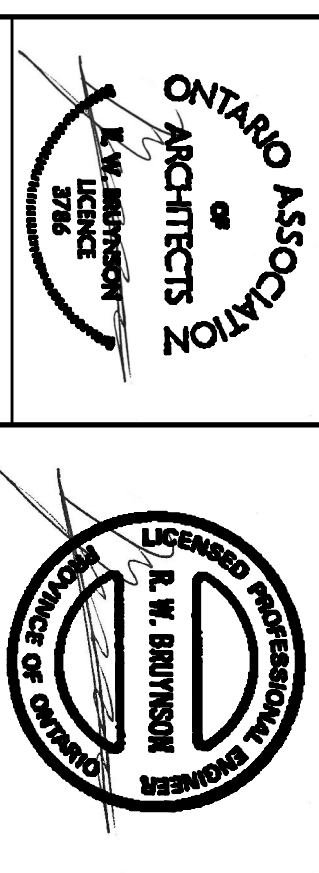


[illegible]

DATE	ND	REVISION	BY
FEB/21	1	AS PER PRE-CONSULTATION	RVA



DIMENSIONS MUST NOT BE SCALED
ALL MEASUREMENTS MUST BE CHECKED
AND VERIFIED AND ALL ERRORS OR
OMISSIONS SHALL BE REPORTED
TO THE CONSULTANT PRIOR TO PRO-
CEEDING WITH THE WORK
ALL PRINTS OF PLANS AND SPECIFIC-
ATIONS ARE THE PROPERTY OF THE
CONSULTANT AND MUST BE RETURNED
AT COMPLETION OF THE WORK
THIS DRAWING SHALL NOT BE USED FOR
CONSTRUCTION PURPOSES UNTIL
IT IS SIGNED BY THE CONSULTANT
OF RECORD

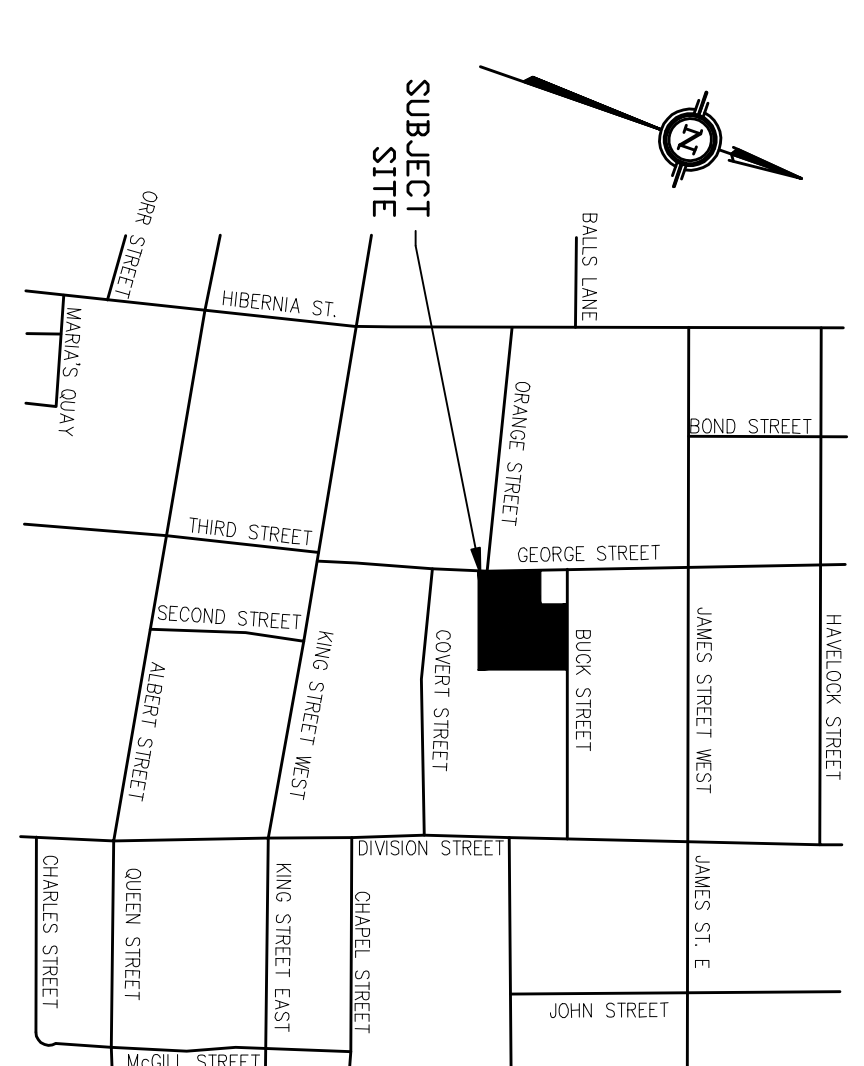
DATE _____

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ARCHITECT—CONSULTING ENGINEER
#6 HILSLIDE DR.
HAMPTON, ONTARIO L0B-140
TEL: 905-263-4466
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& Townhouse Development
296 George Street Cobourg, Ontario

