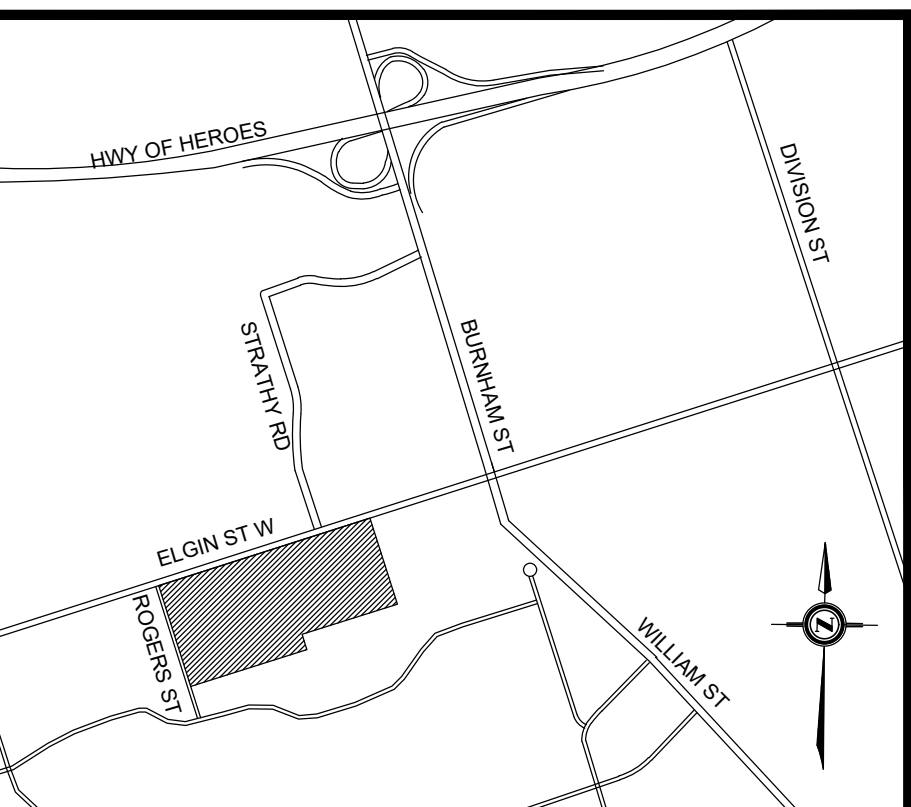
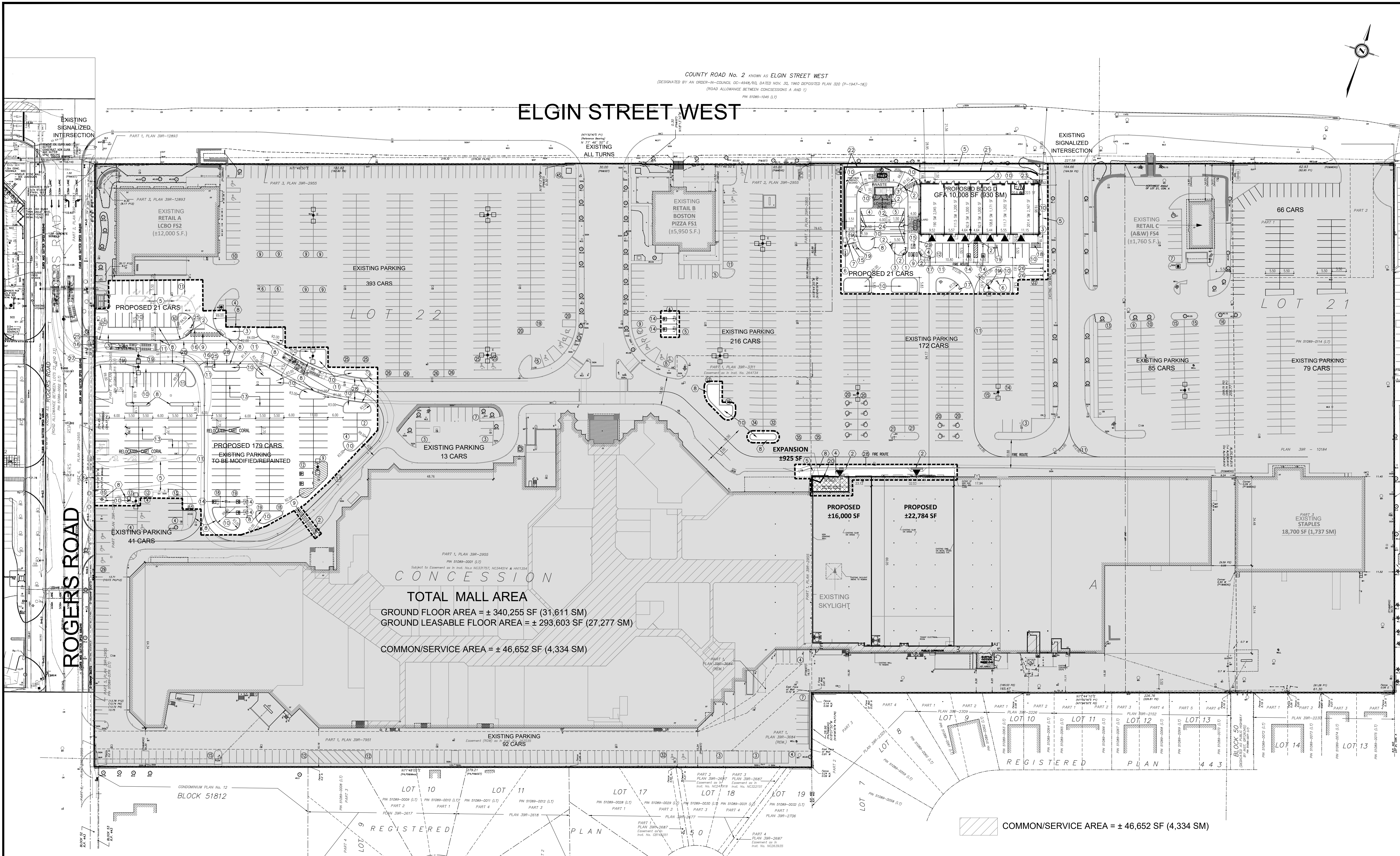




