



ARCHITECTURAL GUIDELINES

homeowner's guide





heritage



inspired

Table of Contents

Home Design Guidelines	7	Site Design Guidelines.....	18	Plan Approval Process.....	26	Appendices	31
Themes.....	7	Building Height	18	Concept Design Review.....	27	Pre-Approved Colours	32
Appropriate Styles	8	View Lines	18	Final Design Review	28	Approval Flowchart.....	33
Building Form	9	Grading and Drainage	19	Working Drawings Review	29	Design Approval Forms.....	34
Roofs.....	10	Landscaping and Vegetation.....	20	Grading Plan & Building Permit ...	29		
Garages & Driveways	11	Site Features & Fixtures	21	Final Inspection.....	30		
Windows	12	Fences	22				
Materials.....	13	Accessory Buildings.....	23				
Colours.....	15	Garbage Storage.....	23				
Variety.....	16	Lighting	23				
		Panels & Meters	24				
		Setbacks.....	24				



Welcome to Cedar Shores

Located in the west-end of Cobourg is a quiet lakefront development called Cedar Shores. The picturesque setting and stately heritage home evoke feelings of a time when summer homes were large and grand and celebrated the surrounding landscape. The heritage theme is evident the first time you visit.

Cedar Shores will be a unique development of uncompromising quality. This estate community will be created in harmony with its surroundings, inspired by the landscape's natural forms, colours and materials as well as the themes and forms of the century home located on the lakefront.

Classic finishings and colour collections, and the finest quality natural materials, will create unity among the homes. Diverse architectural styles

will ensure individuality. The result will be a distinctive community with timeless appeal and enduring beauty.

In the pages that follow, you'll find guidelines to help designers, builders and the developer focus on creating one of the most desirable communities in Cobourg.

From the homeowner's perspective, these guidelines are a tool that will help you create a home – and make yourself at home – in the community. We cover everything, step by step, providing you and your designer and builder with the facts you need to create the perfect estate home. Many components are addressed, from site positioning and landscaping to grading and exterior lighting – critical details that add aesthetic quality and

harmony to the community. Our guidelines also walk you through the process you'll follow to get your design off the drawing board.

We're looking forward to working closely with you, not just to create a home, but to build a community we can all be proud of.

A photograph of a modern, two-story house with a light-colored exterior and dark window frames. The house features large windows and a central entrance with a glass door. A paved walkway leads to the entrance. The house is surrounded by greenery, including trees and shrubs. The text "HOME DESIGN GUIDELINES" is overlaid on the image.

HOME DESIGN GUIDELINES

inspired by the past | fueled by **imagination**



Home Design Guidelines

When you purchase a lot in Cedar Shores, you receive a consultation with the Architectural Control Designer to discuss the conceptual design of your new home.

A Design Review Committee will also be on hand to guide you through the design process. Because we're familiar with each lot, we can help you determine a siting that takes full advantage of your property's unique views and features.

Call on us whenever you need assistance. We're here to help you create a home that reflects your needs and personal style, and contributes to the character and natural beauty of the community.

Theme

How do you create a gracious, warm community with exceptional character and lasting appeal? You need to offer diversity and originality, while maintaining a sense of unity. Although each home will be unique in style, all will be designed with grace and elegance, featuring superior craftsmanship and inspiration taken from turn-of-the-century building. Local materials and colours blend with the environment to unify the community.

Landscaping plays an important role in the development of any community. A feeling that the area has 'grown in' helps link the home sites. The landscaping of your lot will be a vital part of the plans for your home in Cedar Shores, and will be held to the same high standards as the design of your home.



Appropriate Styles

One of our primary objectives is to ensure that Cedar Shores respects the beauty and tradition of the existing heritage home and carriage house. Heritage architecture is the inspiration, but not the rule. The guiding principles of traditional design including proportion, scale and orientation will be utilized exclusively within Cedar Shores to direct the design of personal styles including classic Ontario Regency, Neo-Classical, Craftsman, Contemporary and International Modern—just to name a few. You are limited only by your imagination! Our inspiration will be taken from Regency styles in order to inform the design of your home in whichever style you desire.

Historical architecture is encouraged, but not required. Contemporary styles can be designed

which find inspiration and guidance from the principles of the Regency style and the existing heritage resource on-site.





Avoid streetscapes that attempt to contain an entire streetscape in a single building with complicated massing and by treating materials like wallpaper.



Streetscape design should carefully consider each house as part of a whole. Every house does not need to have every element or be the centre of attention.

Building Form

General

A building's form is shaped by the interior layout of the rooms, and the exterior massing. At Cedar Shores, we're looking for a form designed according to the principles of classic design, the natural lay of the land, with a strong emphasis on horizontal lines.

The shape of each lot will dictate much of the building form. Consideration must also be given to the siting of your home, its relationship to neighbours' homes, and slopes, landscaping and views.

Certain lots are more conducive to certain types of housing due to slope, topography and views. Each home will take advantage of the unique characteristics of the lot.

Building Height and Profile

The maximum building height in Cedar Shores is set to accommodate two storeys. As well as this maximum building height, each house will be considered carefully in terms of overall height to help preserve view lines for all homeowners. No three-storey elements will be allowed.

Proportion

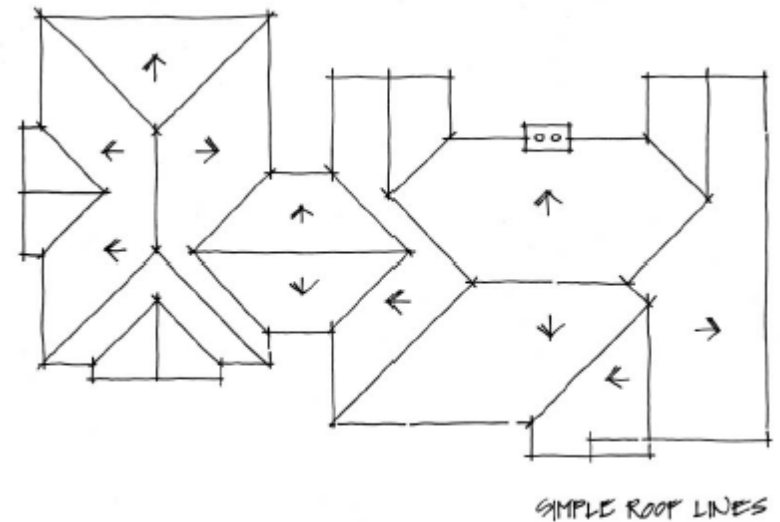
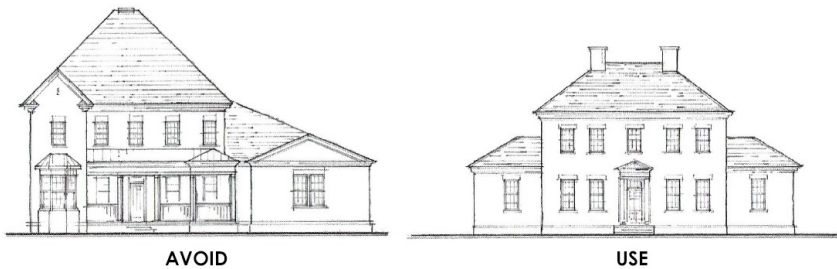
In keeping with the lot sizes, house forms should be wide and shallow vs. narrow and deep. Homes will run predominantly parallel with the street, with strong horizontal lines.

