

METRIC:  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



KEY PLAN  
SCALE: NTS

PART OF LOTS 6, 7, 8 & 9  
BLOCK "A" OF CADDY PLAN  
GEOGRAPHIC TOWN OF COBOURG  
COUNTY OF NORTHUMBERLAND

DEVELOPMENT (D) ZONE REGULATIONS,  
TOWN OF COBOURG ZONING BY-LAW #85-2003

Site Area: 2.485m<sup>2</sup> (0.614 ac)  
Ground Floor (West Wing-3-Live/Work): 282.4 m<sup>2</sup>  
Ground Floor (East Wing-7-Retails): 621.0 m<sup>2</sup>  
TOTAL Ground Floor AREA: 903.4 m<sup>2</sup>

2nd. Floor (10-Residential): 250.1 m<sup>2</sup>  
East Wing: 540.4 m<sup>2</sup>  
TOTAL 2nd. FLOOR AREA: 790.5 m<sup>2</sup>  
3rd. Floor (10-Residential): 267.0 m<sup>2</sup>  
East Wing: 579.3 m<sup>2</sup>  
TOTAL 3rd. FLOOR AREA: 846.3 m<sup>2</sup>

TOTAL GFA: 2540.2 m<sup>2</sup>

Lot Coverage (903.4/2485): 36.4%-30%  
Max. Building Height: 11.00 m (3 Storeys) < 12m (3 Storeys)

PARKING SUMMARY:  
RESIDENTIAL (LIVE-WORK PARKING REQUIRED)  
23 UNITS (1 PER UNIT PARKING RATIO) 23 SPACES  
VISITOR PARKING = 0.25/UNIT 6 SPACES  
TOTAL REQUIRED PER BY-LAW 29 SPACES  
PARKING PROVIDED 23 SPACES

\*VISITOR PARKING PROVIDED ON-STREET NOT ON-SITE AS PER 6.1.1 PROVISION FOR R1/R2 AND NU ZONES.

RETAIL PARKING REQUIRED  
1/18m<sup>2</sup> PARKING RATIO 35 SPACES  
TOTAL REQUIRED PER BY-LAW 64 SPACES

188m<sup>2</sup> PARKING RATIO (VARIANCE FOR RETAIL)  
TOTAL PROVIDED ON-SITE 30 SPACES

BICYCLE PARKING SUMMARY:  
RESIDENTIAL (3 DWELLING UNITS) 4 SPACES  
RETAIL (2-1100m<sup>2</sup> OF GFA) 3 SPACES  
TOTAL REQUIRED PER BY-LAW 7 SPACES  
TOTAL PROVIDED 8 SPACES

DEVELOPMENT (D) ZONE REGULATIONS,  
TOWN OF COBOURG ZONING BY-LAW #85-2003

- PERMITTED USES:  
- NEW HOMES  
- NEW ACCESSORY USES  
- NEW DAY NURSERY

- LOT COVERAGE: 30% MAXIMUM  
- BUILDING HEIGHT: MAX. 3 STOREYS

- PARKING LOADING PROVISIONS:  
- RESIDENTIAL:  
- TOWNHOUSE OR MULTI-UNIT DWELLING = 1.5/UNIT  
- DWELLING UNIT IN A MIXED-USE DEVELOPMENT = 1/UNIT - REQUIREMENTS OF OTHER USES.  
- VISITOR PARKING = 0.25/UNIT.

NON-RESIDENTIAL:  
- OFFICES = 1/33m<sup>2</sup>  
- MEDICAL CLINIC/ WELLNESS = 6/ PRACTITIONER  
- RESTAURANT = 1/9m<sup>2</sup>  
- RETAIL = 1/18m<sup>2</sup>  
- DAYCARE/NURSERY = 1/ STAFF MEMBER + 1/12 CHILDREN ENROLLED.

