDUCTING PIPE LEAK AND DEFLECTION TESTING, CCTV INSPECTIONS AND/OR CLEANING OF THE STORM SEWER.
 - PIPE BEDDING, COVER AND BACKFILL SHALL BE IN ACCORDANCE WITH THE OPSD 802.010 FOR FLEXIBLE PIPE AND OPSD 802.030 FOR CONCRETE PIPE. BEDDING AND COVER SHALL BE GRANULAR "A" COMPACTED TO 100% SPDD; BACKFILL SHALL BE NATIVE MATERIAL OR GRANULAR "B", COMPACTED TO 100% SPDD.
 - ALL STORM MANHOLES SHALL HAVE A MIN 0.3m SUMP IN ACCORDANCE WITH OPSD 701.010. ALL CATCHBASINS SHALL HAVE A MINIMUM 0.6m SUMP.
 - ALL TEES AND ELBOWS SHALL BE INSTALLED WITH THRUST BLOCKS AS PER LUSI STANDARDS AND SPECIFICATIONS.
 - ALL STRUCTURE MODIFICATIONS SHALL BE CARRIED OUT AS PER OPSD 704.010.
 - WATERTIGHT PARGING TO BE PROVIDED FOR ALL STRUCTURES AND PIPE MODIFICATIONS.
 - PLUMBING PERMIT TO BE OBTAINED FROM MUNICIPALITY FOR WATER, STORM, AND SANITARY SERVICING.
 - PLUMBING INSPECTIONS REQUIRED PRIOR TO COVERING.
 - CATHODIC PROTECTION AS PER OPSD 1109.0110 REQUIRED.
 - ALL WATER, SANITARY, AND STORM MATERIALS TO COMPLY WITH OBC AND CSA.
 - WATER TESTING TO BE WITNESSED BY PLUMBING INSPECTORS.
 - WATER SAMPLING RESULTS TO BE SUBMITTED TO COUNTY PLUMBING SERVICES DEPARTMENT.
 - ALL SANITARY SEWER TO BE DR26 PVC
 - ALL STORM SEWER TO BE SDR35 PVC
 - ALL CAST IRON FRAME AND COVERS FOR MAINTENANCE HOLES AND CATCHBASINS SHALL CONFORM TO CAN/CSA-B170.

- ONTARIO PROVINCIAL STANDARDS**
- | | | |
|--|----------------------|----------------------|
| LIGHT DUTY SILT FENCE | OPSD-219.110 | OPSS-805 (NOV 2010) |
| STRAW BALE FLOW CHECK | OPSD-219.180 | OPSS-805 (NOV 2010) |
| CATCH BASIN AND CATCH BASIN MANHOLE FRAME AND GRATE | OPSD-401.081 | OPSS-407 (NOV 2014) |
| MAINTENANCE HOLE STEPS SOLID ALUMINUM | OPSD-405.020 | OPSS-402 (NOV 2013) |
| CONCRETE BARRIER CURB | OPSD-600.110 | OPSS-407 (NOV 2014) |
| DOUBLE CATCHBASIN | OPSD-705.020 | OPSS-353 (NOV 2010) |
| 1200mm PRECAST MANHOLE COMPONENTS | OPSD-701.030 | OPSS-407 (NOV 2014) |
| PRECAST CONCRETE CATCH BASIN | OPSD-705.010 | OPSS-407 (NOV 2014) |
| FLEXIBLE PIPE EMBEDMENT AND BACKFILL EARTH EXCAVATION | OPSD-802.010 | OPSS-410 (NOV 2013) |
| CONCRETE SIDEWALK | OPSD-310.010 | OPSS-402 (NOV 2013) |
| CONSTRUCTION SPECIFICATIONS FOR PAVEMENT MARKINGS | OPSD-310.020 | OPSS-351 (NOV 2010) |
| MATERIAL SPECIFICATIONS FOR AGGREGATES | OPSS-710 (NOV 2010) | OPSS-710 (NOV 2010) |
| CONSTRUCTION/MATERIAL SPECIFICATIONS FOR HOT MIX ASPHALT | OPSS-1010 (APR 2013) | OPSS-1010 (APR 2013) |
| | OPSS-310 (NOV 2012) | OPSS-310 (NOV 2012) |
| | OPSS-1150 (NOV 2010) | OPSS-1150 (NOV 2010) |
- CONTRACTOR SHALL REFER TO MOST RECENT OPSD AND OPSS

BENCHMARK No. 27
ELEVATION - 86.253
 LOCATED EAST OF SIDEBROOK PRIVATE HOSPITAL ON SOUTH SIDE OF HWY #2.

BENCHMARK No. 29
 LOCATED AT MERWIN GREER PUBLIC SCHOOL, 1.0m WEST OF THE NORTH EAST CORNER OF BUILDING, 0.37m ABOVE GROUND.

- NOTES:**
- SURVEY:**
- EXISTING UNDERGROUND SERVICES, UTILITIES, AND TOPOGRAPHIC INFORMATION IS BASED UPON:
 - AS-CONSTRUCTED INFORMATION PROVIDED BY CONTRACTOR.
 - LEGAL BOUNDARY INFORMATION PROVIDED BY IVAN B. WALLACE SURVEYORS, PROJECT NO. 4-3556.
 - THE CONTRACTOR SHALL PROVIDE DETAILED LAYOUT FOR THE WORK INCLUDING CALCULATIONS OF LAYOUT DIMENSIONS AND ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE AN AUTOCAD DIGITAL FILE AND ACCOMPANYING HARDCOPY OF THE AS CONSTRUCTED SERVICING AND SITE GRADING. THE DRAWINGS SHALL CONVEY ALL UNDERGROUND SERVICING AND INFRASTRUCTURE BASED ON TOPOGRAPHIC SURVEY OF THE WORKS.

- ASPHALT AND SIDEWALKS**
- ALL CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER OPSD 310.010, OPSD 310.020 AND OPSS 351.
 - ROAD SUBGRADE AND PARKING AREAS SHALL BE COMPACTED TO 98% SPDD. SUBGRADE SHALL BE PROFFEROLLED PRIOR TO PLACEMENT OF GRANULAR MATERIAL.
 - PAVEMENT STRUCTURE SHALL CONSIST OF THE FOLLOWING:
 - PARKING AREAS 300mm GRANULAR B
 - 150mm GRANULAR A
 - 50mm HL8
 - 40mm HL3
 - PAVEMENT STRUCTURE SPECIFICATIONS RECOMMENDED BY THE LATEST GEOTECHNICAL REPORT FOR THE PROJECT SHALL TAKE PRECEDENT OVER THIS DETAIL.

1	ISSUED FOR 1ST SPA	JL	2021-04-21
No.	REVISION	BY	DATE



BLOCK 95

CITY OF COBOURG

GRADING PLAN

CITY OF COBOURG

DRAWN BY: J.LATTA
 DESIGNED BY: J.LATTA
 APPROVED BY: A.HILL
 DATE: 2021-03-10
 SCALE: 1:200

PROJECT NUMBER: **21001** SHEET NAME: **22x34** SHEET: **3 of 3**

21001-GP1
 Date: Apr 29, 2021 12:35 pm
 Plotter: B311-Plotter
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