Because our architectural inspiration is traditional, your front entrance should be a focal point. In keeping with the rules of traditional design, symmetry is encouraged on

your principal elevation. Asymmetrical contemporary themes will be considered by the design review team.

Gable, hip, shed and eyebrow dormers are all welcome in Cedar Shores. It's likely that many homes will be gabled. All dormers on walk-out elevations should either step in from the back or the sides a minimum of 1'-0" from the main body of the house.

Complicated massing and multiple gables do not add interest; the only thing they add is additional cost. Use volumes that are easy to cover with a simple roof profile, and add interest to the design with details such as the door surround or cornice.

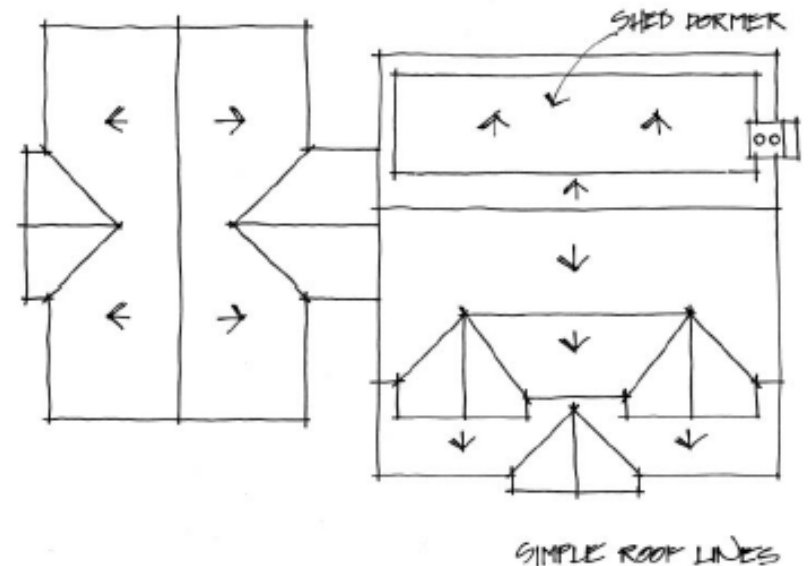


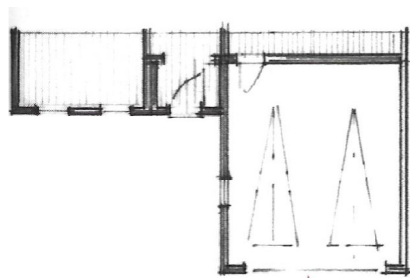
Roofs

Since the roof is usually the single largest element of the house, it must be designed creatively.

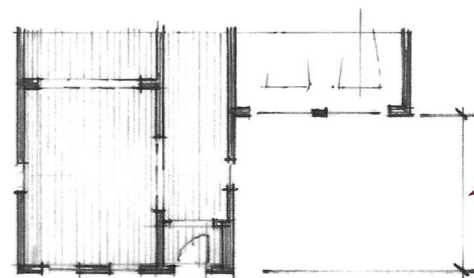
Simple roof lines are encouraged. Bonus areas over garages must be down-played and kept within the roof structure of the garage.

Varied roof pitches are fine, as long as they are appropriate to the style of your home. Flat roof structures are permitted on lots that are designated as "sympathetic" to the heritage resource. Houses adjacent to The Cedars and the Carriage House are not permitted to have flat roofs. Roof lines, like the main building mass, should run parallel to the street.





Avoid designs where a double garage door is the primary feature of the front elevation.



When using a front-loaded garage, set the garage back a minimum of 6 feet, but ideally 18 feet, which allows a car to sit in front of the garage without stepping out in front of the house. Also, avoid double-wide garage doors, because they accentuate the horizontality of the garage.



Garages and Driveways

Too often, garages dominate residential architecture. Your garage must be designed to be clearly ancillary to your house. Front- or side-facing garages off the side of house are encouraged. If you choose side-facing, the street-facing side must be articulated to reflect the house. The street-facing side of the garage must step back off the front face of the house.

Garages must be at or above grade. Dropped garages are not permitted.

Triple-car garages cannot have all three garage doors on the same wall plane. At least one of the doors must be stepped back or projected out from the main wall plane.

Driveways should be narrow until they near the garage itself, and should be downplayed as

much as possible. To reduce runoff, driveways should taper to 4.0 m (13'-0") or less beyond the immediate parking area.

Each lot will only have one driveway, although a second entrance could be considered by the Design Committee on certain lots. To preserve existing features and promote a natural look, straight runs should be avoided. The amount of paving should be kept to a minimum.

Driveway surface materials may vary, but must be in keeping with the site and the house. Options include stone or brick pavers, asphalt or concrete. If you use asphalt or concrete, the aggregate should be compatible with the colour of the home. Walkway paving need not match the driveway; however, it should be a good complement. For example, if you choose

a driveway of exposed aggregate and a walkway of flagstone, the aggregate should match the stone, and the drive might have a border of the same stone.

Recreational vehicles such as trailers, boats and van-sized campers may be stored on-site in enclosed garages. Over-sized motor homes and trailers must be stored off-site.

