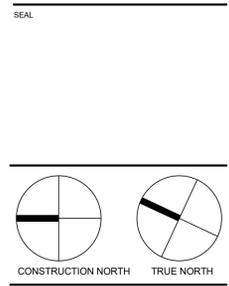


NO.	ISSUED	DATE
1	For C of A - Severance	Feb 8, 2019
2	ZONING PLAN REVIEW	JUL 31, 2019

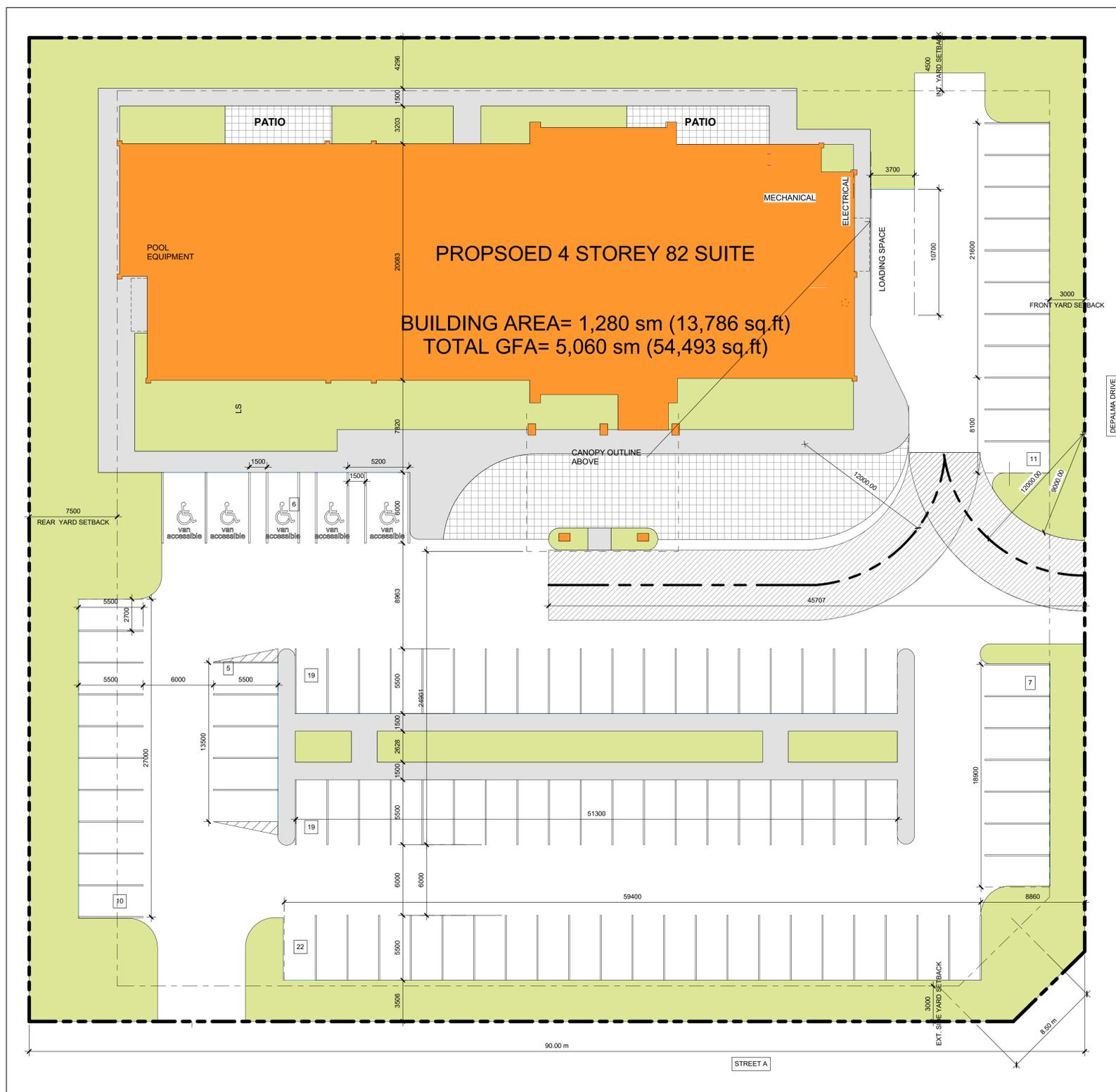
DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.
CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.
CLIENT