KEY PLAN N.T.S.

TOPOGRAPHIC SURVEY OF
PART OF LOTS 21 AND 22
CONCESSION A
(GEOGRAPHIC TOWNSHIP OF HAMILTON)
TOWN OF COBOURG
COUNTY OF NORTHUMBERLAND

- GENERAL NOTES :
- 1) THANK YOU/DO NOT ENTER SIGN
 - 2) DEPRESSED CONCRETE CURB AND RAMP MAX.1 to 10 SLOPE WITH MIN 0.61 M TACTILE WARNING SURFACE
 - 3) CONCRETE SIDEWALK
 - 4) CONCRETE SIDEWALK AT BUILDING REFER TO ARCH. DWGS. FOR EXTENT
 - 5) EXISTING CURB/ISLAND TO BE REMOVED
 - 6) DRIVETHRU DIRECTIONAL SIGN
 - 7) HEIGHT CLEARANCE BAR
 - 8) PROPOSED CONCRETE CURB
 - 9) PEDESTRIAN CROSSING
 - 10) LANDSCAPED ISLAND
 - 11) HEAVY DUTY ASPHALT
 - 12) CONCRETE PAD FOR GARBAGE ENCLOSURE
 - 13) 90° PARKING STRIPING (TYP.)
 - 14) ACCESSABLE PARKING SPACE AND SIGN (TYP.)
 - 15) TRAFFIC ARROWS
 - 16) STOP BAR
 - 17) FIRE LANE MARKING SIGN AS CITY'S LATEST BYLAW
 - 18) BIKE RACK
 - 19) MLS (LIGHT STANDARD) TO BE RELOCATED
 - 20) PROPOSED (LIGHT STANDARD)
 - 21) IRON FENCE TO BE REMOVED
 - 22) RETAINING WALL
 - 23) ORNAMENTAL FENCE MOUNTED ON RETAINING WALL REFER TO LANDSCAPE DWG
 - 24) CONCRETE STAIRCASE 4 RISERS WITH TACTILE WARNING SURFACE/RAILING
 - 25) EMPLOYEES ONLY SIGN
 - 26) STOP SIGN
 - 27) RESERVE FOR EV SPACE SIGN
 - 28) ALL CURB IN ROW TO BE PER OPSD 600.040
 - 29) 1.0M BIKE LANE
 - 30) PATIO SCREENING FROM DRIVE THRU LANE

- LEGENDS :
- PHASE LINE
 - CONCRETE /LANDSCAPED ISLAND
 - ▲ PROPOSED MAIN BUILDING ENTRANCE



No.	REVISIONS	MARK	YOU	ALL	COPIES	PREVIOUS	FINAL	DATE	DATE	BY
5.	REVISED AS PER CITY COMMENTS							MAY 27, 2020		DR
4.	ISSUED FOR SITE PLAN APPROVAL							AL 09, 2020		DR
3.	REVISED 46 PER CITY COMMENTS							MAY 13, 2020		DR
2.	ISSUED FOR SITE PLAN APPROVAL							DEC 18, 2019		DR
1.	ISSUED FOR ZONING REVIEW							JULY 30, 2019		DR

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

Do not scale the drawing.

This drawing contains copyright material belonging to the Architect.

This drawing was developed for a specific purpose, use for any other purpose is not permitted.

This drawing shall not be reproduced in whole or in part without the written approval of the Architect.

This drawing must be read in the context of all the other drawings which constitute the document.