PARKING/LOADING STANDARDS  
- TYPICAL PARKING SPACE 2.7m x 5.5m  
- B.F. PARKING SPACE 4.4m x 5.5m (MIN. 24sqm)  
- TWO-WAY DRIVE AISLES MIN. 6m WIDE  
- SETBACK 3m FROM ANY PUBLIC STREET

REQUIRED MINIMUM SETBACKS  
- ALONG DIVISION STREET (20m WIDE):  
MIN. 12m FROM CENTER LINE OF STREET.  
- ALONG ALBERT STREET (16m EXTG./18m PLANNED)  
MIN. 9m FROM CENTER LINE OF STREET.

\* NOTE: THE FOLLOWING LIST OF USES ARE NOT INCLUDED IN THE LIST OF PERMITTED USES PER THE ZONING DESIGNATION (D) FOR THIS SITE:

- RETAIL COMMERCIAL
- APARTMENT DWELLINGS
- TOWNHOUSES OR MULTI-UNIT DWELLINGS
- DWELLING UNITS IN A MIXED-USE DEVELOPMENT

Item	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC Reference
1	PROJECT DESCRIPTION: 3 storey Mix-use and Multi-unit Residential building. <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of use	Part 3
2	MAJOR OCCUPANCY(S) "C" - RESIDENTIAL AND "R" - RETAIL	3.1.2.1. (1)
3	BUILDING AREA (m <sup>2</sup> ) EXISTING 0 NEW 903.4 TOTAL 903.4	1.1.3.2
4	GROSS AREA EXISTING 0 NEW 2540.2 TOTAL 2540.2	1.1.3.2
5	NUMBER OF STOREYS ABOVE GRADE 3 BELOW GRADE 0	
6	HEIGHT OF BUILDING (m) ABOVE GRADE 11.0 m. BELOW GRADE 0	3.2.2.10, 3.2.5.4 TO 3.2.5.6
7	NUMBER OF STREETS/ACCESS ROUTES 2	
8	BUILDING CLASSIFICATION RESIDENTIAL: 3.2.2.44, GROUP C, UP TO 3 STOREYS, NON-COMBUSTIBLE CONSTRUCTION RETAIL: 3.2.2.59, GROUP E, UP TO 3 STOREYS.	3.2.2.44, 3.2.2.59
9	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.62, 3.2.2.17
10	STANDPIPE REQUIRED <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9
11	FIRE ALARM REQUIRED <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4
12	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
13	HIGH BUILDING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
14	PERMITTED CONSTRUCTION <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both ACTUAL CONSTRUCTION <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.44
15	GROUND FLOOR Floor Area m <sup>2</sup> 903.4 MEZZANINE Floor Area m <sup>2</sup> N/A	3.2.1.1. (4)
16	OCCUPANT LOAD BASED ON Occupancy C = 20 UNITS Load _____ persons Occupancy R = 10 UNITS Load _____ persons Total Occupancy Load _____ persons	3.1.17.1 (C)(ii)
17	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> Yes (ROUND FL.) <input type="checkbox"/> No (Explain)	3.8
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
19	REQUIRED FIRE RESISTANCE RATING (FRR) Horizontal Assemblies (FRR) (Hours) Listed Design No. or Description (SC-2) Floors 1 Hours - Roof 1 Hours - Mezzanine - Hours - FRR of Supporting Members Floors 1 Hours - Roof 1 Hours - Mezzanine - Hours -	
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3.1.B
	WALL AREA OF FRT (m <sup>2</sup> ) L/D or L/H PERMITTED MAX. R. OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION TYPE OF CONSTRUCTION REQUIRED TYPE OF CLADDING REQUIRED	
	(ALBERT ST.) NORTH 64.6 9.0 1.81:3 100% 40.5% - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	WEST 185 6.583 1.96:3 25% 1% 1 HOUR - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	SOUTH 193.8 30.341 - 100% 9% - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	(DIVISION ST.) EAST 185 2.1 1.96:3 4% 0% 2 HOUR - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	WEST 147.0 9.0 2.47:3 46% 24.3% 1 HOUR - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	NORTH 64.6 9.0 2.1 1.96:3 4% 0% 2 HOUR - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	SOUTH 221.8 1.653 1.64:3 7% 0% 1 HOUR - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
	EAST 84.6 12 1.83:3 100% 41.8% - - NON-COMBUSTIBLE NON-COMBUSTIBLE	
21	BUILDING MEETS REQUIREMENTS SET OUT IN 3.3.1.6. TRAVEL DISTANCE & 3.4.2.5.(F) LOCATIONS OF EXIT (30m) DEAD END CORRIDOR IS PERMITTED TO PROVIDE IT IS NOT MORE THAN 6m LONG 3.3.1.9.(F)	
22	FIRE SEPARATION OF MAJOR OCCUPANCIES: 1 HOUR F.R. FIRE SEPARATION IS REQUIRED BETWEEN OCCUPANCY GROUP-D AND GROUP-C.	
23	DOORS @ CRU #104, #105, #106, UNITS #204, #205, #206, #304, #305 AND #306 ARE TO BE 2hr, FIRE RATED	

