

 COBOURG	THE CORPORATION OF THE TOWN OF COBOURG	
	COMMITTEE OF THE WHOLE STAFF REPORT	
TO:	Mayor and Council	
FROM: TITLE:	Glenn McGlashon, MCIP, RPP Director of Planning & Development	
DATE OF MEETING:	October 5, 2020	
TITLE / SUBJECT:	Application Site Plan Approval – Amending Development Agreement SmartCentres REIT/Calloway REIT (Cobourg) Inc. 66 Strathy Road, Cobourg	
REPORT DATE:	September 14, 2020	File #: SPA-07-20

1.0 CORPORATE STRATEGIC PLAN OBJECTIVE

N/A

2.0 RECOMMENDATION

The following actions are recommended:

THAT the Staff Report be received by Council for information purposes; and,

THAT the By-law attached as **Figure 5** to the Staff Report be endorsed and be presented to Council for adoption which authorizes the Mayor and Municipal Clerk to execute an amending Development Agreement with Calloway REIT (Cobourg) Inc. and Lakefront Utility Services Inc. for the proposed development of a new 1,139 sq m (12,266 sq ft) building (Building F) along Strathy Road and the reconfiguration of the existing 'Winners/Dollar Tree' building (Building G) plus the addition of 1,233 sq m (13,273 sq ft) of new commercial space at 66 Strathy Road, Cobourg, subject to the finalization of details by municipal staff and partner review agencies; and,

THAT the By-law attached as **Figure 6** to the Staff Report be endorsed and be presented to Council for adoption which removes the Holding (H) Symbol from the Subject Lands.

3.0 PUBLIC ENGAGEMENT

The Planning Act R.S.O 1990, c.P. 13, as amended does not prescribe any statutory public notice or engagement requirements for Site Plan Approval (SPA) applications and amendments, as these particular applications are recognized as being a detailed, technical review of matters relating to site development, including building layout, access, parking, landscaping, servicing and grading to name a few.

However, the Municipality requires that the applicant provide notice by posting a 1 m x 1.8 m sign on the Subject Lands, in an area visible from the public realm, notifying the public that an application for SPA has been submitted to the Municipality. The sign includes a contact number for the Town of Cobourg Planning Department, where plans can be made available for the public to view. Two SPA signs were erected on the Strathy Road and DePalma Drive frontages.

Additionally, the Planning Department provided a written notice of complete SPA application to Council on August 24, 2020, and all SPA applications are considered by Council in open session prior to final approval. Finally, information relating to the SPA application is posted on the municipal website under the Planning Applications page (Planning & Development).

4.0 ORIGIN AND LEGISLATION

In August of 2020, the Planning Department received an application for Site Plan Approval (SPA) from SmartCentres REIT on behalf of Calloway REIT (Cobourg) Inc. for the development of a new commercial building (Building F) along Strathy Road and the reconfiguration of the existing 'Winners/Dollar Tree' building (Building G) and the addition of new commercial space. Following a review of the application, Planning staff concluded that it constituted a complete application in accordance with the provisions of the Ontario *Planning Act* and the Cobourg Official Plan to form a complete application and was formally received by Council on August 24, 2020. If Council does not approve the application within 30 days of its receipt, the applicant may appeal to the Local Planning Appeal Tribunal (LPAT).

5.0 BACKGROUND

The Subject Lands known as 66 Strathy Road are located at the south-east corner of the Strathy Road and DePalma Drive intersection and have an area of 2.39 ha (5.9 ac). The site presently consists of three buildings: the Swiss Chalet restaurant; a multi-tenant commercial building (Mucho Burrito et al); and, the "Winners/Dollar Tree" building (see **Figure 1 - Location Map**).

The Subject Lands are designated "Shopping Node Area" and "Special Shopping Node Area" in the Town of Cobourg Official Plan (2017) and zoned "Shopping Centre Commercial Exception 6 Holding (SC-6[H]) Zone" in the Town of Cobourg's Comprehensive Zoning By-law No. 85-2003. The site was previously

subject to Site Plan Control and a Development Agreement was registered on title in 2011 and amended in 2012. The current application for Site Plan Approval is for an amending Agreement to permit the revised proposal prior to the development occurring.