Windows

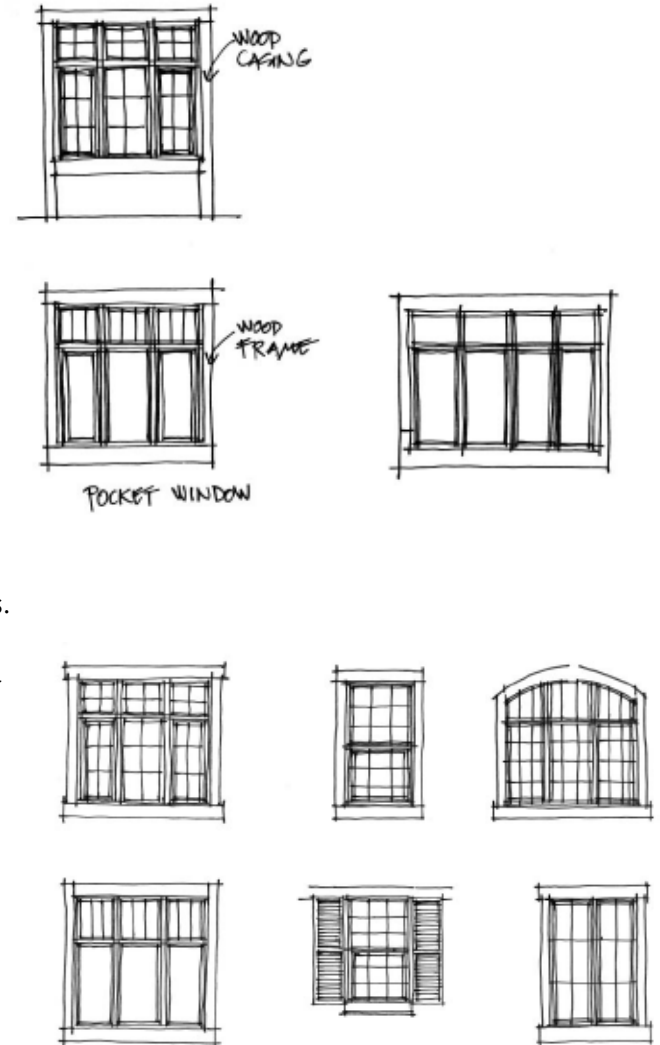
Windows add significant visual interest to any home. At Cedar Shores, windows will add authenticity through the use of true divided lights. Where mullions are used, they will be simulated or true divided lights only. Decorative window grilles sandwiched between the glass are not acceptable.

All windows should be trimmed out, or have a brick-mould of 3.5" minimum, if the style permits. This applies to wood as well as metal clad windows. Contemporary designs may utilize smaller trim profiles, as approved by the Design Committee.

If transom windows suit the style of your home, they should be at least 18" in height. Window shutters are a favourite detail in Regency architecture, but care should be taken to

ensure that they appear authentic. Your shutters should look functional and be proportioned to match the size of the windows.

Palladian windows, raked windows and glass blocks are not appropriate for homes in Cedar Shores.





Materials

In keeping with the heritage influence of Cedar Shores, natural, authentic materials should be used, with the exception of metal clad windows and aluminum soffits and fascias. Aluminum fascias can be used where eaves-troughs will be, but only wood fascias are acceptable on gable ends. Wood soffits should be used at entrances and over porches and featured overhang elements. Vinyl siding will not be permitted.

You're encouraged to use exterior masonry. Five natural stone types and five brick colour collections have been developed for Cedar Shores. This masonry ties into the landscaping around your community, helping to create an attractive, unified look. Man-made stone or stone tile is not recommended and will be

reviewed by the Design Committee.

If you choose stucco, use acrylic or rock dash stucco. More contemporary styles can use smooth stucco finishes, as approved by the Design Committee. Accent stucco with treatments such as gable battens, paneling or wall shingles. A predominately stucco house must incorporate a built-out masonry base of a minimum of 3" to grade, on the entire house. This will help ground the house and make it feel more substantial.

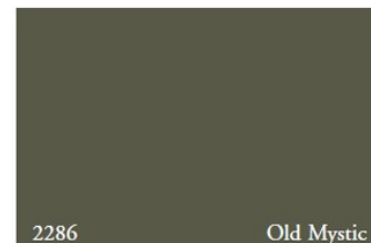
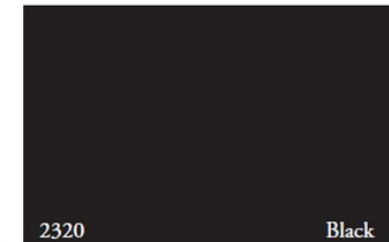
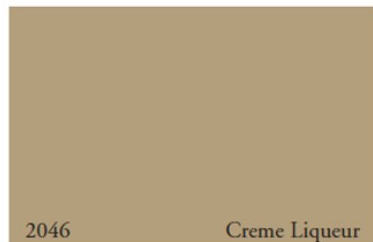
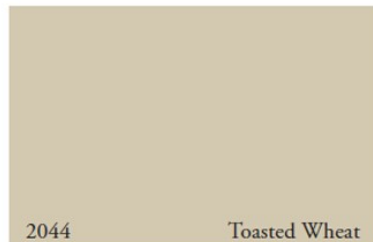
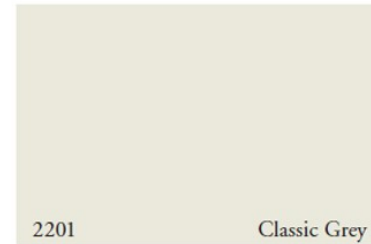
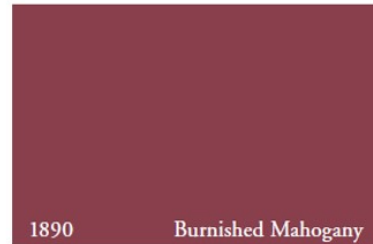
House doors are to be made of wood and can be either paint or stain grade material. Garage doors are to be either painted or stained wood. Alternatively, a number of garage door manufacturers offer lines of doors based on historical styles which may be considered at the

discretion of the design review committee. Standard metal overhead doors are not acceptable.

Handrails should also be either wood or wrought iron. Glass railing will be considered by the design review committee where appropriate to the style.

Sunrooms, three-season porches and conservatories are encouraged to take full advantage of the natural landscape of Cedar Shores. These structures should be of solid wood and/or masonry construction. Vinyl sunrooms or kit sunrooms will not be approved.

Paint Colour Palette
*All colours have been chosen to harmonize
 with the landscape and unify the community.
 The colours are interchangeable, so you can
 use each one as a primary, secondary
 or accent colour.*



Colours

A narrowly defined colour palette is one of the main reasons classic communities feel so natural. At the turn-of-the-century, there were only a few colours and materials to choose from when building a home. Though colours and materials could be used in a different way on each home, all the homes had common elements.