PLAN OF SURVEY OF  
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GEOGRAPHIC TOWN OF COBOURG  
COUNTY OF NORTHUMBERLAND



- LEGEND
- DENOTES SURVEY MONUMENT, FOUND
  - DENOTES SURVEY MONUMENT, PLANTED
  - WT DENOTES WITNESS
  - 1142 DENOTES K.F. LASHLEY, O.L.S.
  - D/P DENOTES DONEVAN FLEISCHMANN PETRICH LIMITED
  - P1 DENOTES PLAN 39R-465
  - P2 DENOTES PLAN 39R-3447
  - P3 DENOTES PLAN 39R-12127
  - P4 DENOTES PLAN 39R-13602
  - CGVD(28) DENOTES CANADIAN GEODETIC VERTICAL DATUM OF 1928
  - DENOTES CATCH BASIN
  - DENOTES LIGHT STANDARD
  - DENOTES MANHOLE
  - DENOTES WATER VALVE
  - DENOTES METER
  - DENOTES TRAFFIC STANDARD
  - DENOTES BOLLARD
  - DENOTES SPOT ELEVATION CGVD(28)



JBF SURVEYORS  
44 CLEMENTI ST., BOX 70  
LAKEFIELD, ON K0L 2H0  
PHONE: 705-652-6198  
INFO@JBF.SURVEYORS.COM  
WWW.JBF.SURVEYORS.COM

NO.	ISSUED FOR SITE PLAN APPROVAL	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2020 NOV 30	LY/JG
N.O.	REVISION		

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This drawing must be read in the context of all other drawings which constitute the document.