6.0 ANALYSIS

The development proposal consists of a new 1,139 sq m (12,266 sq ft) building (Building F) along Strathy Road and the reconfiguration of the existing 'Winners/Dollar Tree' building (Building G) plus the addition of 1,233 sq m (13,273 sq ft) of new commercial space (see **Figure 2 - Site Plan**).

The following plans and reports were submitted with the application:

- Civil Engineering
- Electrical
- Architectural
- Floor Plans
- Landscape Plans
- Arborist Report
- Sustainability Brief
- Accessibility Brief
- SWM Brief
- Traffic Impact Study
- Survey

The following attachments are included for reference purposes:

Figure 1 – Location Map

Figure 2 – Site Plan

Figure 3 – Landscape Plan

Figure 4 – Building Elevations

Figure 5 – Agreement Authorization By-law

Figure 6 – Holding Removal By-law

Summary of Key Points:

The following are the key points associated with the proposal:

- The Subject Lands at 66 Strathy Road are currently occupied by three (3) commercial buildings: the Swiss Chalet restaurant; a multi-tenant commercial building (Mucho Burrito et al); and, the "Winners/Dollar Tree" commercial building (see **Figure 1 Location Map** attached). The development of the site was originally approved by Council in 2011 and amended in 2012. Because the current proposal is slightly different from that previously approved, Council approval of an amending

Development Agreement is required to accurately reflect the proposed design.

- SmartCentres has advised that they embarked on an initiative in 2019 to obtain BOMA BEST¹ certification Canada-wide for all of its sites. BOMA BEST is an environmental assessment and certification program for commercial properties, which requires commercial property owners to develop an overall environmental plan for each property, which encompasses energy, water, air, health & wellness and waste management, among other items, and to implement long term strategies to reduce energy consumption and water use, along with increased waste diversion. The Cobourg SmartCentres site will be undergoing BOMA BEST certification in 2020/21.

Specific building design measures for the proposed buildings include: an exterior wall insulation value of R36 (exceeding the R24 requirement of SB-10 of the Ontario Building Code for thermal performance) to enhance the energy efficiency of the buildings; flow control roof drains will be installed to limit the speed of water discharge to the storm sewer system during a storm event; low water volume toilets; rooftop HVAC units will be fitted with economizers to reduce energy consumption; white roof reflective coating (three times more effective than either green or black ones) to reflect sunlight and therefore reduce interior temperatures of the rooms below; window units are to have a low-e coating, low emissive design and contain argon gas sealed within the space between panes, and be comprised of thermal window units/ frames, to further enhance the thermal performance of the window system and reduce thermal transmission.

- The proposed development has been designed to accommodate persons with mobility challenges and disabilities through wider (1.8 m – 3.7 m) sidewalks, barrier-free curb ramps complete with tactile strips, dedicated painted pedestrian crosswalk, wide (960mm) automatic doors, wide (1525mm) aisles to accommodate wheelchair movements, universal washrooms, rooms and spaces designed to accommodate turning radius requirements of wheelchairs, and a fire alarm system with mechanisms to assist visually impaired patrons in the event of fire.
- The new development area will be extensively landscaped with over 28 new trees and over 478 shrubs, grasses and plants to complement the existing site landscaping. Decorative landscaped corner features with armourstone rockery will be situated at the Strathy Road and DePalma Drive entrances, and landscaped islands will be integrated into the

¹ BOMA BEST Sustainable Buildings certification program recognizes excellence in energy and environmental management and performance in commercial real estate. The Program is managed by the Building Owners and Managers Association of Canada (BOMA Canada) and is internationally recognized as the environmental standard for the commercial real estate industry.

parking lots to break up the asphalt, provide tree canopy and shade, and reduce the heat island effect (see **Figure 3 Landscape Plan**).

- The expansion to the “Winners/Dollar Tree” building (Bldg. “G”) will consist of the same building materials and exterior design. Given its prominent location on the streetscape, the “PetSmart” building (Bldg. “F”) façade will be afforded enhanced architectural design measures on the south, west and north elevations. Specifically, the facades will incorporate a combination of architectural block, stucco of varying colours, raised parapet walls and cornices, and graphic box ‘windows’ with fabric awnings which, along with landscape treatment, will animate the facades, reduce the horizontal ‘wall’ effect and create visual street appeal at this prominent location (see **Figure 4 – Building Elevations**).
- An additional 68 parking spaces will be supplied with the development, resulting in total parking for 324 vehicles in the commercial complex, including 12 barrier-free spaces. Two (2) additional 6-bike parking racks will be provided at the new buildings and a bike lane will traverse the site.
- The proposal conforms to the Cobourg Official Plan, Urban & Landscape Design Guidelines, and Comprehensive Zoning By-law No. 85-2003, and meets all applicable policies, guidelines and standards of the Municipality and external review agencies.