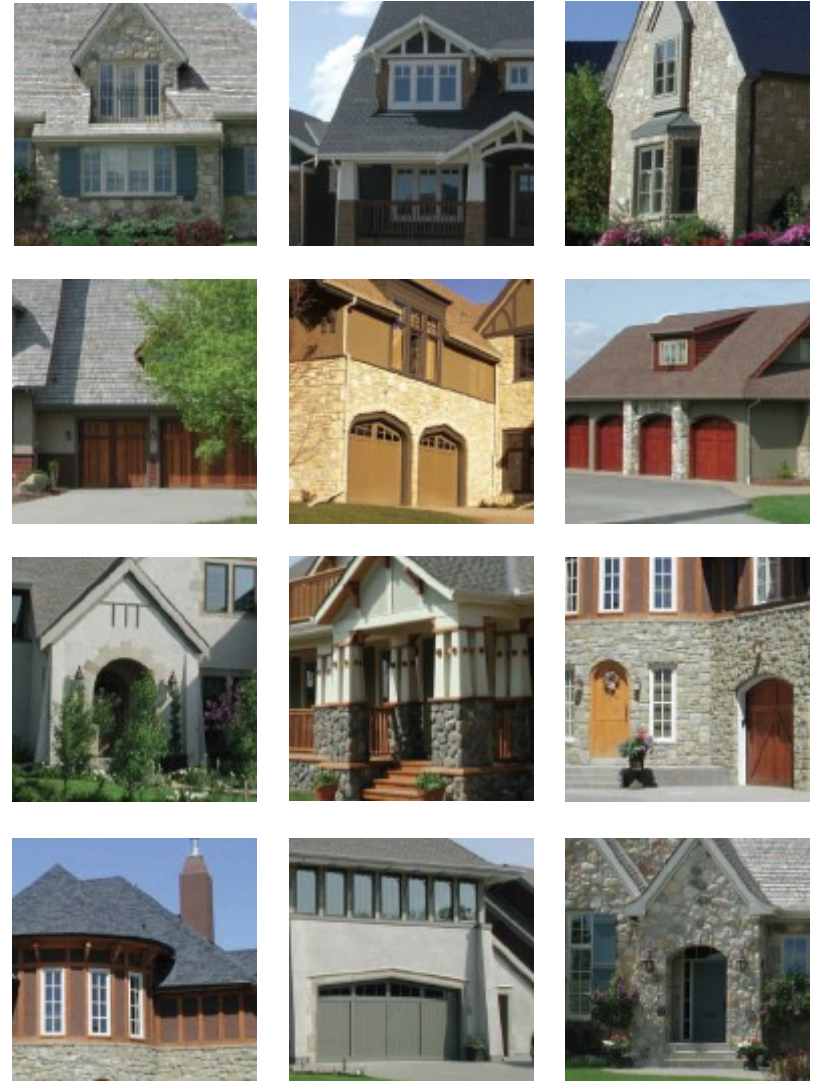
Cedar Shores will re-create this unified look and feel by providing a colour palette diverse enough to accommodate all styles and needs. All colours have been chosen to harmonize with the landscape and unify the community. The colours are interchangeable, so you can use each one as a primary, secondary or accent colour.

Six asphalt shingle colours are available along

with the option of cedar shingles or shakes. Accent metal roof pieces may be copper or black. There are five natural local stones and five local brick colours for masonry options.

Variety

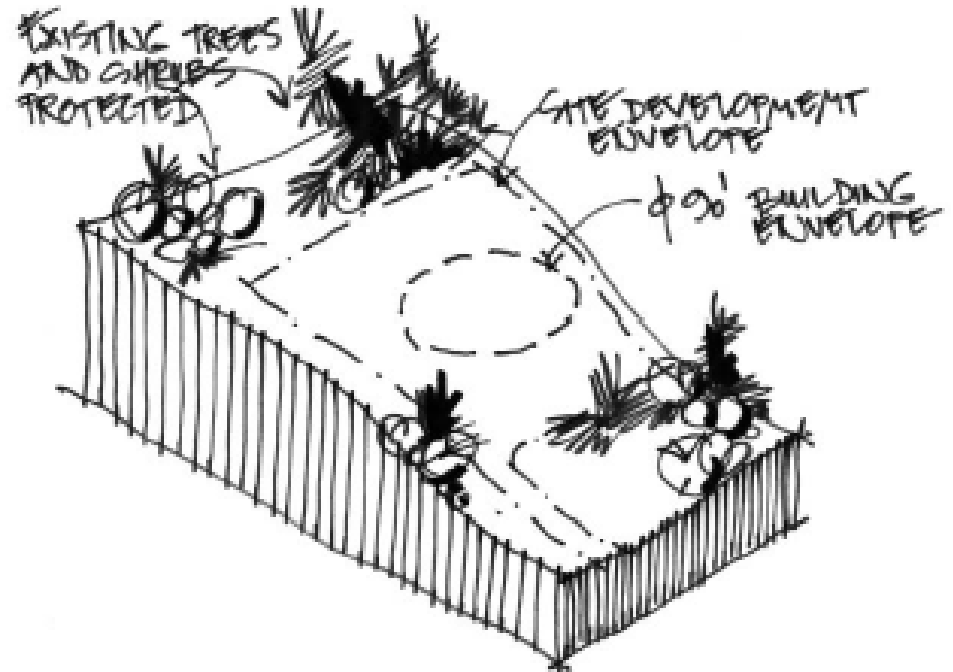
No one wants to live in a cookie-cutter home. Diversity and originality in home design will help give Cedar Shores its unique character. The Design Review Committee will keep an eye out for similar floor plans. If this situation does occur, they'll make sure the plans incorporate completely distinct elevations, so that the homes' exteriors will be completely different from each other.





SITE DESIGN GUIDELINES

nature preserved



Site Design Guidelines

Site design guidelines will help ensure that, wherever possible, the natural beauty of Cedar Shores is preserved or enhanced.

Please work with the land. When you are siting your home, take the existing conditions into consideration. Slope-adaptive designs are strongly recommended.

To help you achieve the best possible placement, a suggested home site location will be pinned on your lot. The location will be tailored to the landscape, serving as a complement to the surroundings.

Building Height

Your building profiles, especially roof lines, must be designed to complement the surroundings. Buildings may be two storeys in height.

View Lines

You'll be provided with a suggested home site location appropriate to the grading and view lines of your lot. Your home should be sited within this circle, to preserve view corridors for neighbouring sites. Any development outside the suggested home site location will be assessed by the Design Review Committee and may be subject to a stricter building height restriction.

Grading and Drainage

Cedar Shores has been engineered to provide adequate drainage for each lot without the need for further grading. With careful design, all homes can be placed in such a way that the natural landscape can be maintained as much as possible.

Innovative planning and slope-adaptive design, such as stepping foundations, not only create dynamic interior spaces, but will limit disturbance of the site. This holds true for decks and patios too. Terraced outdoor spaces should step with the natural grade. Grading to create a flat building site on existing slopes will not be allowed.