SITE PLAN & SITE STATISTICS

S 1: 650 A L E

MIX-USE/MULTI-USE RESIDENTIAL  
ALBERT ST. & DIVISION ST.  
COBOURG, ONTARIO

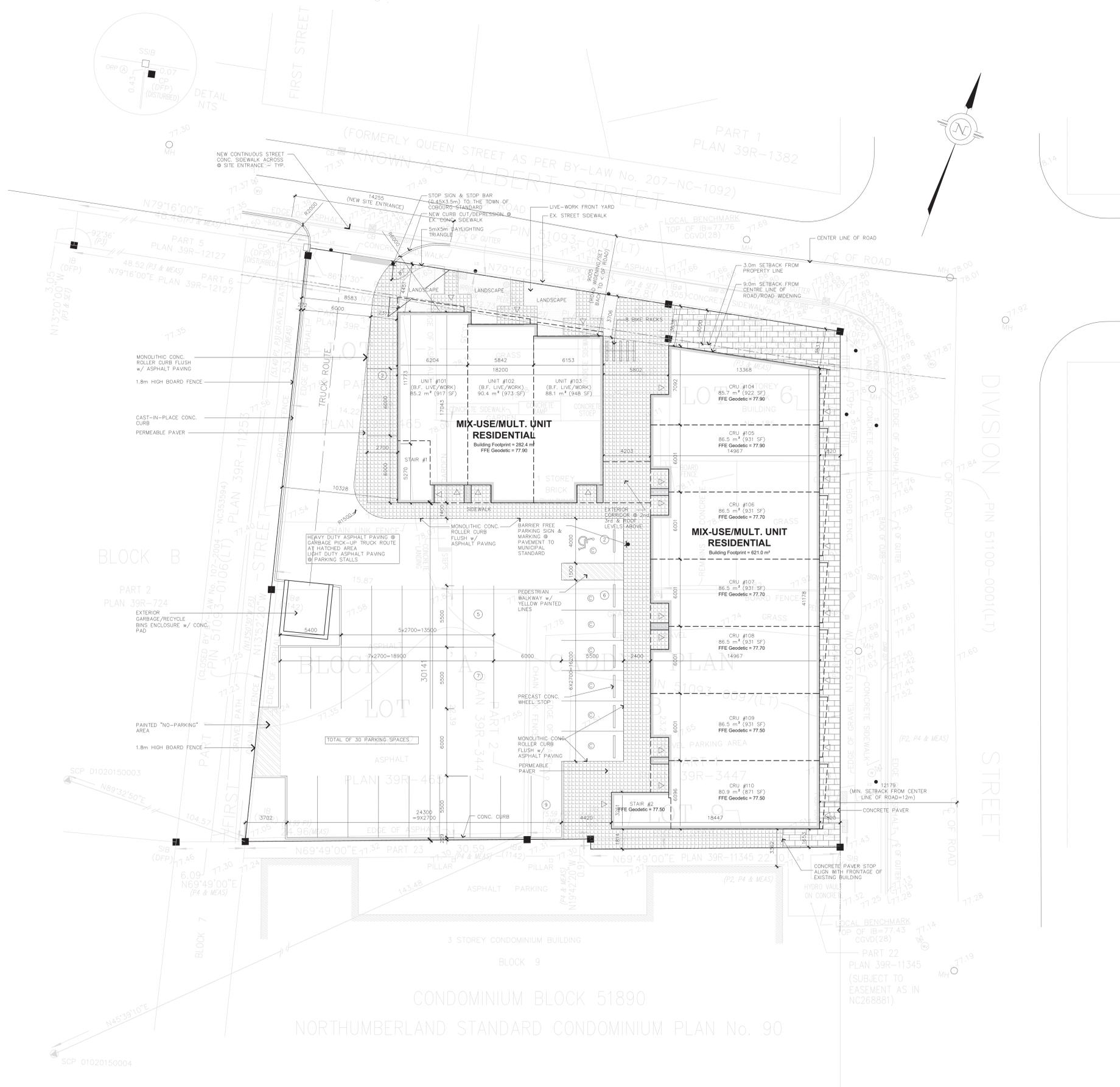
FOR:

**PETROFF PARTNERSHIP ARCHITECTS**  
**PETROFF**

260 TOWN CENTRE BLVD., SUITE 300  
MARKHAM ONTARIO CANADA L3R 8H8  
TEL. 905.470.7000 FAX. 905.470.2500

ONTARIO ASSOCIATION OF ARCHITECTS  
LICENSED PROFESSIONAL ARCHITECT

DATE	BY	DATE	BY
10/01/20	LY	2020	20749.00
10/01/20	JG		
10/01/20			100.0



1 SITE PLAN  
SCALE: 1 = 1: 150







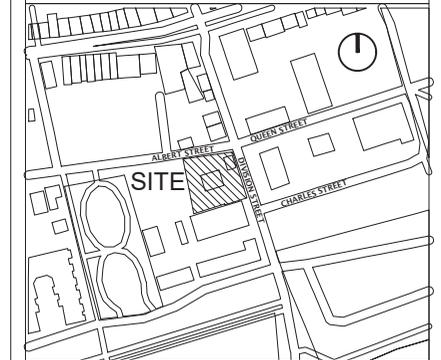


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**LEGAL DESCRIPTION**

PLAN OF SURVEY OF  
 PART OF LOTS OF 6,7,8 & 9  
 BLOCK "A"  
 CADDY PLAN  
 GEOGRAPHIC TOWN OF COBOURG  
 COUNTY OF NORTHUMBERLAND

**KEY PLAN**



**LEGEND**

- PROPERTY LINE
- SETBACK
- LIVELWORK UNIT
- CRU UNIT
- RESIDENTIAL UNIT

No.	ISSUED FOR SITE PLAN APPLICATION REVISIONS	2020/11/30 DATE	SX BY
1.			