7.0 FINANCIAL IMPLICATIONS/BUDGET IMPACT

There are no anticipated negative financial implications imposed on the Municipality as a result of the application. The Owner has submitted the requisite \$3,500.00 in application fees and deposits, and will be responsible for all costs associated with the registration of the amending Development Agreement. The \$6 million development project will generate approx. \$175,000.00 in Development Charges and approx. \$43,000.00 in Building Permit fees.

8.0 CONCLUSION

It is the opinion of the Planning Department that the application submitted by SmartCentres REIT on behalf of Calloway REIT (Cobourg) Inc. for the development of a free-standing commercial building and addition at 66 Strathy Road meets all applicable policies and standards, subject to the finalization of details by municipal staff and partner review agencies.

9.0 POLICIES AFFECTING THE PROPOSAL

The primary policies affecting this application relate to the Cobourg West Business Park Secondary Plan policies including the Shopping Node Area and Special Shopping Node Area designations, and the Community Design and Improvement policies of the Cobourg Official Plan.

10.0 COMMUNICATION RESULTS

This Report is intended to provide Council and the public with background and analysis of the Site Plan Approval application, and to recommend that Council approve the application and the By-laws attached to this report (see **Figure 5 Agreement Authorization By-law** and **Figure 6 Holding Removal By-law**).

Report Prepared by:



Glenn McGlashon, MCIP, RPP
Director of Planning and Development

Report Approved by:



Ian Davey, BBA CPA CA
Interim CAO/Director of Corporate Services/Treasurer

Figure 1 Location Map

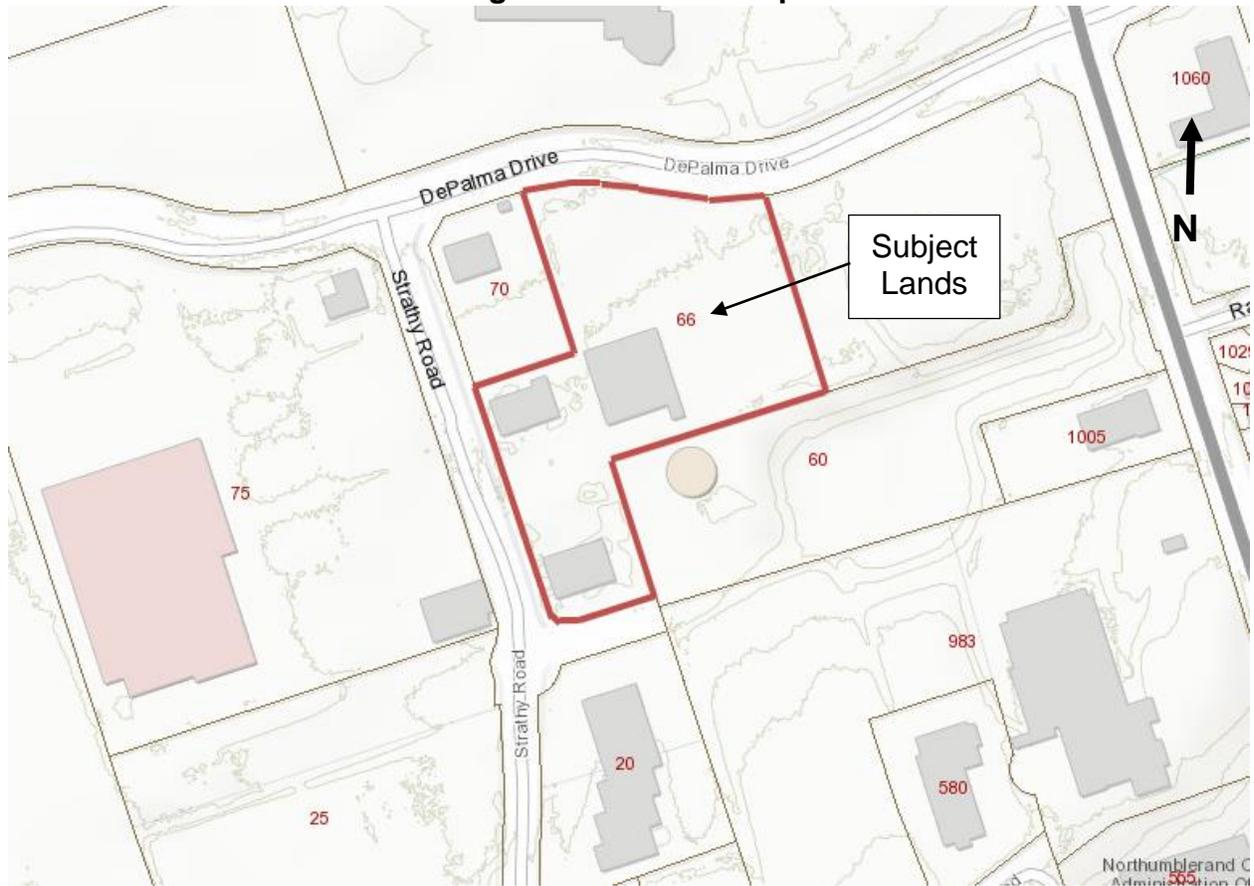
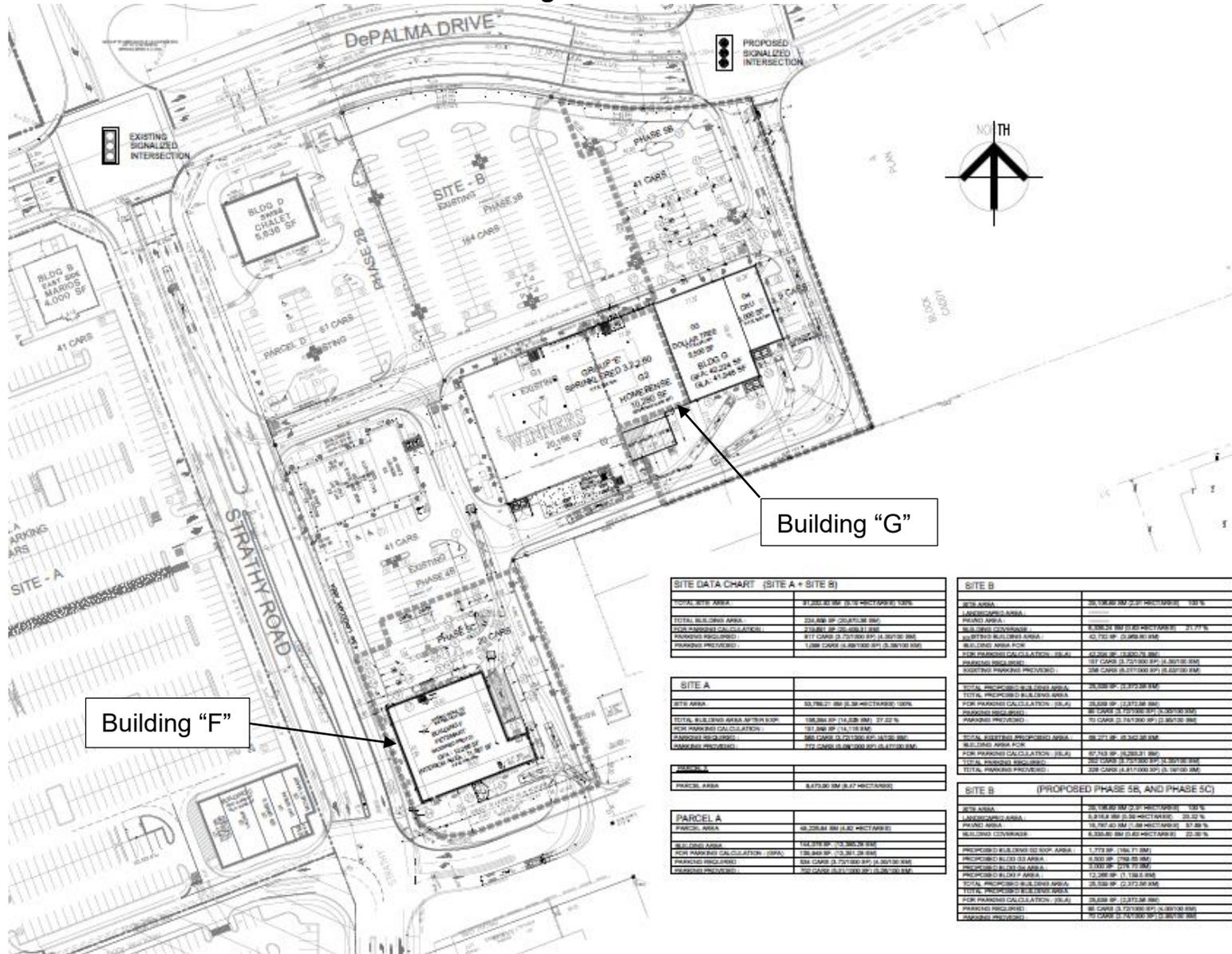