PRELIMINARY CONCEPT

DATE	Sept., '19	PROJECT NO.
SCALE	1 : 150	19029
DESIGNED BY	RWB	DWG.
DRAWN BY	RWB	NO.
CHECKED BY	RWB	PREF. TM. #1



KEY PLAN

2.4

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TOPOGRAPHIC DETAIL OF

296 GEORGE STREET

TOWN OF COBOURG

SCALE 1 : 250 METRES

CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK

COORDINATES

COORDINATE VALUES AND DIGITAL FILE ARE IN GRID SYSTEM UTM ZONE 17N, NAD83(CSRS)(2010).

COMBINED SCALE FACTOR = 1.000228

BOUNDARY NOTE

BOUNDARY INFORMATION SHOWN HEREON IS IN ACCORDANCE
WITH PLAN OF SURVEY BY IVAN B. WALLACE O.L.S. LTD.,
DATED APRIL 30, 2019 (PROJECT NUMBER 4-5094)

ELEVATIONS

ELEVATIONS ARE GEODETIC AND REFERRED TO TOWN OF COBURG BENCHMARK 0011910U17 AND HAVING A GEODETIC ELEVATION OF 80.14 METRES

LEGEND

- | | | |
|---|-----|--|
|  | DSE | DENOTES DOOR SILL ELEVATION |
|  | WV | DENOTES GAS METER |
|  | WV | DENOTES WATER VALVE /KEY |
|  | WV | DENOTES ANCHOR POINT |
|  | POU | DENOTES UTILITY POLE |
|  | OH- | DENOTES OVERHEAD UTILITY WIRES |
|  | MH | DENOTES MAINTENANCE HOLE ELEVATION AT CENTRE |
|  | CB | DENOTES CATCH BASIN ELEVATION AT TOP CENTRE |
|  | TB | DENOTES TERMINAL BOX |
|  | MW | DENOTES MONITORING WELL ELEVATION AT GROUND |
|  | | DENOTES FERROUS TREE W/TRUNK DIAMETER |
|  | | DENOTES DECIDUOUS TREE W/TRUNK DIAMETER |
|  | | DENOTES SPOT ELEVATION |
|  | | DENOTES CONIFEROUS SAPLING |

CONTOURS

CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

ZONING AND SITE DATA

OFFICIAL PLANNING DESIGNATION - MAIN CENTRAL AREA
RED GREENBELT SETBACK - 75' MIN. (MIN. COMMERCIAL - MC4 & MCSF09)
PARKING REQUIRED - APARTMENT 125/UNIT (2.7X35) - 50%
TOWNHOUSE 125/UNIT (2.7X35) - 50%
MIN. DRIVEWAY WIDTH - 10' (10' MIN. DRIVEWAY) 1' per d
ALSO, WIDTH - 64' (one way) - 75' (one way) 1' per d
AND PARKING IN FRONT OR EXTERIOR SIDE YARD AND 10M FROM STREET LINE
RESIDENTIAL DRIVEWAY WIDTH 60M
FRONT YARD SETBACK - 6M
REAR YARD SETBACK - 6M
3 STREET AREA, HEIGHT ASSUMED 9.95M ABOVE EAST PROPERTY LINE
LOT AREA - 2195 SQ. M
LOT AREA - 2195 SQ. M (ASSUMED 8.7M ABOVE WEST PROPERTY LINE)

PROPOSED USAGE PART 9 D.B.C.

15 UNIT CONDOMINIUM APARTMENT WITH BUILDING AREA = 563 SQ.M.
 5 CONDUMINIUM TOWNHOUSE UNITS WITH BUILDING AREA = 338 SQ.M.
 ONE HEIGHT = 3 STOREYS + 1 BASEMENT COMMON ELEMENTS
 TOTAL BUILDING AREA = 901 M²
 1 GROSS FLOOR AREA = 3104 M²
 1 PARKING SPACE PER UNIT = 3104 M² 1 BR
 FRONT YARD SETBACK = 5.57M 1 BR
 INTERIOR STAIRWAY SETBACK = 5.57M 1 BR
 INTERIOR STAIRWAY SETBACK = 2.87M
 INTERIOR STAIRWAY SETBACK = 2.87M
 MAX. PROJECTION OF FRONT PORCH 2.27M
 RESIDENTIAL DRIVEWAY WITH 6.0M
 FRONT YARD SETBACK = 6.0M
 SIDE YARD SETBACK = 6.0M
 HISTORICALLY ESTABLISHED BUILDING LINE