DRAWING TITLE  
**ROOF PLAN**

PROJECT  
**MIXED-USE RESIDENTIAL DEVELOPMENT**  
 ALBERT STREET / DIVISION STREET  
 TOWN OF COBOURG ONTARIO

**PETROFF PARTNERSHIP ARCHITECTS**

**PETROFF**

280 TOWN CENTRE BLVD. SUITE 800  
 MARKHAM ONTARIO CANADA L3R 9L8  
 TEL. 905.470.7000 FAX. 905.470.2800

ONTARIO ASSOCIATION OF ARCHITECTS  
 LICENCE 6768

PROJECT No.	<b>20749</b>	DRAWN BY	SX
DRAWING No.	<b>A1.3</b>	CHECKED BY	MV
		SCALE	1:300
		DATE	2020/09/17



3 WEST ELEVATION – DIVISION STREET BUILDING  
A2.0 SCALE: 1 = 1: 100



2 NORTH ELEVATION – ALBERT STREET  
A2.0 SCALE: 1 = 1: 100



1 EAST ELEVATION – DIVISION STREET  
A2.0 SCALE: 1 = 1: 100

**EXTERIOR FINISHED:**

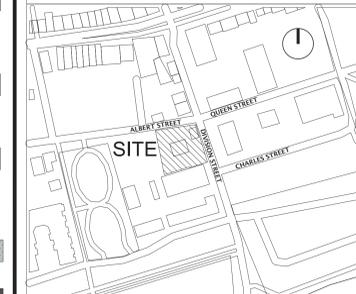
- 1 BRICK MASONRY VENEER  
BRAMPTON BRICK:  
TUMBLER\_CHURCH-HILL, RUNNING BOND
- 2 BRICK MASONRY VENEER  
BRAMPTON BRICK:  
ROYAL\_GRAY\_SWATCH RUNNING BOND
- 3 BRICK MASONRY VENEER  
BRAMPTON BRICK:  
ROYAL\_GRAY\_SWATCH SOLDIER BOND
- 4 ARCHITECTURAL PRECAST  
CONCRETE STONE ACCENT HEADER/SILL  
WITH DRIP EDGE, COLOR TBD
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GLASS FIBRE REINFORCED  
CONCRETE WITH DRIP EDGE
- 6 PREFINISHED COMPOSITE METAL  
PANEL - WHITE COLOR
- 7 PREFINISHED COMPOSITE METAL  
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- 8 CLEAR LOW-E VISION GLASS  
(STOREFRONT) IN THERMALLY BROKEN  
PREFINISHED METAL FRAMES  
FRAME COLOR: MATT BLACK
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THERMALLY BROKEN VINYL OR GLASS FIBRE  
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- 9a CLEAR LOW-E VISION GLASS (RESIDENTIAL  
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WINDOW FRAMES- COLOR: MATT BLACK
- 10 TEMPERED GLASS BALCONY  
BALLUSTRADE
- 11 DOUBLE GLAZED EXTERIOR SLIDING  
DOOR (RESIDENTIAL -2ND FLOOR ONLY)
- 12 PRESSURE TREATED DECORATIVE  
WOOD PRIVACY SCREEN  
PAINT FINISHES
- 13 RETAIL SIGNAGE W./ REINFORCED  
BACK-UP BEHIND CLADDING
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WALL LIGHT SANDBLASTED
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PREFINISHED METAL PANEL  
MATT BLACK
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GLASS IN SEALED UNIT IN PRE.FIN.  
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PAINT FINISHES
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- 22 ARCH. PREFIN. ALUM. LOUVRE INTEGRATED  
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**KEY PLAN**