Figure 2 Site Plan



SITE DATA CHART (SITE A + SITE B)

TOTAL SITE AREA	31,288 SQ. MET. (0.71 HECTARE) 100%
TOTAL BUILDING AREA	224,849 SQ. METERS (2,542,880 SF)
NET PARKING CALCULATION	21,048 SQ. METERS (228,531 SF)
PARKING PROVIDED	817 CARS (2,707,000 SF) (1,807,000 SF)
PARKING PROVIDED	1,086 CARS (3,617,000 SF) (2,810,000 SF)

SITE A

SITE AREA	33,782.7 SQ. MET. (0.76 HECTARE) 100%
TOTAL BUILDING AREA AFTER EOP	10,200 SQ. METERS (110,200 SF) 27.22%
FOR PARKING CALCULATION	31,762.7 SQ. METERS
PARKING PROVIDED	386 CARS (1,271,000 SF) (420,000 SF)
PARKING PROVIDED	177 CARS (570,000 SF) (4,170,000 SF)

STRATHAY

PARCEL AREA	8,470.00 SQ. METERS (HECTARE)
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PARCEL A

PARCEL AREA	18,208.00 SQ. METERS (HECTARE)
BUILDING AREA	104,376 SQ. METERS (1,126,376 SF)
FOR PARKING CALCULATION (EOP)	178,649 SQ. METERS (1,912,329 SF)
PARKING PROVIDED	624 CARS (2,071,000 SF) (2,807,000 SF)
PARKING PROVIDED	228 CARS (747,000 SF) (1,582,000 SF)

SITE B

SITE AREA	25,196.00 SQ. METERS (HECTARE) 100%
LANDSCAPING AREA	-----
LAND AREA	8,760.00 SQ. METERS (HECTARE) 34.77%
LANDSCAPING AREA	43,770.00 SQ. METERS (HECTARE)
BUILDING AREA FOR	20,436.00 SQ. METERS (220,776 SF)
FOR PARKING CALCULATION (EOP)	187 CARS (6,251,000 SF) (1,807,000 SF)
PARKING PROVIDED	228 CARS (747,000 SF) (1,582,000 SF)

TOTAL PROPOSED SITE A AND SITE B

TOTAL PROPOSED BUILDING AREA	20,436.00 SQ. METERS (220,776 SF)
FOR PARKING CALCULATION (EOP)	187 CARS (6,251,000 SF)
PARKING PROVIDED	70 CARS (2,247,000 SF) (2,807,000 SF)

TOTAL PROPOSED SITE A AND SITE B

TOTAL PROPOSED BUILDING AREA	38,636.00 SQ. METERS (417,000 SF)
BUILDING AREA FOR	67,743.00 SQ. METERS (726,000 SF)
FOR PARKING CALCULATION (EOP)	267 CARS (8,702,000 SF) (1,807,000 SF)
TOTAL PARKING PROVIDED	228 CARS (747,000 SF) (1,582,000 SF)

SITE B (PROPOSED PHASE 5B, AND PHASE 5C)