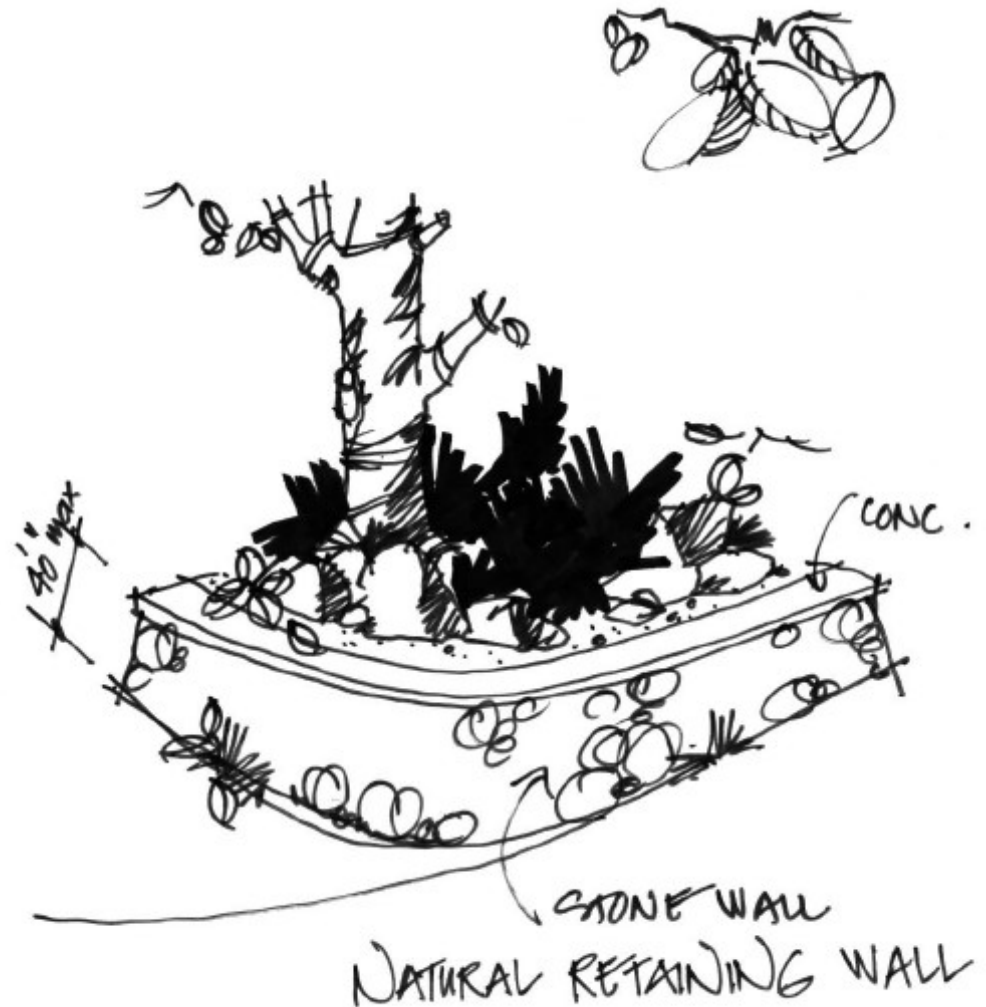
Grading, where necessary, is limited to the Site Development Envelope and any grade outside this envelope must remain intact. Where

grading is used, no slope should exceed 3:1.

Where possible, grading should divert runoff water to benefit existing vegetation and/or new plantings.

Any and all retaining walls must be designed to tie into the character of your home. Retaining walls should be clad in masonry and should match the masonry of your home. If your home does not contain masonry elements, retaining walls must be finished with one of the pre-approved masonry examples only.

Retaining walls should not exceed 1.22 m (4'-0")



in height, so any drop greater than 4'-0" must be handled in a stepped manner. Masonry retaining walls and landscape boulders are encouraged, and will help tie your home to the site.

Landscaping

Throughout Cedar Shores, landscaping will be used to enhance the area's natural beauty. Artificial hard landscaping materials such as concrete or asphalt paving should be minimized. Instead of concrete walks, for example, homeowners could design stone pathways, which have much more natural appeal.

Vegetation and plant material offer a rich array of colours and shapes to accent your property. Appropriate plant material enhances architecture, defines outdoor spaces, frames views and knits structures to the site. Keep this in mind during the design phase, so you can take advantage of existing trees and shrubs, and ensure that new plantings complement this vegetation.

Be sure to include "function" in your design process. For example, deciduous trees provide shade in summer, while letting sunshine in during the winter when the leaves are gone. Evergreen trees and shrubs screen undesirable views and provide excellent windbreaks.

Make the most of natural colour to highlight each season. Flowering shrubs and wildflowers bloom through the spring, bringing an otherwise pale earth to life. Many hues of green brighten

the summer landscape, ending with a blaze of colour in the fall. Evergreens add a cheerful note in the winter.

Lawns are to be kept neat and manicured. Selection and placement of new plant material will vary from property to property, but several key principles apply to all sites:

- Place plants to enhance continuity between indoor and outdoor spaces by creating outdoor "rooms" or framing views, taking care not to block other homeowners' views.
- Cluster plants in groupings, avoiding an individual planting or a straight row of plants.
- Avoid plants that contrast with existing vegetation. Native materials are more natural.

Be sure your plant material is native to Northumberland County. In addition to helping to preserve the area's natural character, native species are hardy, and tend to need less care. Planting species that are not native to our boreal setting will be discouraged.

All plant material must be nursery grown and must conform to the standards of the Canadian Nursery Trades Association.

For your convenience, a Landscape Designer

will also be recommended at your initial meeting. You'll provide the Design Review Committee with separate landscaping plans showing existing vegetation, what is to be retained and what is to be removed, as well as all proposed plantings.

Some properties at Cedar Shores have treed areas in the back yard that are to remain to provide a buffer from adjacent properties. Trees in these naturalized areas can only be removed if approved by the Town of Cobourg. These areas are clearly outlined on the community plan, and your specific lot requirements will be discussed at your initial design meeting.

A landscape compliance deposit, made payable to the developer, is required prior to the issuance of permission to build. This deposit will be returned subject to final inspection of on-site landscaping. All landscaping must be completed within one growing season.

Site Features and Fixtures

Outdoor features enhance your property, while creating a pleasant transition between indoor and outdoor spaces, and natural and man-made environments. They can also make the outdoors more enjoyable by enhancing views, catching the sun's warmth, or providing shelter from the wind. Site features may include:

- Courtyards, terraces and decks,
- Privacy walls and fencing
- Arbours and trellises
- Swimming pools and spas
- Play structures
- Barbecue areas.

Be sure to consider these elements at the

preliminary design phase. When poorly handled, they can seriously detract from an otherwise attractive home and yard. In Cedar Shores, features and fixtures should respond to land-forms and natural conditions, and must be integrated into the site design as a whole. When treated as an extension of the architecture, they will appear to have grown together with the house and garden to become a natural feature.