**LEGEND**

- PROPERTY LINE
- SETBACK

No.	1	ISSUED FOR SITE PLAN APPLICATION	2020/11/30	SX
REVISIONS			DATE	BY

**ELEVATIONS**

PROJECT  
**MIXED-USE RESIDENTIAL  
DEVELOPMENT**  
ALBERT STREET / DIVISION STREET  
TOWN OF COBOURG ONTARIO

**PETROFF PARTNERSHIP ARCHITECTS**  
**PETROFF**

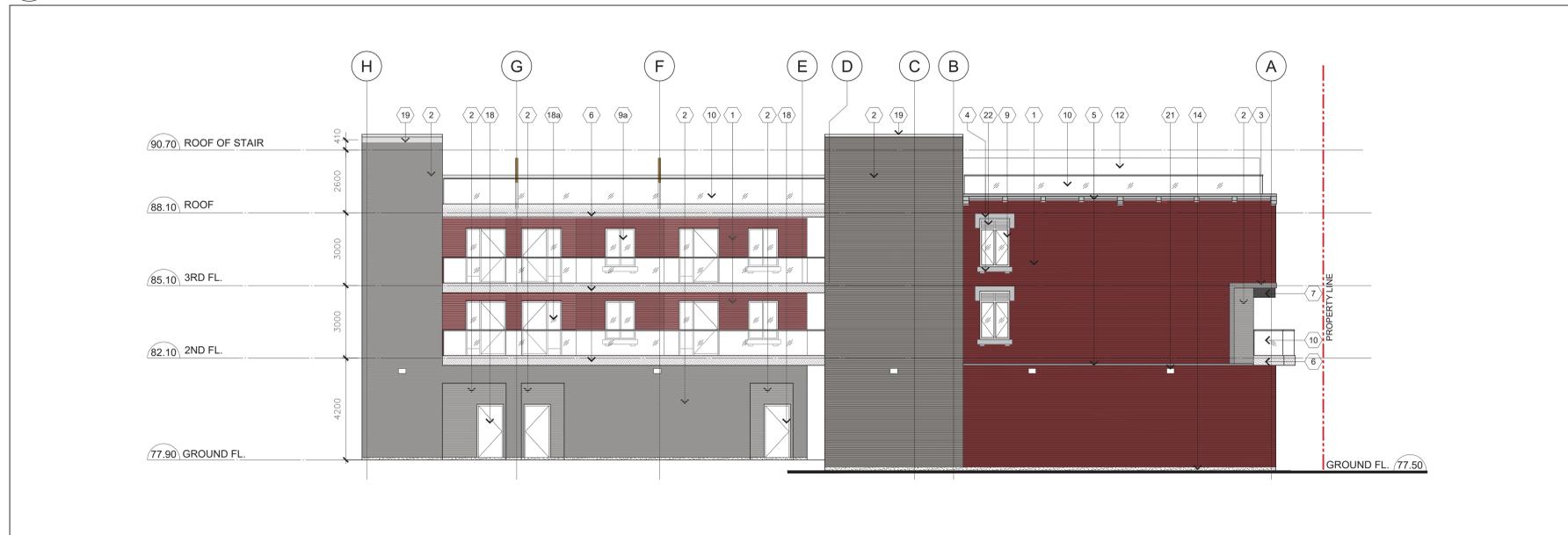
260 TOWN CENTRE BLVD. SUITE 300  
MARKHAM ONTARIO CANADA L3R 8H8  
TEL. 905.470.7000 FAX. 905.470.2500



PROJECT No.	20749	DRAWN BY	SX
DRAWING No.	A2.0	CHECKED BY	MV
		SCALE	1:100
		DATE	2020/09/17



3 WEST ELEVATION  
A2.1 SCALE: 1 = 1: 100



2 SOUTH ELEVATION  
A2.1 SCALE: 1 = 1: 100



1 EAST ELEVATION- ALBERT STREET BUILDING  
A2.1 SCALE: 1 = 1: 100

**EXTERIOR FINISHED:**

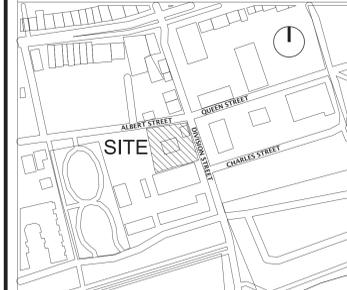
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**KEY PLAN**