SITE AREA	25,196.00 SQ. METERS (HECTARE) 100%
LANDSCAPING AREA	5,814.00 SQ. METERS (HECTARE) 23.07%
LAND AREA	19,382.00 SQ. METERS (HECTARE) 76.93%
LANDSCAPING AREA	5,814.00 SQ. METERS (HECTARE) 23.07%
PROPOSED BUILDING (EOP) AREA	1,774.00 SQ. METERS (19,017 SF)
PROPOSED BUILDING AREA	3,300.00 SQ. METERS (35,400 SF)
PROPOSED BUILDING AREA	8,700.00 SQ. METERS (92,700 SF)
PROPOSED BUILDING AREA	12,506.00 SQ. METERS (135,364 SF)
TOTAL PROPOSED BUILDING AREA	24,280.00 SQ. METERS (260,381 SF)
FOR PARKING CALCULATION (EOP)	30,000 SQ. METERS (324,000 SF)
PARKING PROVIDED	80 CARS (2,633,000 SF) (1,807,000 SF)
PARKING PROVIDED	70 CARS (2,247,000 SF) (1,582,000 SF)

Figure 3 Landscape Plan

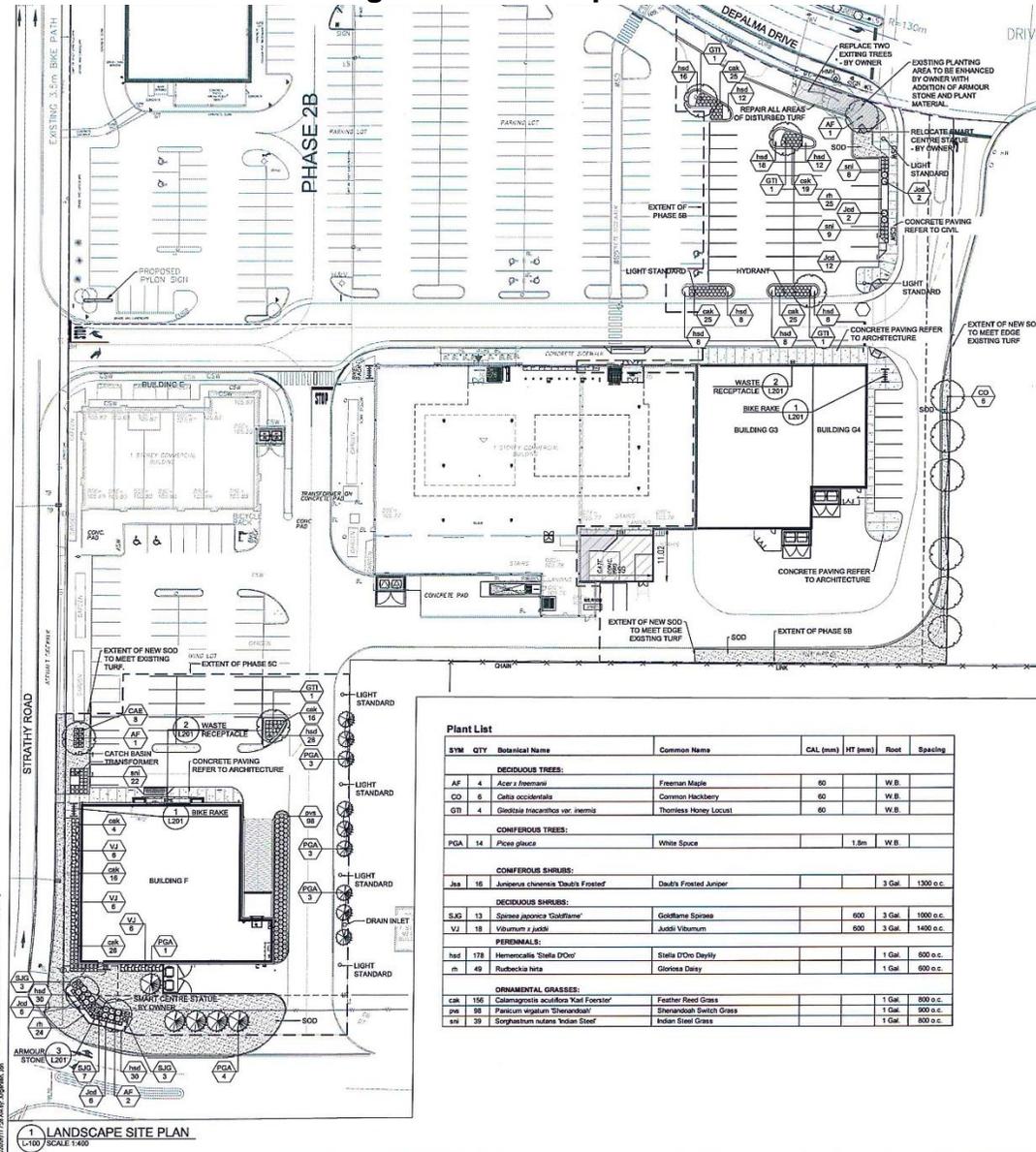
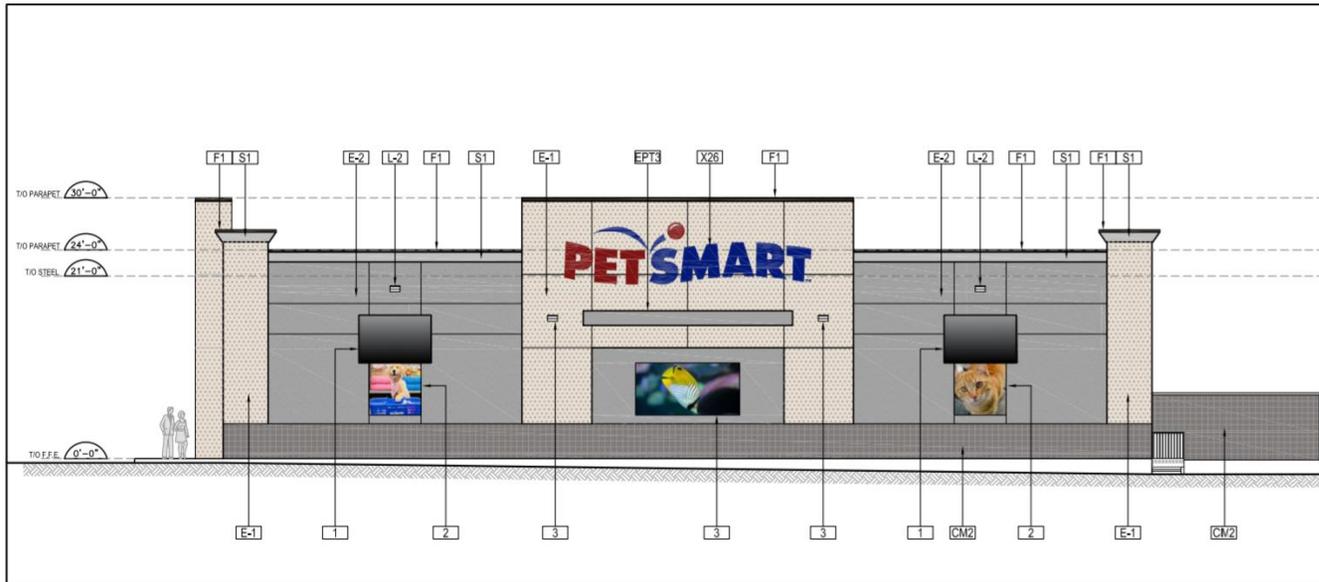