Your courtyards and terraces should be of natural stone, so they complement the house and match the landscape. Ground level terraces or patios are preferable to large, above-ground decks. Decks above grade should be kept to a minimum and should not appear to be tacked on as an afterthought.

They must be framed with substantial structural members, so they don't have a spindly appearance. Stone-faced foundations are recommended. Retaining walls, if needed, must be of natural materials such as stone.



Fences

Site fencing should also be kept to a minimum and limited to the Site Development Envelope. With careful use of plantings, privacy can be achieved without fencing. Privacy fencing may be created in rear yards only, extending no more than 6 m. (20 ft.) from the rear wall of the home. Perimeter fencing to define your property line will not be allowed.

Where fencing is required for safety or security, it must be integrated with the building and site design. It must complement the architecture of the home and be made of a natural material such as stone, timber or wrought iron. Fencing may be up to 1.80 m. (6' 0") high; more transparent treatments or screen are encouraged in the upper portions. Lattice will not be accepted. Front-yard fencing is limited to

decorative fences of approximately 3.6 m. (12 ft.) in length.

Back fencing may be used as a privacy screen at the rear of your home. It may not extend more than 6 m. (20'-0") from the rear elevation of the house and must not exceed the home's width.

Chain-link fencing will not be permitted. Fencing for dog runs may be approved on an individual basis and must be incorporated into the house design from the concept stage.

Pools, hot tubs and spas will be reviewed by the Design Review Committee. These elements should be located so that they are not visible from the street, and must be screened with fencing that is consistent with the Town of

Cobourg's Pool By-Law. These fences shall be located in the immediate vicinity of the pool area only, and carefully designed as part of the pool and rear yard landscaping. Regulations within the Pool By-Law supersede the general guidelines for privacy fences and security fences and will be enforced during the building permit stage by Municipal agencies having jurisdiction.

Accessory Buildings

Buildings like carriage houses, greenhouses and gardener's sheds can enhance the appeal of your property. The Design Review Committee will evaluate accessory buildings on an individual basis. Make sure your outbuildings are detailed to match the main house. Since these structures will likely fall outside the suggested home site location, they may be subject to a stricter maximum building height restriction. Maximum building height for accessory buildings is 14 feet. There are also maximum property coverages required for accessory buildings. Zoning information particular to your property will be provided at your introductory meeting.

Garbage Storage

Garbage must be stored in an enclosure within the main house. Garbage may be placed outside the home no more than 12 hours prior to pick-up.

Lighting

Our suburban environment calls for outdoor lighting that is soft and subtle. Lighting to highlight architectural elements or vegetation should be used creatively. To reduce light pollution and glare, exterior fixtures should not have a light source directly visible from the street. Soffit lights should be limited to entrances and street-facing elevations.

Careful landscape lighting will be considered by the Design Review Team. Down-lighting of pathways and walkways is encouraged.

Panels and Meters

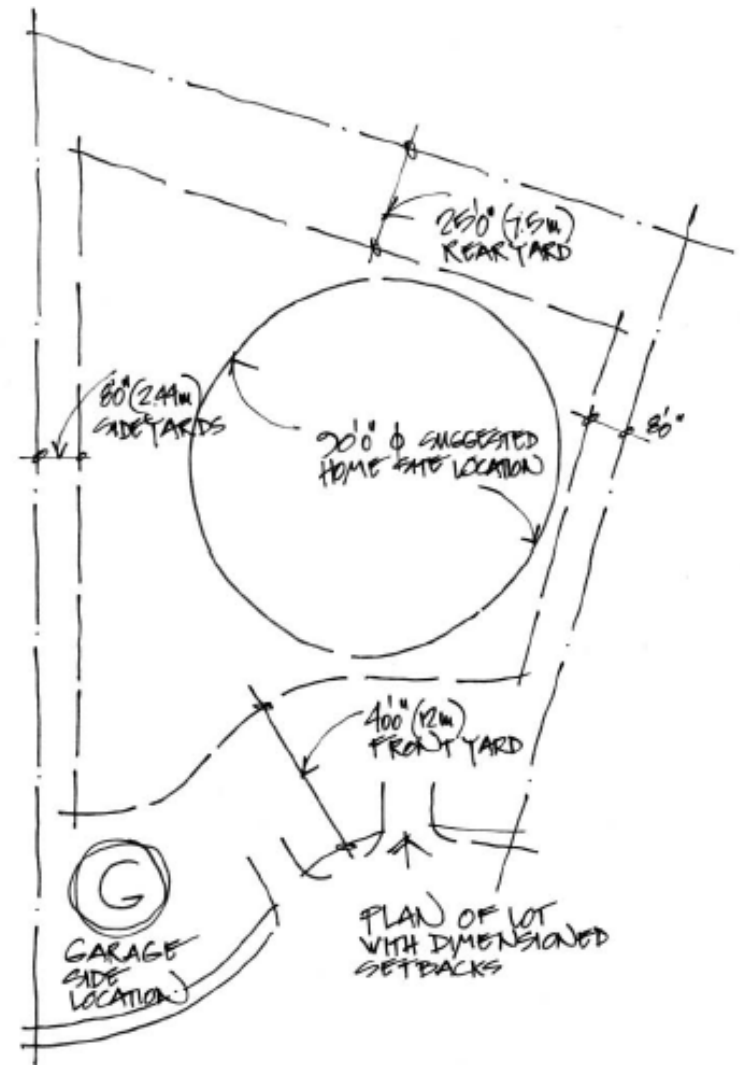
Exterior panels and meters must be indicated on plans at the final design stage. Make sure they're positioned unobtrusively when viewed from the street and neighbouring properties.

Satellite dishes must be mounted in areas that are not visible from the street. Television aerials will not be permitted.

Setbacks

- Side yards: 1.0 m (3'-4") each side for bungalows
- Side yards: 1.6 m (5'-4") each side for two-storey homes
- Front yards: 6.0 m (20'-0")
- Rear yards: 9.7 m (32'-4")

These setbacks comprise your Site Development Envelope and ensure that properties are not over-built. No structures are allowed outside this limit. In addition to your Development Envelope, you'll be provided with a suggested home site location. Any projections outside of this home site location will be subject to a lower maximum building height in accordance with the view corridors of neighbouring homes.