**LEGEND**



No.	REVISIONS	DATE	BY
1	ISSUED FOR SITE PLAN APPLICATION	2020/11/30	SX

**ELEVATIONS**

PROJECT  
**MIXED-USE RESIDENTIAL  
DEVELOPMENT**  
ALBERT STREET / DIVISION STREET  
TOWN OF COBOURG ONTARIO

PETROFF PARTNERSHIP ARCHITECTS  
**PETROFF**



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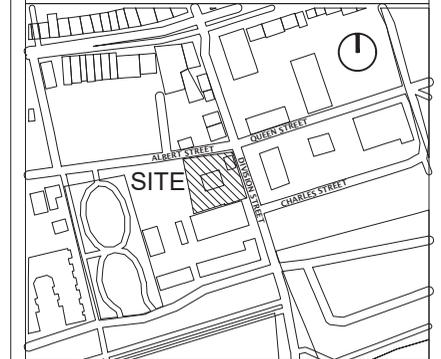
PROJECT No.	<b>20749</b>	DRAWN BY	SX
DRAWING No.	<b>A2.1</b>	CHECKED BY	MV
		SCALE	1:100
		DATE	2020/09/17

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**LEGEND**

- PROPERTY LINE
- SETBACK
- LIVE/WORK UNIT
- CRU UNIT
- RESIDENTIAL UNIT

1.	ISSUED FOR SITE PLAN APPLICATION	2020/11/30	SX
No.	REVISIONS	DATE	BY