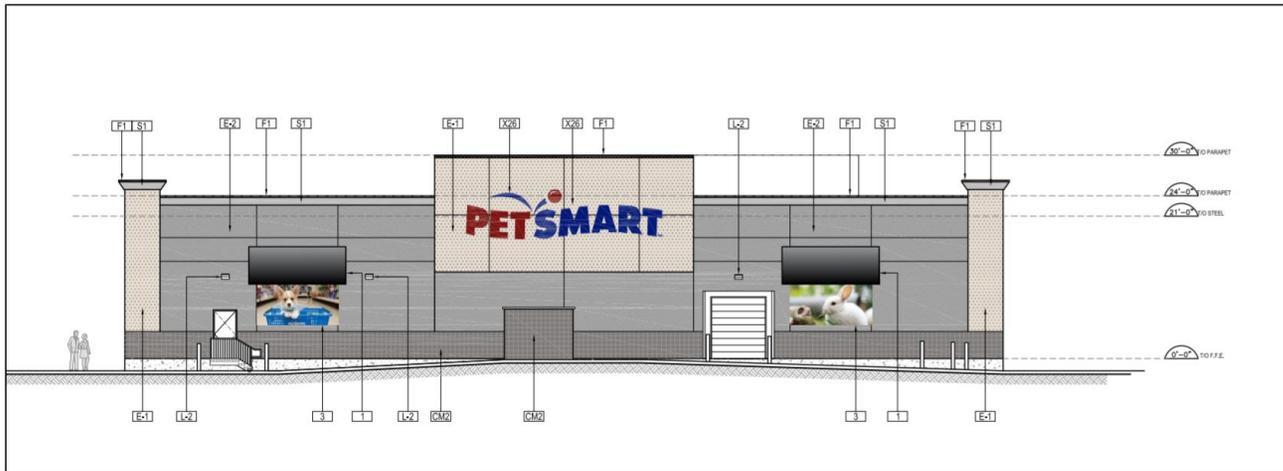
Figure 4 Building Elevations



1 NORTH ELEVATION
SP-2 3/32" = 1'-0"



3 WEST ELEVATION
SP-2 3/32" = 1'-0"



4 SOUTH ELEVATION
 SP.2 3/32" = 1'-0"



Figure 5 Agreement Authorization By-law

	THE CORPORATION OF THE TOWN OF COBOURG
	BY-LAW NUMBER <u> -2020 </u>

A BY-LAW TO AUTHORIZE EXECUTION OF A DEVELOPMENT AGREEMENT WITH CALLOWAY REIT (COBOURG) INC., LAKEFRONT UTILITY SERVICES INC. AND THE CORPORATION OF THE TOWN OF COBOURG (66 STRATHY ROAD, COBOURG)

WHEREAS Section 41 (7) of the Planning Act, R.S.O. 1990 c. P. 13 as amended provides that a municipality has the authority to enter into one or more agreements dealing with and ensuring the provision of facilities, works or other matters and the maintenance thereof and to ensure that development proceeds in accordance with approved plans and drawings;

NOW THEREFORE the Municipal Council of the Corporation of the Town of Cobourg enacts as follows:

1. That the Mayor and Municipal Clerk are hereby authorized and instructed to execute on behalf of the Corporation an amending agreement with Calloway REIT (Cobourg) Inc., Lakefront Utility Services Inc. and the Corporation of the Town of Cobourg for the commercial development and expansion at 66 Strathy Road, Cobourg, subject to the finalization of details by municipal staff and partner review agencies.
2. THAT this By-law come into effect as of its final passing thereof, and shall expire two (2) years from the date of passing.

By-law read and passed in Open Council this 13th day of October, 2020.

MAYOR

MUNICIPAL CLERK

1 | DEV Site Plan Agreement, SmartCentres REIT/Calloway REIT (Cobourg) Inc., 66 Strathy Road By-law No. -2020

Figure 6 Holding Removal By-law

 COBOURG	THE CORPORATION OF THE TOWN OF COBOURG
	BY-LAW NUMBER _____-2020

A BY-LAW TO AMEND ZONING BY-LAW NUMBER 85-2003 (SmartCentres REIT/Calloway REIT (Cobourg) Inc., 66 Strathy Road, Cobourg)

WHEREAS the Council of the Corporation of the Town of Cobourg deems it advisable to amend By-law Number 85-2003 as amended;

NOW THEREFORE the Council of the Corporation of the Town of Cobourg enacts as follows:

1. THAT Schedule 'A', Map 15, attached to and forming part of By-law No. 85-2003, is hereby amended by changing the zone category of the 2.39 ha (5.9 ac) land at 66 Strathy Road from "Shopping Centre Commercial Exception 6 Holding (SC-6[H]) Zone" to "Shopping Centre Commercial Exception 6 (SC-6) Zone" as illustrated on [Figure 1](#) attached hereto.
2. THAT [Figure 1](#) attached hereto is hereby made part of this by-law as fully and to all intents and purposes as though recited in full herein.
3. THIS BY-LAW shall come into force and effect upon final passing hereof, subject to the provisions of the Planning Act, R.S.O. 1990, c. P. 13, as amended.

READ and passed in Open Council this 13th day of October, 2020.

MAYOR

MUNICIPAL CLERK

1 SmartCentres REIT/Calloway REIT (Cobourg) Inc., 66 Strathy Road
By-law No. _____-2020

FIGURE 1