4 STOREY- 82 ROOMS
DEPALMA DRIVE,
COBOURG, ON

SHEET NAME
SITE PLAN
START DATE 8/16/2018
DRAWN BY MT
CHECKED BY
SCALE As indicated
PROJECT NO. 119007
DRAWING

A001



1 SITE PLAN
A001 1:200

ZONING INFORMATION

ZONE: ZONE(SC-7) ZONING BY-LAW	REQUIRED	PROVIDED
FSI:	.25	.67
MAXIMUM HEIGHT	4 STOREYS	4 STOREYS (16.0M)
MINIMUM REQUIRED FRONT YARD	10.0 m	10.0 m
MINIMUM REQUIRED SIDE YARD	10.0 m	10.0 m
LOT AREA	740 m ²	7496 m ²
LOT FRONTAGE	40.0 m	90.0 m

SITE STATISTICS			
DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
BUILDING AREAS			
HOTEL BUILDING (PHASE 1)	1280.29 m ²	13781 R ²	17.1%
HARD LANDSCAPE			
ASPHALT	3277.23 m ²	35276 R ²	43.7%
PAVER	312.48 m ²	3363 R ²	4.2%
SIDEWALK	640.04 m ²	6889 R ²	8.5%
SOFT LANDSCAPE			
LANDSCAPE	1985.75 m ²	21374 R ²	26.5%
TOTAL AREA			
	7495.78 m ²	80684 R ²	100.0%

O.B.C. CLASSIFICATION
GROUP A2, DIVISION 2, UP TO 6 STOREYS,
O.B.C. 3.2.2.24
ANY AREA, SPRINKLERED
GROUP C, UP TO 6 STOREYS, SPRINKLERED,
O.B.C. 3.2.2.43
NONCOMBUSTIBLE CONSTRUCTION

PARKING REQUIREMENTS	REQUIREMENTS	REQ'D	PROVIDED	REFERENCE
(GUEST ROOMS = 82 ROOM)	1 FOR EACH ROOM	82	98	BY-LAW #85-2003
HOTEL (MEETING AREA = 162 SM)	1 PARKING SPACE / 9SM	162 / 9 = 18	102	
OFFICE AREA = 45 SQ.M	1 PARKING SPACE / 33SM	45/33 = 2		
ACCESSIBLE PARKING	ONE PARKING SPACE FOR EVERY 20 PARKING SPACES FOR ANY USE THAT HAS 20 AND 100 PARKING SPACES	5	5 (3 TYPE "A" & 2 TYPE "B")	O. Reg. 4 13/12, 80.36(1),(3)
LOADING SPACE		1	1	

TYPICAL PARKING SPACE	2.70 m X 5.50 m
PARKING AISLE (TWO WAY)	6.00 m
TYPICAL ACCESSIBLE PARKING SPACE (A)	4.00 m X 5.50 m
TYPICAL ACCESSIBLE PARKING SPACE (B)	2.70 m X 5.50 m

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NO.	ISSUED	DATE
2	ZONING PLAN REVIEW	JUL 31, 2019