DRAWING TITLE

**SECTIONS**

PROJECT

**MIXED-USE RESIDENTIAL DEVELOPMENT**  
 ALBERT STREET / DIVISION STREET  
 TOWN OF COBOURG ONTARIO

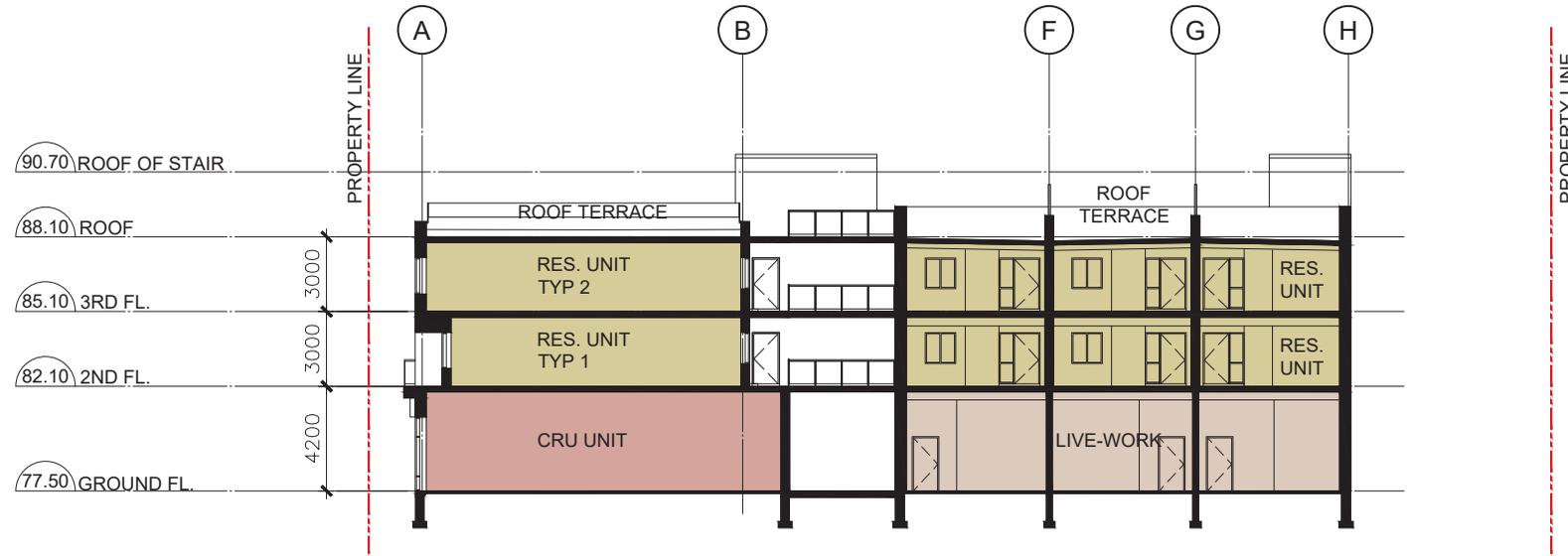
**PETROFF PARTNERSHIP ARCHITECTS**

**PETROFF**

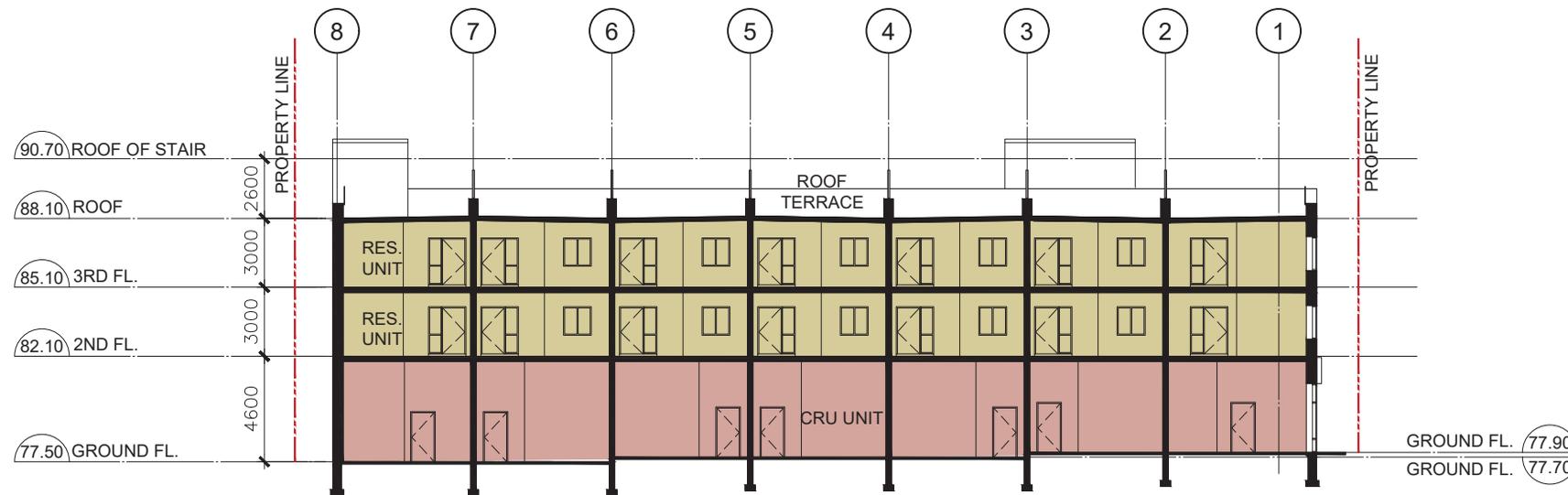
280 TOWN CENTRE BLVD. SUITE 300  
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 TEL. 905.470.7000 FAX 905.470.2800



PROJECT No.	<b>20749</b>	DRAWN BY	SX
DRAWING No.	<b>A3.1</b>	CHECKED BY	MV
		SCALE	1:300
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**2 EAST-WEST SECTION B-B**  
 A3.1 SCALE 1:300



**1 NORTH-SOUTH SECTION A-A**  
 A3.1 SCALE 1:300

GROUND FL. (77.90)  
 GROUND FL. (77.70)