OVERALL SITE PLAN

SCALE: 1:600

NORTHUMBERLAND MALL
ELGIN ST. WEST & ROGERS RD.
COBOURG, ONTARIO

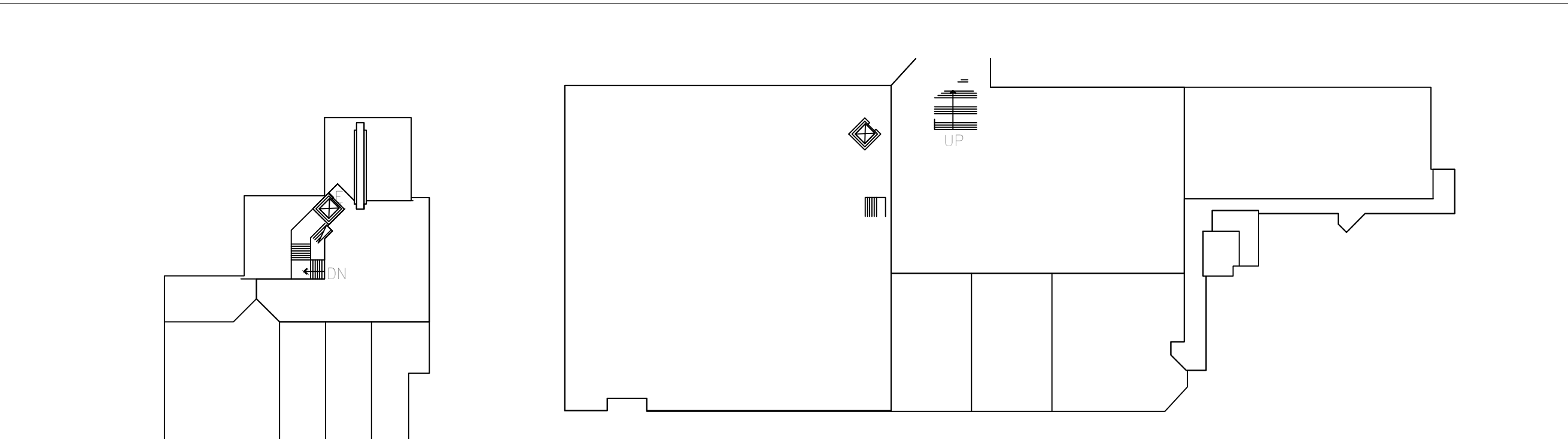
PETROFF PARTNERSHIP ARCHITECTS
PETROFF
260 TOWN CENTRE BLVD., SUITE 300
MARKHAM ONTARIO CANADA L3R 8H8
TEL: 905-470-7000 FAX: 905-470-2500

ONTARIO ASSOCIATION OF ARCHITECTS
ALY HAMDY
LICENCE #766

DRAWN BY: DR
CHECKED BY: AH
DATE: MAY 16, 2019
ISSUED: MAY 27, 2020

19060
SA-01.0

OVERALL SITE PLAN SCALE: 1:600



TOP LEVEL AREA
±11,592 SF (1,077 SM)

BASEMENT LEVEL AREA ±41,276 SF (3,835 SM)

SCALE: 1:600

SITE STATISTICS:

TOTAL SITE AREA:	112,093.5 SM (27.70 ACRES)	BUILDING D:	
EXISTING MALL GFA:	340,255 SF (31,611 SM)	PHASE AREA:	42,553 SF 3,953.77 SM (0.98 ACRE)
EXISTING MALL GLFA:	± 293,603 SF (27,277 SM)	PROPOSED RETAIL D (GFA):	10,008 SF (930 SM) 23.52%
PROPOSED EXPANSION AREA:	925 SF (85.93 SM)	PROPOSED RETAIL D (GLFA):	9,785 SF (909.2 SM)
EXISTING OUT PARCELS AREA:	19,710 SF (1,831 SM)	PROPOSED PARKING PROVIDED:	21 CARS
EXISTING STAPLES AREA:	18,700 SF (1,737 SM)	LANDSCAPE AREA:	14,721 SF (1,367.35 SM) 34.59%
PROPOSED RETAIL D GFA:	10,008 SF (930 SM)	PAVED AREA:	17,824 SF (1655.42 SM) 41.89%
PROPOSED RETAIL D GLFA:	9,785 SF (909.2 SM)		
TOTAL EXISTING /PROPOSED GFA :	389,598 SF (36,194.93 SM)		
TOTAL EXISTING /PROPOSED GLFA :	342,722 SF (31,840.13 SM)		
TOTAL PARKING REQUIRED:	1,274 CARS (4/100 SM)		
TOTAL EXISTING PARKING:	1,157 CARS		
TOTAL PROPOSED PARKING PROVIDED:	221 CARS		
TOTAL PARKING PROVIDED:	1,378 CARS (4.33/100 SM)		
LOT COVERAGE:	32.29%		