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CLIENT

SEAL

PROJECT



4 STOREY - 82 ROOMS

DEPALMA DRIVE,
COBOURG, ON

SHEET NAME

OBC
MATRIX/NOTES/LEGEND

START DATE 8/16/2018

DRAWN BY MT

CHECKED BY SHS

SCALE As indicated

PROJECT NO. 119007

DRAWING

A002

ONTARIO 2012 BUILDING CODE DATA MATRIX		OBC Reference	
1	PROJECT NAME & LOCATION Holiday Inn Express Depalma Drive Cobourg, ON <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	Part 3	Part 9 Part 11
2	MAJOR OCCUPANCY (S) Residential - Group C	3.1.2.1.(1)	
3	BUILDING AREA Existing: N/A New: 1,280 m ²	1.4.1.2	
4	GROSS AREA Existing: N/A New: 5,060 m ²	1.4.1.2	
5	NUMBER OF STOREYS Above Grade 4 Storeys Below Grade: N/A	1.4.1.2 & 3.2.1.1	
6	HEIGHT OF BUILDING 42'-8" (13.05 m) (Top of Roof Slab)	3.2.2.10 & 3.2.5	
7	NUMBER OF STREETS/ACCESS ROUTES Facing 2 Street	3.2.2.44	
8	BUILDING CLASSIFICATION Group C, up to 4 Storeys, Sprinklered, Noncombustible Construction	3.2.2.44	
9	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.44	
10	STANDPIPE REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9	
11	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4	
12	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6	
14	CONSTRUCTION PERMITTED <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.45	
15	CONSTRUCTION ACTUAL <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.45	
16	MEZZANINE(S) area N/A	3.2.1.1(3)-(6)	
17	OCCUPANT LOAD based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building	3.1.17	
18	1st Floor: Meeting Rooms Load: 117 persons 1st Floor: Board Room Load: 30 persons 1st Floor: Occupancy: C Load: 8 persons 3rd Floor: Occupancy: C Load: 52 persons 4th Floor: Occupancy: C Load: 52 persons 4th Floor: Occupancy: C Load: 52 persons TOTAL 311 persons		
17	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (explain)	3.8.	
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19	
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hour) 1 floor: 1 hour roof: no rating mezzanine: N/A FRR of Supporting Members 1 floor: 1 hour roof: no rating mezzanine: N/A hours	Listed Design No. or Description (D-2) Table D-2.2.1.A. 3.2.2.44 3.2.2.44 Listed Design No. or Description (D-2) Table D-2.2.1. 3.2.2.44 3.2.2.44	
20	WASHROOM FACILITIES W.C.s REQUIRED (male/fem.) 1st Floor: 4/4 (Meeting & Board rooms 148 person)	W.C.s PROVIDED (male/fem.) STAFF/UNISEX 4/4 1 universal & 1 staff Table 3.7.4.3.E	3.7.4.
21	EXITS (from level) 1st Floor: 2 476 45 2nd to 6th: 2 80 45	REQUIRED No. Exit Width (mm per exit) Max Travel (m to one exit) PROVIDED No. Exit Width (mm per exit) 5 915 2 915	3.4.2.1 number 3.4.2.5(1)(c) location 3.4.3.2(8)(c) width 3.4.3.2.1(a) capacity 3.4.3.2.1(c) capacity upper levels
22	SPATIAL SEPARATION - Construction of Exterior Walls	3.2.3	
	Wall Area EBF (m ²) L.D. (m) L/H or H/L Permitted Max % of Openings Proposed % of Openings FRR (hours) Listed Design or Description Comb. Const. Comb. Const. Non-comb. Cladding Const.		
	North (Ground Floor) >150 m ² 7.7 m 66% 32% 45min		
	South - > 9 m 100%		
	East - > 9 m 100%		
	West - > 9 m 100%		