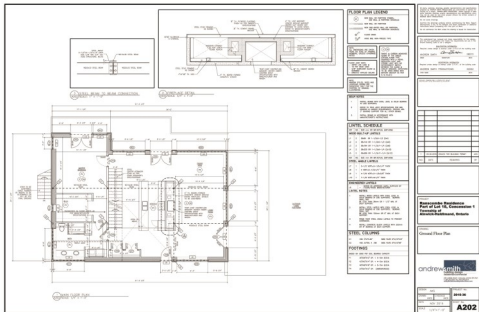




PLAN APPROVAL PROCESS

possibilities

**1. Preliminary
Design
Consultation**



**2. Design Concept
Review**

Completed Concept Design
Review Form

- Three Copies:
- Conceptual Site/Landscape Plan
 - Conceptual Floor Plans of all levels
 - Conceptual Elevations of all 4 sides
 - Perspective Sketch or 3D Visualization

Comments

**3. Final Design
Review**

Completed Final Design
Review Form

- Three Copies:
- Finalized Site Plan
 - Finalized Landscaping Plan
 - Finalized Floor Plans of all levels including basement
 - Detailed Elevations of all 4 sides
 - Revised perspective Sketch or 3D Visualization

Comments

**5. Grading Plan
Issued to Builder**

6. Building Permit

7. Construction

**8. Final Architectural
Inspection**

Return Construction
Compliance Deposit

**9. Final Landscape
Inspection**

Return Landscape
Compliance Deposit

**4. Working Drawings
Review**

Completed Working Drawings
Review Form

- Construction Compliance Deposit
- Landscape Compliance Deposit
- Builder's Certificate of Insurance
- Completed Proposed Exterior Colours and Material Form

- Three Copies:
- Updated Site Plan
 - Full Construction Drawings

Project Completion

Plan Approval Process

As a homeowner, you'll work in partnership with your designer, your builder, your developer, the Design Review Committee and the Town of Cobourg Planning and Development department to put together the estate home you've dreamed of in Cedar Shores.

The Design Review Committee is part of your team. We'll work with you to help you site, design and construct your new home. Together, we'll explore all the possibilities Cedar Shores has to offer you.

Concept Design Review

With the purchase of your home comes a preliminary design consultation with the Architectural Control Designer. When you have finalized the conceptual direction of your home, you're ready to start designing your home! When you are ready for a Design Concept Review, we will assist you in submitting three copies of each of the following to the Design Review Committee:

- Completed Concept Design Review Form
- Conceptual Site/Landscape Plan with the information listed on the application form
- Conceptual Floor Plans of all levels
- Conceptual elevations of all four sides
- Perspective sketch or 3D visualization.

Design review meetings will be scheduled with you and your designer at a time convenient for you. 1 week's notice must be given to arrange attendance for the members of the team. You'll be contacted in writing no later than one week after the meeting date, as to the status of your application and any comments regarding your submission.

Final Design Review

Once your conceptual drawings have been approved, you'll move on to the final design stage. Use this time to refine your drawings, taking into account any comments from the Design Review Committee.

The exterior, as well as all the rooms, should be thought out in detail. At this time, you'll want to get prices from your builder. When you're comfortable with your home design, and the cost, you're ready to apply for a Final Design Review. Your submission for a Final Design Review requires three copies of each of the following:

- Completed Final Design Review Form
- Finalized Site Plan with the information listed on the application form

- Landscaping Plan
- Floor Plans of all levels including Basement
- Detailed Elevations of all four sides
- Revised Perspective sketch or 3D visualization.

Final design review meetings will be scheduled with you and your designer at a time convenient for you. 1 week's notice must be given to arrange attendance for the members of the team. You'll be contacted in writing no later than one week after the meeting date, as to the status of your application and any comments regarding your submission.

Working Drawings Review

With the Design Review Committee's approval of the final design of your home, the design process is now complete. Now your designer will provide construction documents (working drawings) and specifications for construction of your home. You'll need to submit these documents to ensure that no changes have been made to the approved design of your home. Once everything has been verified, a grading plan can be issued, and construction on your home can begin after receiving a building permit. The information you'll need for the Working Drawings Review includes four copies of each of the following:

- Completed Working Drawings Review Form
- A \$5000 construction compliance deposit

- A \$2500 landscape compliance deposit
- The Builder's Certificate of Insurance
- Updated Site Plan including the information listed on the application form, and showing underside of foundation (UFE), basement floor elevation (BFE), top of foundation elevation (TFE), and finished first floor elevation (FFE), proposed spot elevations, approved elevations at property corners and other locations as per approved engineering/grading drawings for the subdivision, storm and sanitary invert elevations and number of risers. A swale detail and proposed swale drainage should also be shown.
- Construction Drawings
- A Completed Proposed Exterior Colours and Material Form.

Grading Plan & Building Permit

Once your working drawings have been reviewed and approved, a grading plan is issued to your builder. You may now submit your completed drawings to the municipality for a Building Permit. Officials will check for compliance with the Ontario Building Code and all municipal regulations.

Final Inspection

A final architectural inspection is required to ensure that your home is built according to the approved design and specifications. Once your home and driveway are complete, you'll submit a written request for Final Architectural Inspection to the Architectural Control Designer. Written confirmation of architectural inspection will be returned within 30 days of the initial inspection request. Provided there are no architectural deviations from the approved drawings, your Construction Compliance Deposit will be released at this time.

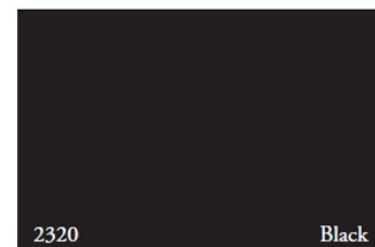
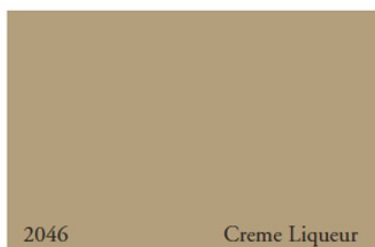
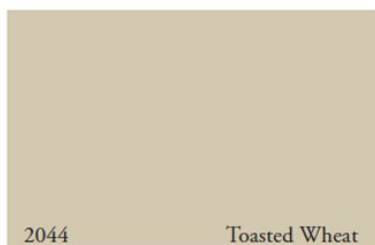
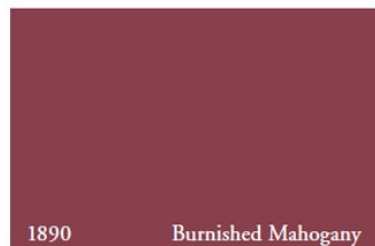
A final landscape inspection will ensure that your home site landscaping has been completed according to the approved design and specifications. When your landscaping is complete, submit a written request for Final Landscape Inspection to the Architectural Control Designer. Written confirmation of landscape inspection will be returned within 30 days of the initial inspection request. Provided there are no deviations from the approved drawings, your Landscape Compliance Deposit will be released at this time.