ABBREVIATIONS

ACT	ACCOUSTICAL CEILING TILE	O.C	ON CENTER
ADO	ACCESSIBLE DOOR OPERATOR	O/C	PANEL
C.B	CONCRETE BLOCK	P	PACKAGED TERMINAL AIR CONDITIONER
CONC. BL.	CONCRETE MASONRY UNIT	PTAC	PAINTED
CMU	CERAMIC TILE	QT	QUARRY TILE
CT	CONDENSING UNIT	R	REFRIGERATOR
CU	COMPLETE WITH	RB	RUBBER BASE
CW	DRYER	S	SINK
D	EXHAUST FAN	S	SUSPENDED ACCOUSTICAL TILE
EF	EXTERIOR INSULATION FINISH SYSTEM	SACT	SUMP PUMP
EIFS	FREEZER	SP	STORAGE TANK
F	FIRE ALARM	ST	TRANSFORMER
F/A	FIRE HOSE CABINET	T	TEXTURED
FHC	FIRE EXTINGUISHER CABINET	TXT	UNLESS NOTED OTHERWISE
FEC	FIBERGLASS REINFORCED PANEL	U.N.D.	VENDING MACHINE
FRP	GYPNUM BOARD	VEND.	WASHER
G.B.	GYP. BD.	W	STACKED WASHER AND DRYER
GYP. BD.	HP	WID	VINYL COMPOSITE TILE
HP	HEAT PUMP	VCT	VINYL WALL COVERING
HB	HOSE BIB	VWC	
ICE	ICE MACHINE		
K.E.S.	KITCHEN EQUIPMENT SUPPLIER		
MO	MASONRY OPENING		
M.U.A.	MAKE-UP AIR		

- WALL TYPE NOTES**
- WHERE SPRAY FOAM INSULATION IS USED IN EXTERIOR WALLS. IN THE POOL AREA, SPRAY FOAM INSULATION IS TO COMPLETELY FILL STUD CAVITY & A VAPOUR BARRIER IS REQUIRED PRIOR TO INSTALLING GYPSUM BOARD.
 - POOL AREA TO HAVE MOISTURE, MOLD AND MILDEW RESISTANT GYPSUM BOARD ON WALLS AND CEILING TYPE: DENS ARMOR PLUS INTERIOR GUARD BY G-P GYPSUM OR EQUAL.
 - POOL TO HAVE PAINTED FINISH ON WALLS AND CEILING THAT PROVIDES VAPOUR BARRIER QUALITIES.
 - ALL FIRE RATED PARTITIONS TO HAVE FIRE STOP CAULKING AT TOP AND BOTTOM OF GYPSUM BOARD.
 - WASHROOM SHOWER ENCLOSURES TO HAVE WATER RESISTANT DENS SHIELD GYPSUM BOARD BY G-P GYPSUM.
 - WALLS SEPARATING OFFICE AREAS, PUBLIC WASHROOMS, POOL, FOOD PREP, BOARDROOMS AND MEETING ROOMS FROM PUBLIC AREAS TO ALSO HAVE 3 1/2" SOUND INSULATION.
 - NO STEEL OR GYPSUM BOARD ON CONCRETE WALLS REQUIRED IN MECHANICAL/ELECTRICAL ROOMS, STAIRWELLS, ELEVATOR SHAFT, & POOL EQUIPMENT.

SYMBOL LEGEND

Room name	ROOM NAME	X-000	FURNISHINGS REFERENCE
101	ROOM NUMBER		
150 SF	ROOM SQUARE FOOTAGE		DATUM ELEVATION
WT1	WALL TYPE		GRID NUMBER
RT	ROOF TYPE		DETAIL REFERENCE
101	DOOR NUMBER	X Axxx	DETAIL NO. SHEET NO.
11	WINDOW NUMBER		BUILDING SECTION REFERENCE
xxx	TYP. INTERIOR FINISH NUMBER		WALL SECTION REFERENCE
X	NOTE TAG		
xxx	EQUIPMENT NUMBER		INTERIOR ELEVATION REFERENCE
200	WASHROOM ACCESSORIES TAG	1Ref A101 1Ref	ELEV. NO. SHEET NO.
TYPE HT	CEILING REFERENCE CEILING MATERIAL CEILING HEIGHT		
100	NEW/EXTERIOR ELEVATION KEYNOTE	xxx AFF	SPOT ELEVATION
01	DEMOLITION TAG	K1	PROVIDE BLOCKING AS REQUIRED
000	MILLWORK TAG		
11	PARKING TAG		

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