APPENDICES

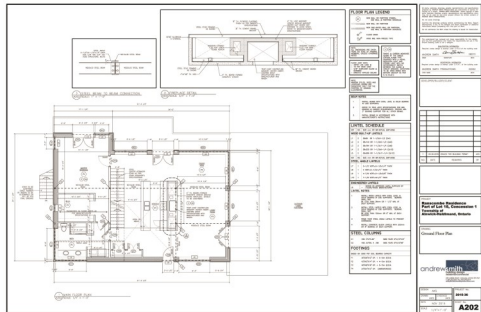
collected thoughts

Paint Colour Palette
*All colours have been chosen to harmonize
 with the landscape and unify the community.
 The colours are interchangeable, so you can
 use each one as a primary, secondary
 or accent colour.*



Pre-Approved
 Colours

1. Preliminary Design Consultation



2. Design Concept Review

Completed Concept Design Review Form

- Three Copies:
- Conceptual Site/Landscape Plan
 - Conceptual Floor Plans of all levels
 - Conceptual Elevations of all 4 sides
 - Perspective Sketch or 3D Visualization

Comments

3. Final Design Review

Completed Final Design Review Form

- Three Copies:
- Finalized Site Plan
 - Finalized Landscaping Plan
 - Finalized Floor Plans of all levels including basement
 - Detailed Elevations of all 4 sides
 - Revised perspective Sketch or 3D Visualization

Comments

5. Grading Plan Issued to Builder

6. Building Permit

7. Construction

8. Final Architectural Inspection

Return Construction Compliance Deposit

9. Final Landscape Inspection

Return Landscape Compliance Deposit

4. Working Drawings Review

Completed Working Drawings Review Form

- Construction Compliance Deposit
- Landscape Compliance Deposit
- Builder's Certificate of Insurance
- Completed Proposed Exterior Colours and Material Form

- Three Copies:
- Updated Site Plan
 - Full Construction Drawings

Project Completion

Concept Design

Review Form

Date:/...../.....

Lot:

Owner:

Address:

Phone: ()

Architect/Designer:

Address:

Phone: ()

Builder:

Address:

Phone: ()

For the Design Review Committee to fully review this application, all of the following must be included:

- Conceptual Site/Landscape Plan showing property lines, setbacks, location of building envelope, all proposed buildings, driveway, walks, patios, decks, any proposed retaining walls and any outdoor features and existing and proposed vegetation. Tree protection measures should be clearly identified.
- Schematic Floor Plans for all levels min. scale 1/4"=1'-0" (3 copies).
- Schematic Elevations for all four sides min. scale 1/4"=1'-0" (3 copies).
- Perspective Sketch or 3D visualization of the most prominent view.

If requested by the Design Review Committee, additional perspective sketches may be required.

Submitted By:

Submitted Date:/...../ Meeting Date:/...../

Notes:

Checklist

- ☐ Three printed copies
- ☐ PDF Format on memory stick
- ☐ Conceptual Site Plan showing:
 - property lines
 - setbacks
 - building envelope
 - proposed buildings and structures
 - driveway
 - walks, patios, decks, retaining walls, outdoor features and existing and proposed vegetation
 - tree protection measures
- ☐ Schematic floor plans of each level, including
- ☐ Schematic Elevations of all 4 sides
- ☐ Perspective sketch or 3D Visualization of the most prominent view

Final Design

Review Form

Checklist

- ☐ Three printed copies
- ☐ PDF Format on memory stick
- ☐ Conceptual Site Plan showing:
 - property lines
 - setbacks
 - building envelope
 - contours and spot elevations
 - proposed buildings and structures
 - driveway noting width and slope
 - walks, patios, decks, retaining walls, outdoor features and existing and proposed vegetation
 - tree protection measures
- ☐ Schematic floor plans of each level, including basement
- ☐ Schematic Elevations of all 4 sides
- ☐ Perspective sketch or 3D Visualization

Date:/...../.....

Lot:

Owner:

Address:

Phone: ()

Architect/Designer:

Address:

Phone: ()

Builder:

Address:

Phone: ()

For the Design Review Committee to fully review this application, all of the following must be included:

- Conceptual Site/Landscape Plan showing property lines, setbacks, location of building envelope, contours, spot elevations with any proposed changes, all proposed buildings, driveway noting width and slopes, walks, patios, decks, any proposed retaining walls and any outdoor features and existing and proposed vegetation. Tree protection measures should be clearly identified.
- Schematic Floor Plans for all levels min. scale 1/4"=1'-0" (3 copies).
- Schematic Elevations for all four sides min. scale 1/4"=1'-0" (3 copies).
- Perspective Sketch or 3D visualization of the most prominent view.

If requested by the Design Review Committee, additional perspective sketches may be required.

Submitted By:

Submitted Date:/...../ Meeting Date:/...../

Working Drawings

Review Form

Date:/...../.....

Lot:

Owner:

Address:

Phone: ()

Architect/Designer:

Address:

Phone: ()

Builder:

Address:

Phone: ()

For the Design Review Committee to fully review this application, all of the following must be included:

- Updated Site plan.
- Completed set of complete Construction Drawings complete with any Specifications.
- Plans should show any changes completed due to the first two stages of Design Review, all finish materials and height calculations on all four sides (3 copies).
- \$5000.00 construction compliance deposit.
- \$2500.00 landscape compliance deposit.
- Builder's Certificate of Insurance.
- Completed Exterior Colours and Materials form.

If requested by the Design Review Committee, additional perspective sketches may be required.

Submitted By:

Submitted Date:/...../ Meeting Date:/...../

Notes:

Checklist

- ☐ Three printed copies
- ☐ PDF Format on memory stick
- ☐ Updated Site Plan showing:
 - UFE (Underside of Foundation)
 - BFE (Basement Floor Elevation)
 - TFE (Top of Foundation Elevation)
 - FFE (Finished First Floor Elevation)
 - proposed spot elevations
 - approved elevations at property corners
 - storm and sanitary invert elevations
 - number of risers
 - swale detail
 - proposed swale and sheet drainage
- ☐ Completed Construction Drawings
- ☐ \$5000 Construction Compliance Deposit
- ☐ \$2500 Landscape Compliance Deposit
- ☐ Builder's Certificate of Insurance
- ☐ Completed Exterior Colours and Materials Form

Proposed Exterior Colours and Materials Form

Date:/...../.....

Lot:

Owner:

Address:

Phone: ()

Building Surface	Material	Manufacturer	Colour
Roof
Primary Wall Surface
Secondary Wall Surface
Foundation
Trim
Window Frames
Window Trim
Chimney
Soffit
Fascia
Eavestroughs
Rainwater Leaders
Porch/Deck Surface
Railings
House Doors
Garage Doors
Driveways